



Sudden Valley Community Association Architectural Control Committee

Date 04/16/2026

Time 5:00 PM

Location - Multi-Purpose Room "A"

Agenda

Type of meeting: Request and Plan Review

Facilitator: Daniel Rodriguez, Chair

Committee Attendees:

Excused Absence:

Attendees:

Observers:

Item – 1	Approval of 04/16/2026 ACC Meeting Agenda
Item – 2	Property Owner Comments
Item – 3	Consent Agenda – Approval of the 04/02/2026 ACC Meeting Minutes
Item – 4	42 North Point Dr, G1, Ext Alt (Lighting)
Item – 5	20 Longshore Ln, G1, Ext Alt (Paint)
Item – 6	14 Birdie Ln, G1, Ext Alt (Deck, Railing, Privacy Screen)
Item – 7	9 Grand View Ln, G2, Ext Alt (Hot Tub)
Item – 8	9 Grand View Ln, G2, Fence (Pet)
Item – 9	7 Orchid Ct, G2, New Construction <i>In-Concept Resubmission</i>
Item – 10	7 Orchid Ct, G2, Variance (Height) <i>In-Concept Resubmission</i>
Item – 11	7 Orchid Ct, G2, Variance (Side Set-Back) <i>In-Concept Resubmission</i>
Item – 12	4 Valley Crest Way, G3, Tree (Remove 9)
Item – 13	1 Plum Ln, G3, Ext Alt (Paint)
Item – 14	4 Tumbling Water Dr, G5, Fence (Garden)
Item – 15	1 Cayuse Ct, G5, Ext Alt (Paint)
Item – 16	9 Highwood Cir, G13, Ext Alt (Generator)
Item – 17	52 High Cliff Ln, G13, New Construction <i>In-Concept</i>
Item – 18	52 High Cliff Ln, G13, Variance (Side Set-Back) <i>In-Concept</i>
Item – 19	1 Sunnyside Ln, G13, Ext Alt (French Drain & Down Spout)
Item – 20	1 Sunnyside Ln, G13, Ext Alt (Replacement Deck & Patio)
Item – 21	1 Sunnyside Ln, G13, Ext Alt (Roof line & Gutter line)
Item – 22	1 Sunnyside Ln, G13, Ext Alt (Siding)

Meeting Called to Order 00:00 PM

Item – 1	Approval of 04/16/2026 ACC Meeting Agenda	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 2	Property Owner Comments	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 3	Consent Agenda – Approval of the 04/02/2026 ACC Meeting Minutes	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 4	42 North Point Dr, G1, Ext Alt (Lighting)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 5	20 Longshore Ln, G1, Ext Alt (Paint)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 6	14 Birdie Ln, G1, Ext Alt (Deck, Railing, Privacy Screen)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 7	9 Grand View Ln, G2, Ext Alt (Hot Tub)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 8	9 Grand View Ln, G2, Fence (Pet)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 9	7 Orchid Ct, G2, New Construction <i>In-Concept Resubmission</i>	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 10	7 Orchid Ct, G2, Variance (Height) <i>In-Concept Resubmission</i>	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 11	7 Orchid Ct, G2, Variance (Side Set-Back) <i>In-Concept Resubmission</i>	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 12	4 Valley Crest Way, G3, Tree (Remove 9)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 13	1 Plum Ln, G3, Ext Alt (Paint)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 14	4 Tumbling Water Dr, G5, Fence (Garden)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:



Item – 15	1 Cayuse Ct, G5, Ext Alt (Paint)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 16	9 Highwood Cir, G13, Ext Alt (Generator)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 17	52 High Cliff Ln, G13, New Construction <i>In-Concept</i>	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 18	52 High Cliff Ln, G13, Variance (Side Set-Back) <i>In-Concept</i>	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 19	1 Sunnyside Ln, G13, Ext Alt (French Drain & Down Spout)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 20	1 Sunnyside Ln, G13, Ext Alt (Replacement Deck & Patio)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 21	1 Sunnyside Ln, G13, Ext Alt (Roof line & Gutter line)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 22	1 Sunnyside Ln, G13, Ext Alt (Siding)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Meeting Adjourned at 00:00 PM



Sudden Valley Community Association Architectural Control Committee

Date 04/02/2026

Time 9:00 AM

Location - Zoom

Minutes

Type of meeting:	Request and Plan Review
Facilitator:	Daniel Rodriguez, Chair
Committee Attendees:	Dan Vink, Jo Jean Kos, Patric Zwolenski
Excused Absence:	Terry Niblack
Attendees:	Jerry Gangle, Allen Helvajian
Observers:	Vitali Pikalov (Items 6, 7, & 8), Jake Evans & Norman DesRosiers (Items 10 & 11), David Shportko & Bogdan Shulga (Items 12 & 13), Oleh Kharko (Item 16), Kyle Peek (Items 17 & 18), Will Savchuk (Items 19 & 20), Linda Knudsen McAusland (Item 21), Kresimir (Krešo) Josić (Item 24), Ed Danch (Guest Observer)

Item – 1	Approval of 04/02/2026 ACC Meeting Agenda
Item – 2	Property Owner Comments
Item – 3	Consent Agenda – Approval of the 03/19/2026 ACC Meeting Minutes
Item – 4	46 North Point Dr, G1, Ext Alt (Temporary Tarp)
Item – 5	27 Longshore Lane, G1, Ext Alt (New Roof)
Item – 6	32 Longshore Ln, G1, New Const (Re-Start)
Item – 7	32 Longshore Ln, G1, Variance (Culvert Depth)
Item – 8	32 Longshore Ln, G1, Variance (Prop Coverage)
Item – 9	124 Windward Dr, G1, Tree (Remove 2)
Item – 10	108 Grand View Ln, G2, New Construction In-Concept
Item – 11	108 Grand View Ln, G2, Variance (Side Set-Back) In-Concept
Item – 12	7 Orchid Ct, G2, New Construction In-Concept
Item – 13	7 Orchid Ct, G2, Variance (Height) In-Concept
Item – 14	7 Orchid Ct, G2, Variance (Side Set-Back) In-Concept
Item – 15	7 Maple Ct, G3, Const Change (Paint)
Item – 16	22 Bigleaf Ln, G5, New Construction with Renderings Resubmission
Item – 17	21 Wisteria Ln, G5, Ext Alt (Hot Tub)
Item – 18	21 Wisteria Ln, G5, Ext Alt (Shade Structure)
Item – 19	8 Morning Glory Dr, G9, New Construction Resubmission
Item – 20	8 Morning Glory Dr, G9, Variance (Side Set-Back) Resubmission
Item – 21	29 Cold Spring Ln, G9, Ext Alt (Walkway)



Item – 22	2 Midnight Ct, G13, Tree (Remove 1)
Item – 23	10 Shooting Star Ct, G13, Const Change (Multiple Changes)
Item – 24	79 Polo Park Dr, G13, Tree (Remove 2) <i>Resubmission</i>
Item – 25	7 Summer Bell Ln, G13, Ext Alt (Painting)
Item – 26	Discussion of 8 & 10 Valley View Circle stormwater handling

**Meeting Called to Order 9:03 AM**

Item – 1	Approval of 03/05/2025 ACC Meeting Agenda	Video 00:00:45 – 00:01:20
Comments:	Add discussion of 8 & 10 Valley View Circle stormwater handling as Agenda Item #26	
Discussion:		
Action:	Approved	Motion: Dan Unanimous

Item – 2	Property Owners Comments	Video 00:01:24 – 00:01:55
Comments:	N/A	
Discussion:		
Action:		Motion: N/A

Item – 3	Consent Agenda – Approval of the 03/19/2025 ACC Meeting Minutes	Video 00:02:01 – 00:02:10
Comments:		
Discussion:		
Action:	Approved	Motion: Jo Jean Unanimous

Item – 4	46 North Point Dr, G1, Ext Alt (Temporary Tarp)	Video 02:01:28 – 02:01:37
Comments:		
Discussion:		
Action:	Approved	Motion: Dan Unanimous

Item – 5	27 Longshore Lane, G1, Ext Alt (New Roof)	Video 02:01:37 – 02:01:44
Comments:		
Discussion:		
Action:	Approved	Motion: Jo Jean Unanimous

Item – 6	32 Longshore Ln, G1, New Const (<i>Re-Start</i>)	Video 00:36:15 – 00:52:43
Comments:	Use 6' – to – 10' Cedar trees in the replacement / re-forestation plantings.	
Discussion:		
Action:	Approved	Motion: Dan Unanimous

Item – 7	32 Longshore Ln, G1, Variance (Culvert Depth)	Video 00:36:15 – 00:52:43
Comments:		
Discussion:		
Action:	Approved	Motion: Dan Unanimous



Item – 8	32 Longshore Ln, G1, Variance (Prop Coverage)	Video 00:36:15 – 00:52:43
Comments:		
Discussion:		
Action:	Approved	Motion: Dan Unanimous

Item – 9	124 Windward Dr, G1, Tree (Remove 2)	Video 02:02:02 – 02:03:40
Comments:	Please provide a photo or an Arborist Report on tree #1. Trees #2 and #3 are approved for removal.	
Discussion:		
Action:	Approved	Motion: Jo Jean Unanimous

Item – 10	108 Grand View Ln, G2, New Construction <i>In-Concept</i>	Video 00:53:05 – 01:06:15
Comments:	There are too many variances (e.g., exceeding 35% Property Coverage, exceeding the maximum driveway	
Discussion:	width, and not meeting the side set-back requirement)	
Action:	Denied	Motion: Daniel Unanimous

Item – 11	108 Grand View Ln, G2, Variance (Side Set-Back) <i>In-Concept</i>	Video 00:53:05 – 01:06:15
Comments:		
Discussion:		
Action:	Denied	Motion: Daniel Unanimous

Item – 12	7 Orchid Ct, G2, New Construction <i>In-Concept</i>	Video 01:06:33 – 01:23:30
Comments:		
Discussion:		
Action:	Approved	Motion: Dan Unanimous

Item – 13	7 Orchid Ct, G2, Variance (Height) <i>In-Concept</i>	Video 01:06:33 – 01:25:00
Comments:	Lower the roof height to 25' or less (using definition #2). Provide a letter attesting that the roof will be	
Discussion:	lower than the neighbor's house on the right (looking at the house from the street).	
Action:	Denied	Motion: Daniel Unanimous

Item – 14	7 Orchid Ct, G2, Variance (Side Set-Back) <i>In-Concept</i>	Video 01:06:33 – 01:30:30
Comments:		
Discussion:		
Action:	Denied	Motion: Jo Jean Majority (Patric opposed)



Item – 15	7 Maple Ct, G3, Const Change (Paint)	Video 02:04:00 – 02:05:15
Comments:	Alabaster color paint approved for exterior walls only not the trim. The whole house cannot be painted	
Discussion:	in the Alabaster color.	
Action:	Approved	Motion: Dan Unanimous

Item – 16	22 Bigleaf Ln, G5, New Construction with Renderings Resubmission	Video 01:30:45 – 01:37:12
Comments:	Change existing light fixture selection to downward casting fixtures rather than floodlight. Storm Water	
Discussion:	conveyance pipe must be buried.	
Action:	Approved	Motion: Dan Unanimous

Item – 17	21 Wisteria Ln, G5, Ext Alt (Hot Tub)	Video 00:03:58 – 00:33:10
Comments:	Approved with the installation of a 6' tall privacy screen running the width of the hot tub.	
Discussion:		
Action:	Approved	Motion: Dan Majority (Daniel recuses)

Item – 18	21 Wisteria Ln, G5, Ext Alt (Shade Structure)	Video 00:03:58 – 00:33:10
Comments:	Remove the clear plexiglass panels entirely or replace them with corrugated metal. Paint all panels so	
Discussion:	they match the roof color.	
Action:	Approved	Motion: Dan Majority (Daniel recuses)

Item – 19	8 Morning Glory Dr, G9, New Construction Resubmission	Video 01:37:37 – 02:00:15
Comments:	Redesign driveway to save 41" diameter Cedar nearest roadway. Consult an Arborist and Jerry Gangle to	
Discussion:	determine least amount of incursion into critical root zone. Submit Construction Change if unable to comply.	
Action:	Approved	Motion: Dan Unanimous

Item – 20	8 Morning Glory Dr, G9, Variance (Side Set-Back) Resubmission	Video 01:37:37 – 02:00:15
Comments:		
Discussion:		
Action:	Approved	Motion: Dan Unanimous

Item – 21	29 Cold Spring Ln, G9, Ext Alt (Walkway)	Video 00:35:05 – 00:35:22
Comments:		
Discussion:		
Action:	Approved	Motion: Jo Jean Unanimous



Item – 22	2 Midnight Ct, G13, Tree (Remove 1)		Video 02:06:53 – 02:07:52
Comments:			
Discussion:			
Action:	Approved	Motion: Dan	Unanimous

Item – 23	10 Shooting Star Ct, G13, Const Change (Multiple Changes)		Video 02:08:02 – 02:09:02
Comments:			
Discussion:			
Action:	Approved	Motion: Dan	Unanimous

Item – 24	79 Polo Park Dr, G13, Tree (Remove 2) <i>Resubmission</i>		Video 00:02:33 – 00:03:25
Comments:			
Discussion:			
Action:	Approved	Motion: Dan	Unanimous

Item – 25	7 Summer Bell Ln, G13, Ext Alt (Painting)		Video 02:09:19 – 02:10:02
Comments:			
Discussion:			
Action:	Approved	Motion: Patric	Unanimous

Item – 26	Discussion of 8 & 10 Valley View Circle stormwater handling		Video 02:10:11 – 02:21:32
Comments:			
Discussion:			
Action:		Motion:	

Meeting Adjourned at 11:27 AM

Rec'd 03/26/2026
8:44 PM

Sudden Valley Community Association Exterior Alteration Request

Item 4
Pg 1 of 1
G1

Street Address: 42 North Point Drive Div 12 Lot 124
Owner: Michelle M. Bartz
Mailing Address: 42 North Point Drive Bellingham, WA 98229
Phone: [REDACTED] Email: bartzninely@gmail.com

Requests will not be considered unless the street address is clearly displayed on the residence.
Please note that in the week(s) following

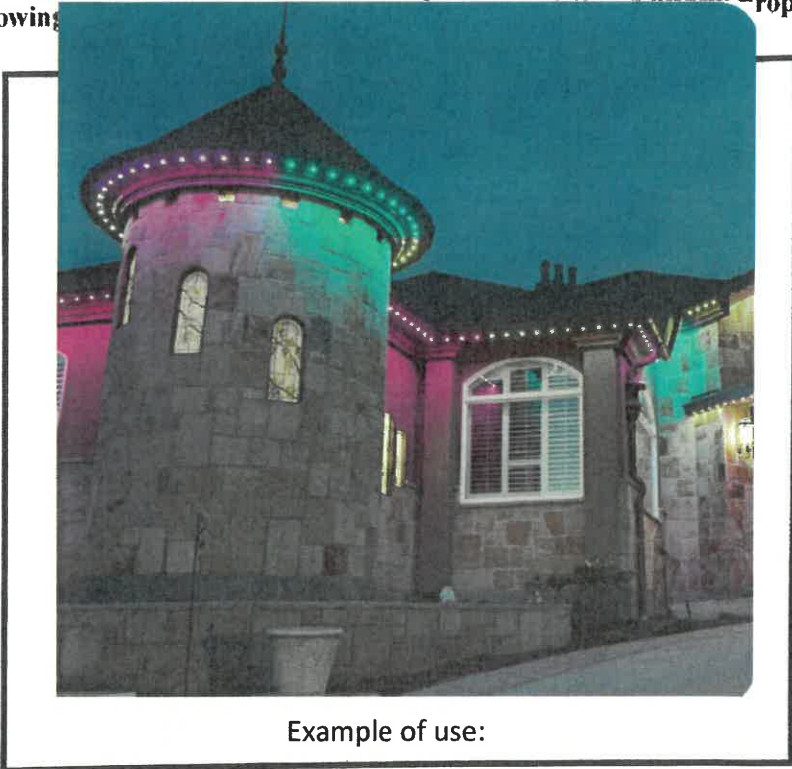
Requested for:

- Existing home
- New construction

The change would affect:

- Exterior appearance
- Drainage/Erosion control
- Open space & Lot coverage
- Setbacks to property line
- Structure height

Please refer to ACC Guidelines
14.2 and 14.11 and for more
information.



Example of use:

Give a full description of the request and attach any additional information if needed:

Request to install JellyFish Lighting, an LED low-profile accent lighting system for security purposes and occasional holiday illumination.

~~The system will be installed by certified installers and is a permanent, discreet exterior system consisting of small LED nodes installed under eaves within color-matched tracks. It provides year-round security, architectural accent, and holiday lighting, featuring low energy consumption and downward-directed lighting to minimize light pollution.~~

The lights are fully programmable and will remain in compliance with community lighting restrictions.

This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: Michelle M. Bartz Date: 03/26/2026

RECEIVED

MAR 20 2026

Sudden Valley Community Association
Exterior Alteration Request

Item 5
Pg 1 of 5
G1

Street Address: 20 LONGSHORE LN Div 21 Lot 060
Owner: BRIAN WHITE + VERKI TRUCHAN
Mailing Address: 20 LONGSHORE LN
Phone: 206 399 7240 Email: bwhite3@gmail.com

Requests will not be considered unless the street address is clearly displayed on the residence.
Please note that in the week(s) following request submittal, ACC members may visit and review property.

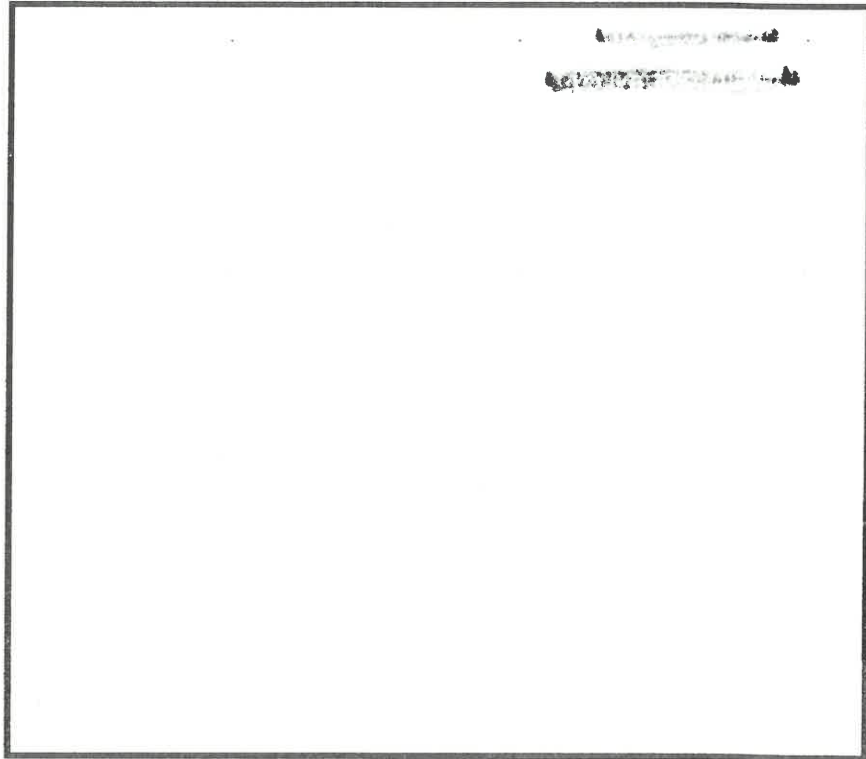
Requested for:

- Existing home
- New construction

The change would affect:

- Exterior appearance
- Drainage/Erosion control
- Open space & Lot coverage
- Setbacks to property line
- Structure height

Please refer to ACC Guidelines
14.2 and 14.11 and for more
information.



Give a full description of the request and attach any additional information if needed:

See Attached - House Repainting

NOTE: PDF of Color Comparison is available

This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: [Signature] Date: 3/19/2026

Sudden Valley Community Association

Exterior Alteration Request V2

Please disregard our previous submission. We have changed our mind on the base pain color. This document has the modified information.

Address: 20 Longshore Lane

Owner: Brian White

Phone: 206 899 7246

Email: bwhite13@gmail.com

Requested for: Existing Home, Exterior Appearance

The house has not been painted since it has been built and showing signs of wear and deterioration. This project will repaint the entire home including body, trim, gutters, and wood stained areas. We believe this will significantly improve the appearance of our property as well as improving the lifespan of the house itself.

Paint Colors:

Body: Sherman Williams Urbane Bronze SW2048 (pre-approved color)

Trim: Sherman Williams Tricorn Black SW6258

Stain: Sherman Williams Cedar Bark SW3511

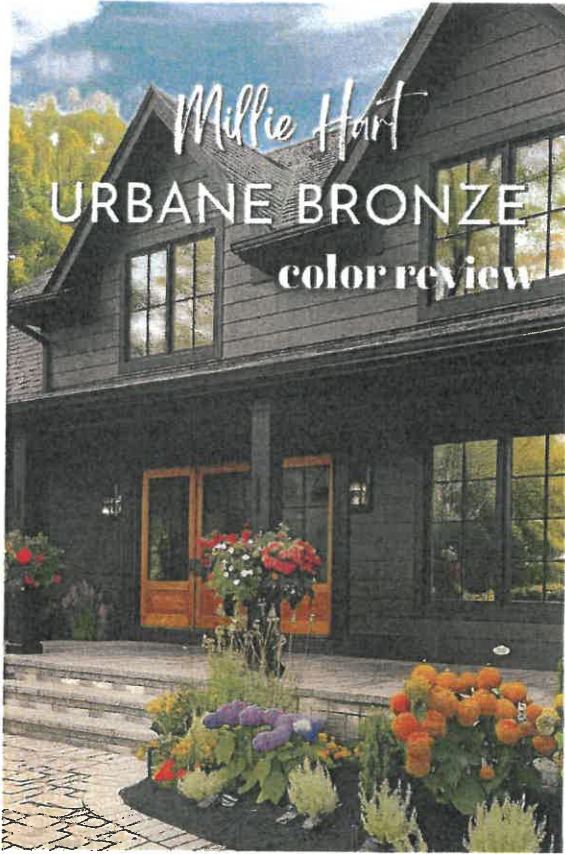
Current House Colors



Proposed house colors

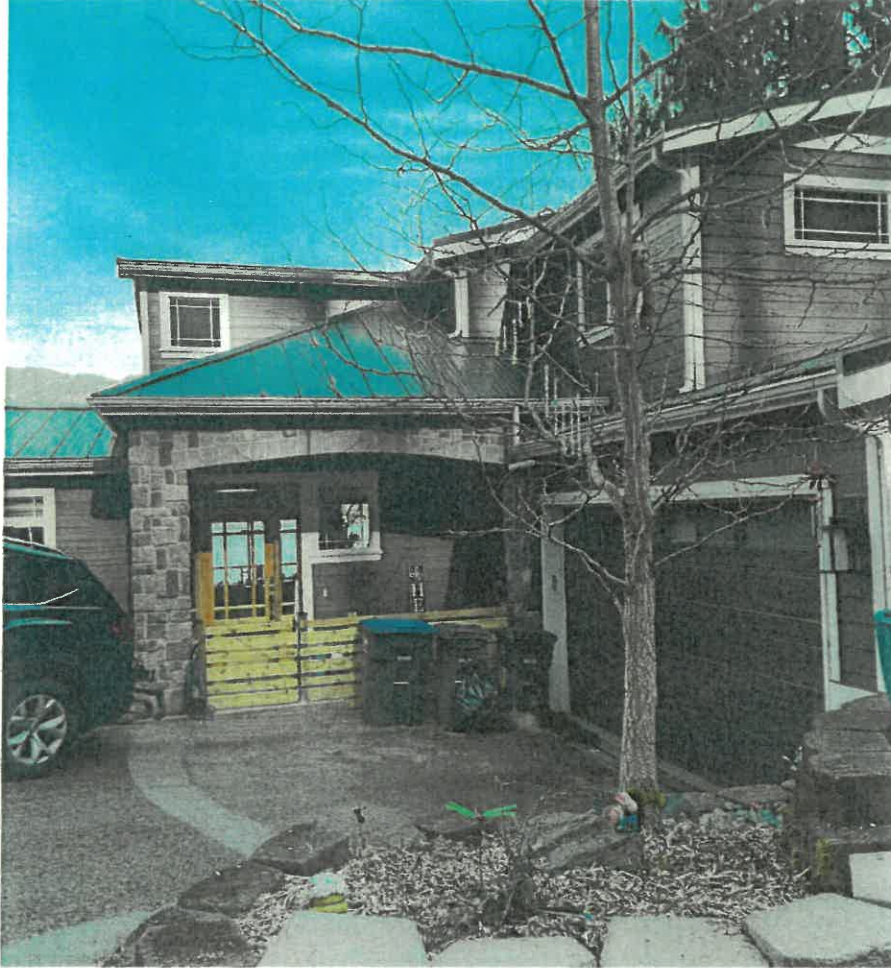


Examples of the Sherman Williams color scheme



Comparable with Urban Bronze

Note the trim color in this existing sudden valley home is white, but the primary color is Urban Bronze. The cool evening light makes it look a little more blue that it would in full sun.



Rec'd 04/08/2026
10:05 AM

Sudden Valley Community Association Exterior Alteration Request

Item 6
Pg 1 of 3
G1

Street Address: 14 Birdie Ln, Bellingham, WA 98229 Div 32 Lot 065
Owner: Miriam Barkin
Mailing Address: _____
Phone: 360-372-8130 Email: barkin106@gmail.com

**Requests will not be considered unless the street address is clearly displayed on the residence.
Please note that in the week(s) following request submittal, ACC members may visit and review property.**

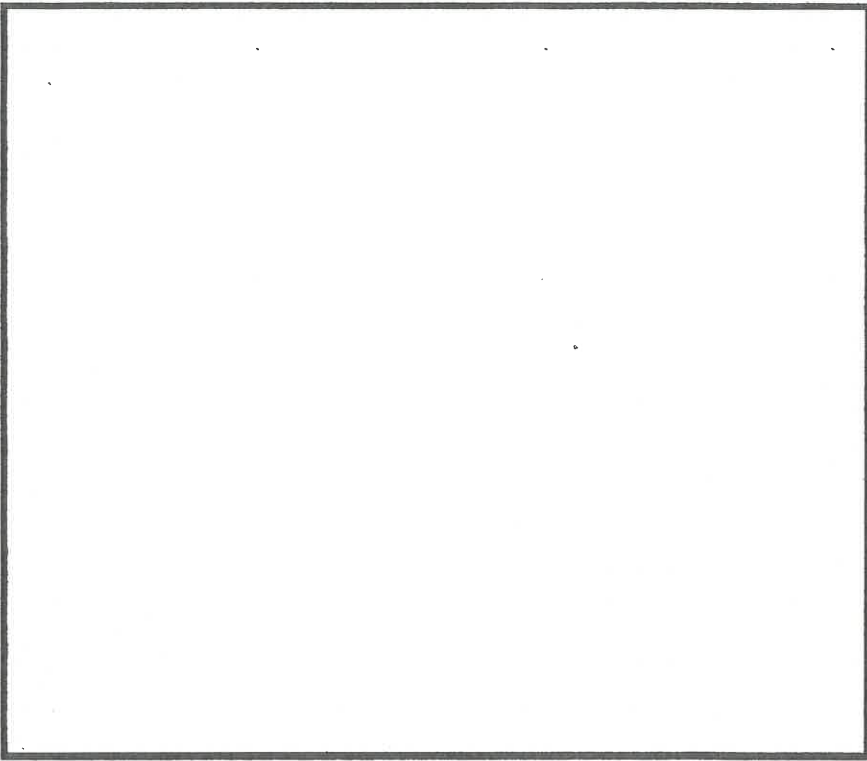
Requested for:

- Existing home
- New construction

The change would affect:

- Exterior appearance
- Drainage/Erosion control
- Open space & Lot coverage
- Setbacks to property line
- Structure height

Please refer to ACC Guidelines 14.2 and 14.11 and for more information.



Give a full description of the request and attach any additional information if needed:

Replace existing deck with Trex or Trex like material. Color will be to match existing exterior colors. Railing may be slightly different. I do not plan to change the deck layout. Deck will be inspected for ~~for~~ and updated for any structural defects.

Add privacy screens, at the same height of the current deck railing, to hide my neighbor's garage and driveway.

This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.

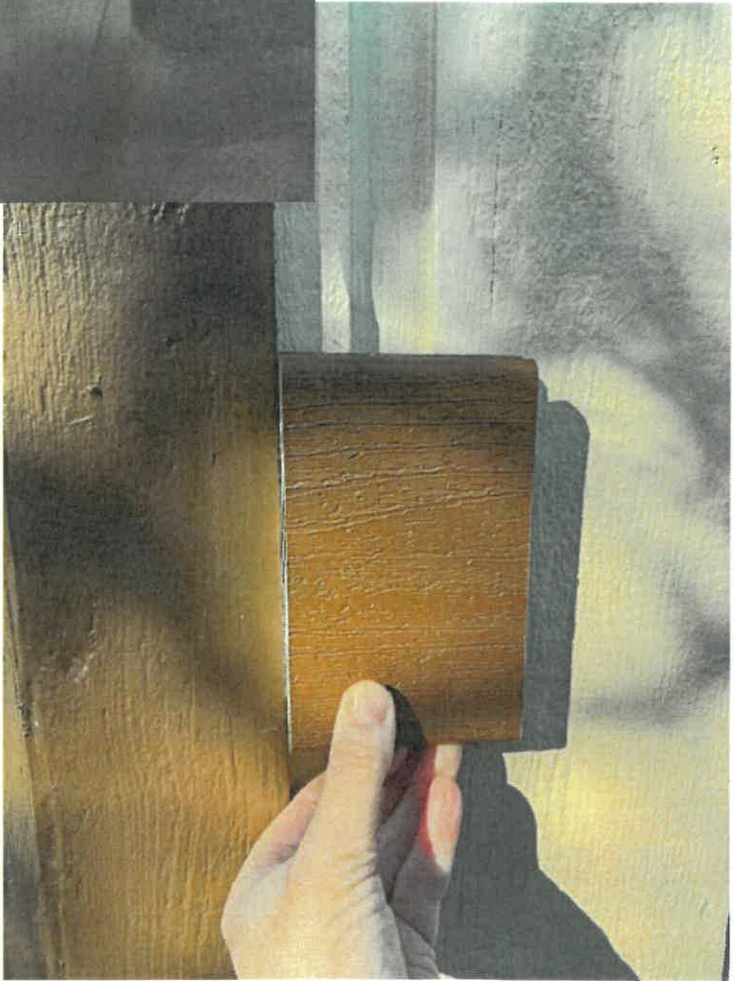
Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: Miriam Barkin Date: 4/8/2026



Existing Wood Deck & Railing





Savannah

48" x 70" x 5/16"

90% Privacy

Brown

40 lbs. per panel

SAVANNAH is a higher visual density cut of our popular LEAFSPRAY panel. It offers our highest privacy rating while maintaining the intricacy of the branch and leaf pattern, making it complementary to a broad range of space configurations where both design and privacy are paramount.

Rec'd 03/26/2026
3:26 PM

Sudden Valley Community Association Exterior Alteration Request

Item 7
Pg 1 of 2
G2

Street Address: 9 Grand View Ln Div 07 Lot 100
Owner: Peter Moore, Katie Frank
Mailing Address: 9 Grand View Ln, Bellingham, WA 98226
Phone: 503-253-7103 Email: peterhadley@comcast.net

Requests will not be considered unless the street address is clearly displayed on the residence.
Please note that in the week(s) following request submittal, ACC members may visit and review property.

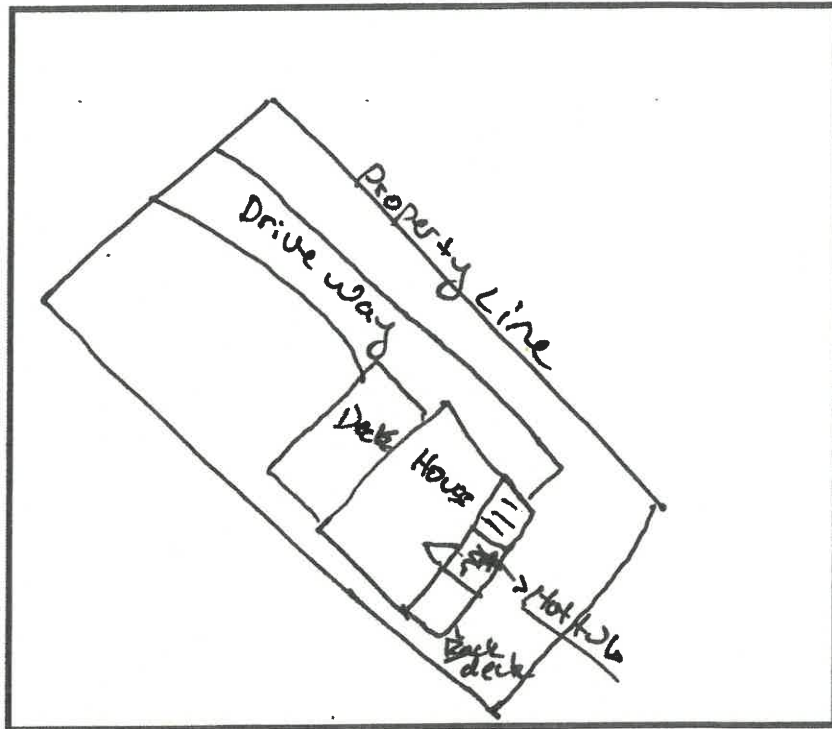
Requested for:

- Existing home
- New construction

The change would affect:

- Exterior appearance
- Drainage/Erosion control
- Open space & Lot coverage
- Setbacks to property line
- Structure height

Please refer to ACC Guidelines 14.2 and 14.11 and for more information.



Give a full description of the request and attach any additional information if needed:

-Install hot tub on back deck of house. Limited view from neighbors, will install privacy screens after discussion with neighbors.

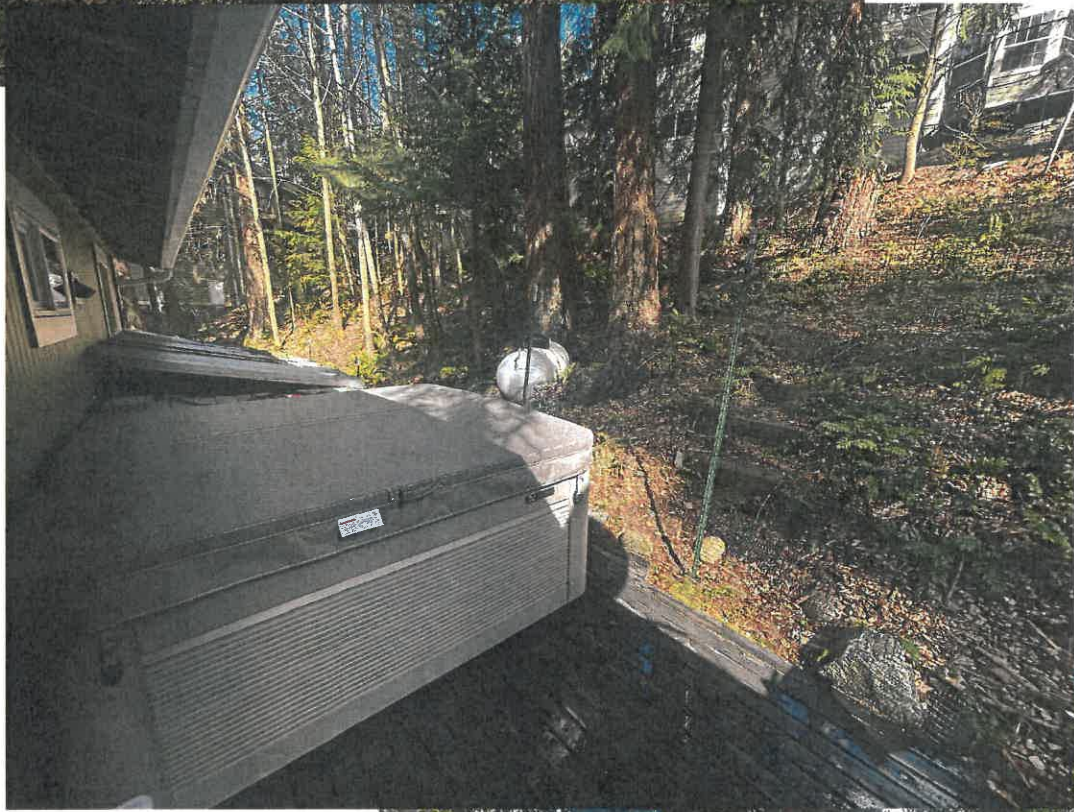
This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: _____

Date: 3-26-2020

acc admin@suddenvalley.com



Rec'd 04/06/2026
11:14 AM

Sudden Valley Community Association Fence Request

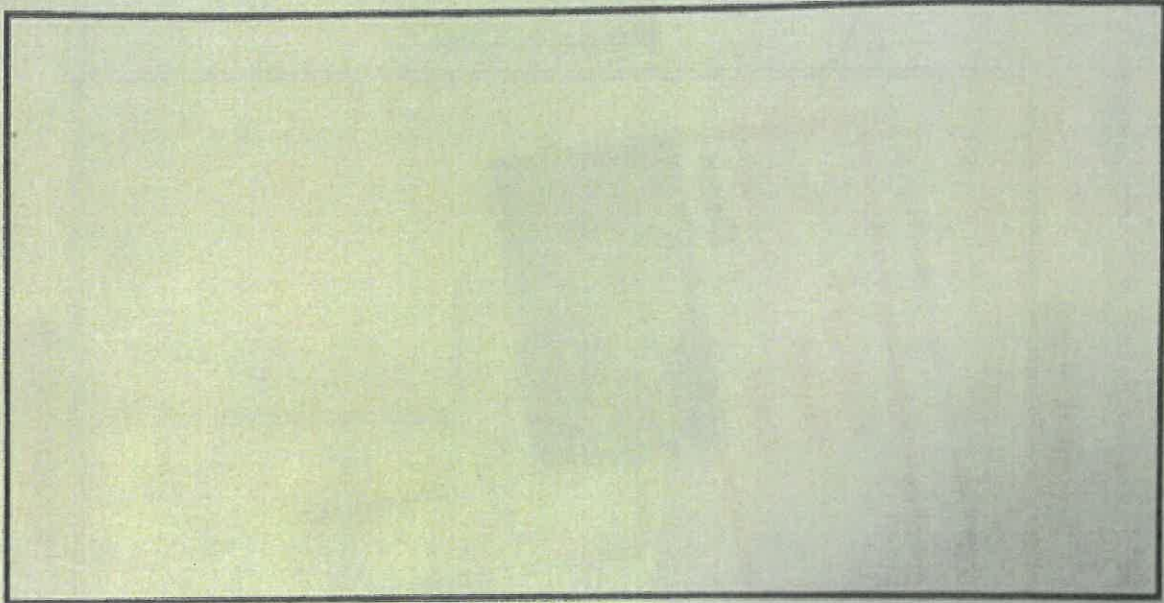
Item 8
Pg 1 of 3
G2

Street Address: 9 Grand View Ln Div 07 Lot 100
Owner: Peter Moore, Katie Frank
Mailing Address: 9 Grand View Ln, Bellingham, WA 98229
Phone: [REDACTED] Email: [REDACTED]

Requests will not be considered unless the street address is clearly displayed on the residence.
Please note that in the week(s) following request submittal, ACC members may visit and review property.

Intended use: Privacy Protection Pet Enclosure
Fence type: Split Rail Wood and Wire Vegetative Hedge Other

On the diagram below, please indicate the road, property line, house, fence outline with dimensions, and any proposed vegetative screening (may attach larger sketch if needed)



Corners of the proposed fence MUST be staked prior to submittal.
Please refer to ACC Guideline 14.6.8 for more information.

Give a full description, additional considerations, and attach additional information if needed:

Hog Fence and timber fence for dog run, no higher than 5', extend off back deck and small portion of backyard.

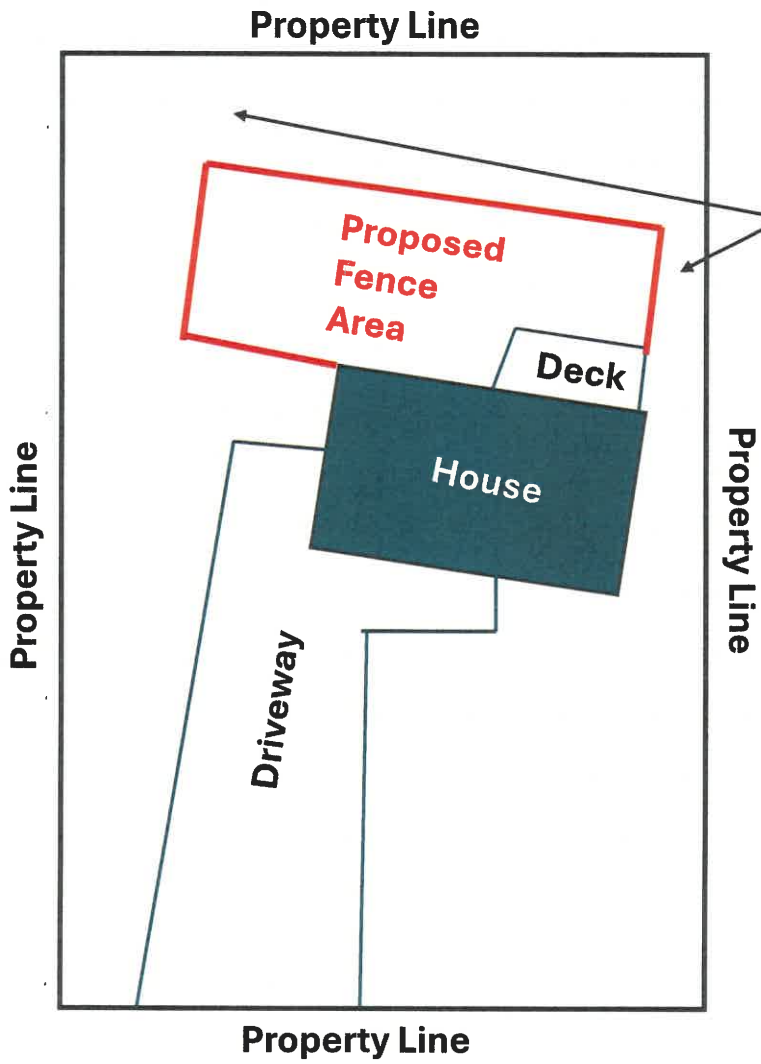
This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

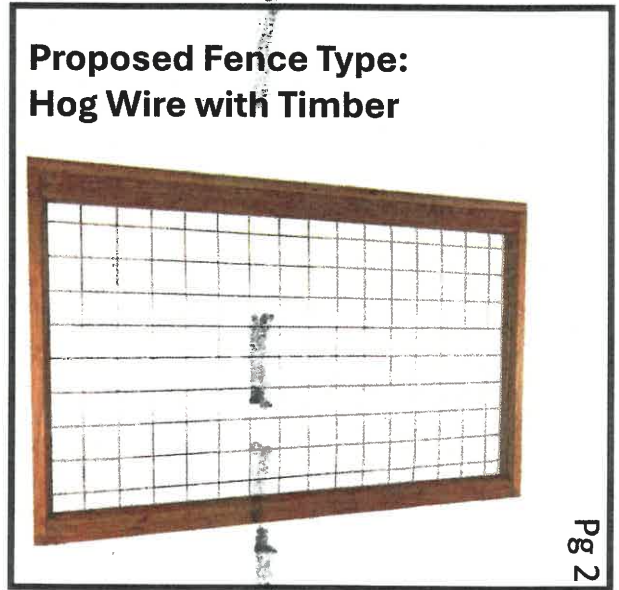
Owner Signature: [Signature] Date: _____

AC Staff Comments: _____

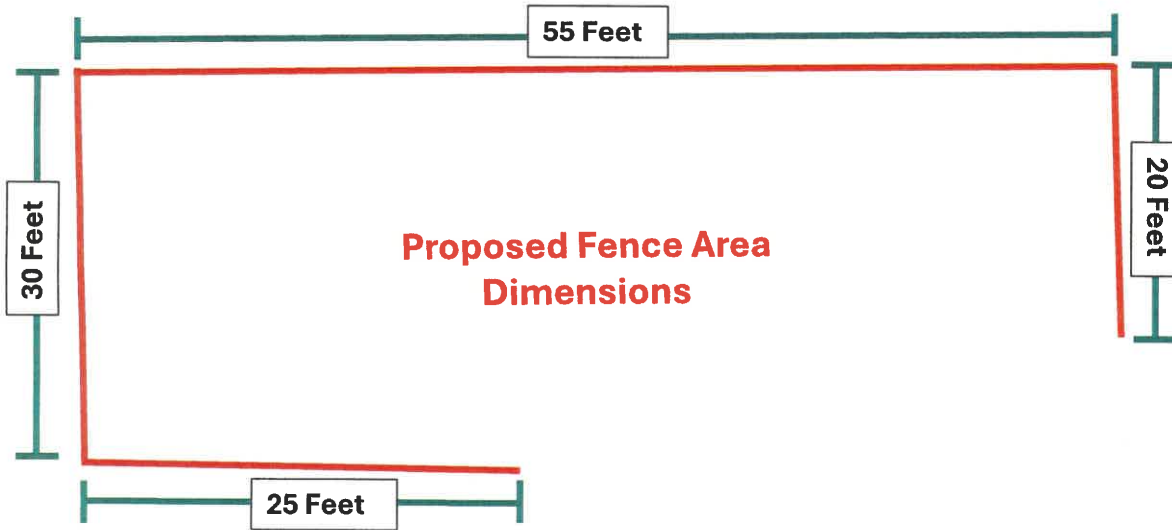
Fence Request
9 Grand View Lane
Bellingham, WA
98229



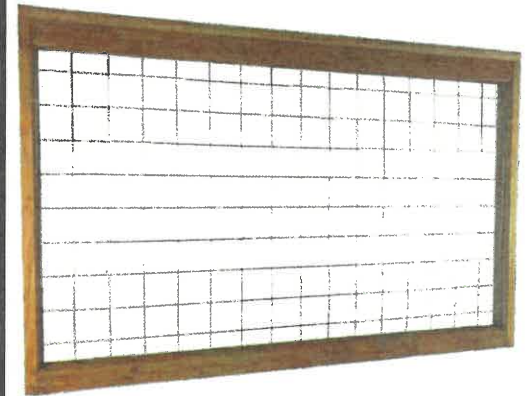
**Distance 5' + from
property line**



Fence Request
9 Grand View Lane
Bellingham, WA
98229



Proposed Fence Type:
Hog Wire with Timber





APPLICATION FOR NEW CONSTRUCTION

Circle Type:	<input checked="" type="radio"/> Home Construction	<input type="radio"/> Remodel	<input type="radio"/> Addition	<input type="radio"/> Other (Describe):	G2
Street Address: 7 Orchid Ct, Bellingham, WA 98229				Div/Lot 18/18	
Owner(s) Name(s): Shulga, Bogdan & Viktoriya					
Mailing Address: 7 Orchid Ct, Bellingham, WA 98229					
Email Address: bogdan_shulga@gmail.com	Cell Phone: 360-922-2870		Work Phone:		

CONTRACTOR: AC Inspector MUST BE contacted for inspection 24 hours prior to all inspections by completing an ACC Inspection Request form. Required inspections are:

- Installation of **erosion** control measures
- **Setbacks** prior to pouring of any concrete for either slab or foundation/forms
- Installation of **driveway** and/or apron
- **Completion** of work and occupancy of home

I have read and understand the Sudden Valley Community Association Architectural Control Policies.

Contractor Signature:		Date:
Company Name: TBD		License:
Mailing Address:		
Email Address:	Cell Phone:	Office Phone:

Bank or Loan Agency: TBD		
Valuation of Structure: \$600,000	Square Footage: 2,955	
Use: (Circle)	<input checked="" type="radio"/> Permanent Residence	<input type="radio"/> Vacation/Weekend
Variance Request (Circle):	<input checked="" type="radio"/> Yes	<input type="radio"/> No
If Yes, must attach Variance Request form		

The following items must be submitted at time of application:

- SVCA Construction Application and Checklist (**must be signed by property owner**).
- Application fee (per AC Policies 14.8.8).
- Copy of survey by a licensed surveyor including topography, trees, and square footage.
- Two (2) sets of construction plans (including floor plan, elevations, and finished grade).
- Two (2) copies of site plan @ 1"=10' scale (see AC Policies Appendix I for sample)
- Two (2) copies of landscaping plan @ 1"=10' scale
- Driveway cross-section, showing road edge to garage slab
- One (1) copy of specification sheet including paint chips, roof color, and lighting sample
- **Proof of insurance** (see Item 10 above)
- One (1) copy of water/sewer availability
- Property and building corners must be staked and strung
- ALL trees requested for removal must be clearly ribboned and indicated on site plan.
- Written application for variance, if any
- Refundable Completion Deposit (due during permit meeting per AC Policies section 14.8.8)




I agree to construct and maintain the above described single family dwelling in accordance with the plans and specifications submitted as the same may be approved by the ACC and further agree not to allow said single family dwelling to be used as a multiple family dwelling or duplex or to be used in any way which violates the Restrictive Covenants, Rules, and Regulations or Architectural Control Committee Policies.

I hereby acknowledge that the ACC, according to the Restrictive Covenants, is in no way responsible for any defects, of whatever nature, in the plans and specifications submitted. I agree to undertake full responsibility to accurately ascertain the lot lines delineating the boundaries of my property. I understand that the ACC in approving my plans and specifications, including site plan, is in no way warranting or representing the actual location of the lot lines delineating the boundaries of my property. I also understand that an infringement onto adjoining properties due to lot clearing or excavation shall be rectified prior to the framing of the structure.

Application

Submitted by (Print): Bogdan Shulga

Circle One: Owner Contractor Other Representative

Signature of Owner(s): 

Printed Name
of Owner: Bogdan Shulga

Date 03 / 18 / 2026

ACC Inspector Report 7 Orchid Ct

Lot size: 6,520

Property coverage: 34.4%

Open Space: 63.1%

Front setback: 26"

Rear setback: 26'

Side setback: 9' 6"

Side setback: 8' 6"

Driveway grade: 1.4%

Height:

Definition 1: 38' 3"

Definition 2: 25' 7"

ACC Inspector Notes

Variance filed for side setbacks and height.

4/9/26 Resubmission

The footprint of the house has been shifted. Encroachment into side setbacks reduced by around 3'.

Submission did not include topo lines or elevations. The numbers presented here for height and driveway grade were taken from the previous submission.

Minutes of the ACC Meeting on 04/02/2026.

Item – 12	7 Orchid Ct, G2, New Construction <i>In-Concept</i>		Video 01:06:33 – 01:23:30
Comments:			
Discussion:			
Action:	Approved	Motion: Dan	Unanimous



APPLICATION CHECKLIST

(APPLICANT TO FILL OUT)

Item 9
Pg 4 of 10

APPLICATION		
Has application been filled out?	<input checked="" type="radio"/> Yes	<input type="radio"/> No
Name, address, and phone number of OWNER	<input checked="" type="radio"/> Yes	<input type="radio"/> No
Name, address, and phone number of CONTRACTOR	<input type="radio"/> Yes	<input checked="" type="radio"/> No
Signatures of OWNER and CONTRACTOR	<input type="radio"/> Yes	<input checked="" type="radio"/> No
Proof of Insurance	<input type="radio"/> Yes	<input checked="" type="radio"/> No

ENCROACHMENT PERMIT		
Is Encroachment Permit filled out?	<input type="radio"/> Yes	<input checked="" type="radio"/> No
Is OWNER/PROPERTY "in good standing" with SVCA?	<input checked="" type="radio"/> Yes	<input type="radio"/> No

DRAWINGS / DESIGN		
Is there 1 hard copy and 1 digital copy of the drawings?	<input checked="" type="radio"/> Yes	<input type="radio"/> No
Site plan including topography, trees, square footage lot	<input checked="" type="radio"/> Yes	<input type="radio"/> No
Elevation views depicting existing and finished grades	<input checked="" type="radio"/> Yes	<input type="radio"/> No
Driveway cross-section, road edge to garage slab	<input checked="" type="radio"/> Yes	<input type="radio"/> No
Does the site plan include:		
Accurate contour lines in 2' vertical increments	<input checked="" type="radio"/> Yes	<input type="radio"/> No
North arrow and legal description	<input checked="" type="radio"/> Yes	<input type="radio"/> No
Roof line and footprint of house	<input checked="" type="radio"/> Yes	<input type="radio"/> No
Actual setback dimensions to eaves	<input checked="" type="radio"/> Yes	<input type="radio"/> No
Finished floor elevation	<input checked="" type="radio"/> Yes	<input type="radio"/> No
Slab elevation of garage per topography	<input checked="" type="radio"/> Yes	<input type="radio"/> No
Proposed material for driveway	<input checked="" type="radio"/> Yes	<input type="radio"/> No
Decks and patios	<input checked="" type="radio"/> Yes	<input type="radio"/> No
Accurate tree locations, sizes, and types	<input checked="" type="radio"/> Yes	<input type="radio"/> No
Trees marked for removal and indicated	<input checked="" type="radio"/> Yes	<input type="radio"/> No
Location of stormwater retention pit with overflow	<input type="radio"/> Yes	<input checked="" type="radio"/> No
Propane tank location (if applicable) and screening	<input type="radio"/> Yes	<input checked="" type="radio"/> No
Retaining walls (as required)	<input type="radio"/> Yes	<input checked="" type="radio"/> No
Culvert (if required)	<input type="radio"/> Yes	<input checked="" type="radio"/> No

FIELD WORK		
Licensed survey and/or location of legal property corners	<input checked="" type="radio"/> Yes	<input type="radio"/> No
Have the trees proposed for removal been flagged?	<input checked="" type="radio"/> Yes	<input type="radio"/> No
Have the house corners been staked out and strung for review?	<input checked="" type="radio"/> Yes	<input type="radio"/> No

SPECIFICATIONS		
Have you supplied details on the Specification Sheet?	<input checked="" type="radio"/> Yes	<input type="radio"/> No
Siding and trim materials	<input checked="" type="radio"/> Yes	<input type="radio"/> No
Body, trim, and accent colors	<input checked="" type="radio"/> Yes	<input type="radio"/> No
Lighting sample	<input checked="" type="radio"/> Yes	<input type="radio"/> No
Roofing materials and color	<input checked="" type="radio"/> Yes	<input type="radio"/> No
Square footage of finished living space	<input checked="" type="radio"/> Yes	<input type="radio"/> No

The information above is accurate and true to the best of my knowledge.

Signature Date 03 / 18 / 2026

Printed Name: Bogdan Shulga

Circle One: Owner Contractor Other Representative








SPECIFICATION SHEET

Street Address: 7 Orchid Ct, Bellingham, WA 98229	Div/Lot 18/18
Owner(s)/Contractor Name(s): Shulga, Bogdan & Viktoriya	

Siding Type: Hardi - Lap siding & Panel Siding, Shiplap
Trim Type: Hardi Trim
Gable Type: N/A
Roof Type: Asphalt Shingle/Metal
Lighting Type: Round - Shining Down Only
Retaining Wall Materials: N/A
Other Finish Materials: Rock

Samples

SIDING/BODY COLOR	TRIM COLOR	ACCENT COLOR
Body: Taupe Tone SW 7633 	Trim: Tricorn Black SW 6258  	Garage Door: Black Front Door: Brown Other (Specify Locations):
ROOF COLOR	RETAINING WALL SAMPLE	LIGHTING SAMPLE
Black Shingle - Roof Black Metal - Porch 	N/A	

SHULGA RESIDENCE

CREATED
03/11/2026
REVISED
04/07/2026

DESIGN CRITERIA

FLOOR LOADS	40# LIVE
	10# DEAD
DECK LOADS	60# LIVE
	10# DEAD
ROOF SNOW LOADS	25# LIVE
	20# DEAD
GROUND SNOW LOADS	30#
FROST DEPTH	12"



Item 9
Pg 6 of 10

APPENDIX J

OWNERS' AND CONTRACTORS' CHECKLIST
SITE PLAN INCLUDING LANDSCAPE DETAILS

ALL PLANS TO INCLUDE THE FOLLOWING INFORMATION LEGEND

DESIGNED BY:

ARTEM SIMONCHUK

A.SIMONH115170@GMAIL.COM

GENERAL NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING ALL DIMENSIONS AND NOTES BEFORE BEGINNING CONSTRUCTION AND ASSUMES RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS.
2. THE CONTRACTOR MUST ADJUST THESE PLANS AS NECESSARY TO FIT SITE CONDITIONS, PROVIDED THAT SUCH CHANGES COMPLY WITH APPLICABLE CODES AND DO NOT COMPROMISE THE STRUCTURAL INTEGRITY OF THE BUILDING.
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL ASPECTS OF VENTILATION, WATERPROOFING, FLASHING, CONSTRUCTION PROCEDURES, METHODS, TECHNIQUES, AND PRECAUTIONS RELATED TO THE PROJECT.
4. IF THE CONTRACTOR IDENTIFIES ANY ERRORS OR INCONSISTENCIES IN THE CONSTRUCTION DOCUMENTS, THEY MUST NOTIFY ARTEM SIMONCHUK IN WRITING AND ALLOW ADEQUATE TIME FOR CORRECTIONS. FAILURE TO PROVIDE SUCH NOTICE WILL MAKE THE CONTRACTOR RESPONSIBLE FOR ANY RESULTING COSTS.
5. ALL WORK SHALL COMPLY WITH THE LATEST ADOPTED VERSION OF THE LOCAL BUILDING CODE.

WSEC NOTES:

- R21 WALLS
- R30 FLOORS
- R60 STD CEILING WITH NO LESS THAN R25 AT PERIMETER (SMALL RAISED HEELS)
- U 0.27 OR BETTER WINDOWS
- 1.5 ACH50 WITH .65 EFFICIENT ERV (AEROBARRIER RECOMMENDED)
- SMART HOT WATER RECIRC SYSTEM

TABLE	DESCRIPTION	OPTION #	POINTS
406.2	carbon offset	4	3
406.3	1.5 ACH50 & ERV	2.2	1.5
406.3	Heat pump air handler	3.6	1
406.3	Hot water recirc	5.2	0.5
406.3	Tier III HPWH	5.6	2
TOTAL			8

PREPARED BY: ARTEM SIMONCHUK
PHONE NUMBERS: (340) 922-2870
OWNERS NAME: BOGDAN SHULGA
SITE ADDRESS: 7 ORCHID CT, BELLINGHAM, WA
PARCEL #: 3704084455400000 DIV 18 LOT 18
LOT AREA: 6415 SF
HOUSE FOOTPRINT: 1511 SF
VERTICAL HEIGHT: 23'-2" (MEASURED AT 10' AWAY FROM THE HIGHEST POINT OF THE LOT)
LIVING AREA: 2487 SF
GARAGE AREA: 458 SF
TOTAL IMPERVIOUS SURFACE: 2224 SF (34.67%)
DRIVEWAY AND WALKWAY AREA: 515 SF
DRIVEWAY SLOPE PERCENTAGE: 11.5%
DECK AREA: 160 SF
OPEN SPACE PERCENTAGE DEFINED: 65.33%
SETBACKS:
FRONT: 20'
REAR: 5'
SIDE: 5' MIN, PER SIDE, 18' COMBINED MIN.
ELEVATION LANDMARKS: 55MM#1015 RIM#107.01
HOUSE & ROOF COLORS: LIGHT FIXTURES:
LANDSCAPE PLAN W/ TREE REMOVAL:
WHATCOM COUNTY PERMIT NUMBER:

SHULGA RESIDENCE
7 ORCHID CT
BELLINGHAM, WA

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MAIN 1000 SF
SECOND 1402 SF
TOTAL LIVING 2402 SF
UNFINISHED BASEMENT 716 SF
PORCH 23 SF
GARAGE 458 SF
DECK 160 SF

CREATED
03/11/2026
REVISED
04/07/2026

DESIGN CRITERIA

FLOOR LOADS	208 LIVE
DECK LOADS	100F DEAD
	60M LIVE
	10F DEAD
ROOF SNOWLOADS	258 LIVE
	208 DEAD
GROUND SNOW LOADS	30F
FROST DEPTH	12"

DESIGNED BY:

ARTEM SIMONCHUK

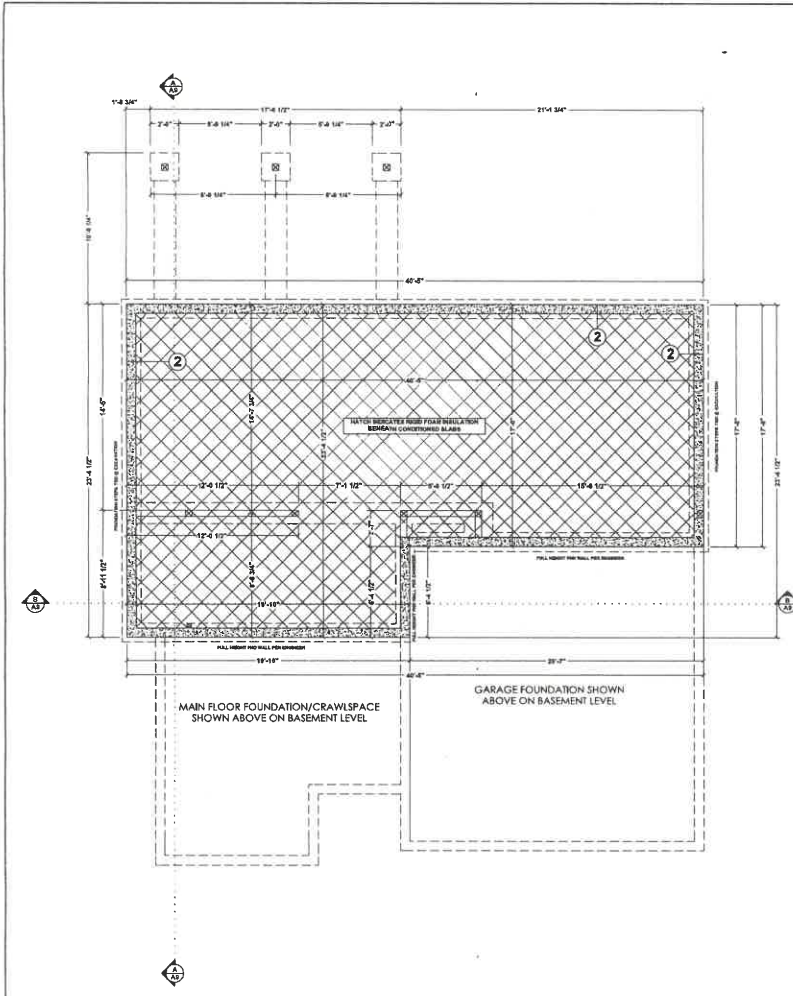
A.SIMON115170@GMAIL.COM

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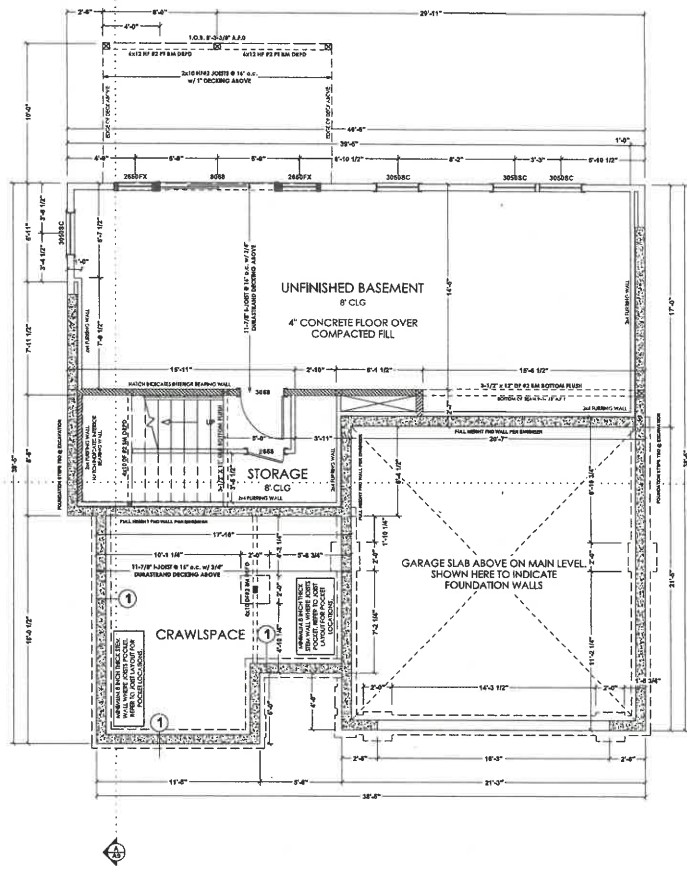
SHULGA RESIDENCE
7 ORCHID CT
BELLINGHAM, WA

PAGE
A 2

MAIN	1050 SF
SECOND	1402 SF
TOTAL LIVING	2452 SF
UNFINISHED BASEMENT	716 SF
PORCH	23 SF
GARAGE	458 SF
DECK	160 SF



FOUNDATION PLAN
SCALE: 1/4"=1'



LOWER FLOOR PLAN - UNFINISHED BASEMENT
SCALE: 1/4"=1'
ALL HEADERS 4x10 DF#2 U.N.O.
TOP OF WINDOWS 50" A.F.F. U.N.O.

FOUNDATION KEY NOTES

1. MINIMUM CRAWLSPACE VENTILATION: 1 SF NET VENT OPENING PER 300 SF OF UNDER FLOOR AREA, REQUIRED OPENINGS SHALL BE EVENLY PLACED TO PROVIDE CROSS VENTILATION OF THE SPACE EXCEPT ONE SIDE OF THE BUILDING SHALL BE PERMITTED TO HAVE NO VENTILATION OPENINGS.
OR
CONTINUOUSLY OPERATED MECHANICAL EXHAUST VENTILATION REQUIRED 1 CFM50SF.
2. ALL FOOTINGS TO BE POURED ON UNDISTURBED SOIL, OTHERWISE A COMPACTION TEST WILL BE REQUIRED.
3. ALL EXTERIOR FOOTINGS TO BE BELOW FROST DEPTH LISTED IN DESIGN CRITERIA.
4. PROVIDE MINIMUM 18" x 24" CRAWLSPACE ACCESS.
5. FOUNDATION BOLT REQUIREMENTS (UNLESS NOTED OTHERWISE):
A. MINIMUM 3/4" DIAMETER BOLTS
B. MINIMUM 2" EMBEDMENT IN THE CONCRETE
C. PLATE WASHERS ARE TO BE 2" x 2" x 1/4"
D. BOLTS ARE TO BE SPACED NO MORE THAN 6'-0" o.c. IF SINGLE STORY;
BOLTS ARE TO BE SPACED NO MORE THAN 4'-0" o.c. IF 2 STORY OR HIGHER
E. MINIMUM 2 BOLTS ARE REQUIRED FOR EACH FOUNDATION PLATE
F. END BOLTS SHALL BE PLACED BETWEEN 3'-1/2" AND 12" FROM THE END OF THE PLATE

POST LEGEND		WINDOW STYLE	
	FX	FX	FROZD
	LB	LB	LEFT BLINDR
	RB	RB	RIGHT BLINDR
	TS	TS	TRIPLE SLIDER
	RC	RC	SHOLE CABENENT
	SH	SH	SHOLE HUNG
	AW	AW	AWNING
	PT	PT	PASS THROUGH
	LV	LV	LOWWRED

CREATED
03/11/2026
REVISED
04/07/2026

DESIGN CRITERIA

FLOOR LOADS	40# LIVE
DECK LOADS	10# DEAD 80# LIVE
ROOF SNOWLOADS	25# LIVE 20# DEAD
GROUND SNOW LOADS	30#
FROST DEPTH	12"

DESIGNED BY:

ARTEM SIMONCHUK

A.SIMON1151706@GMAIL.COM

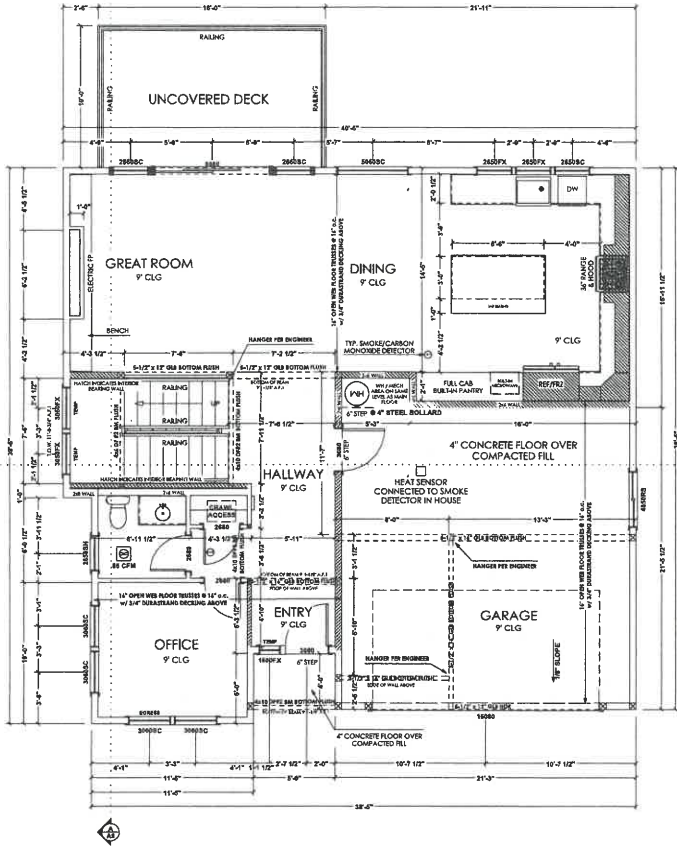
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SHULGA RESIDENCE
7 ORCHID CT
BELLINGHAM, WA

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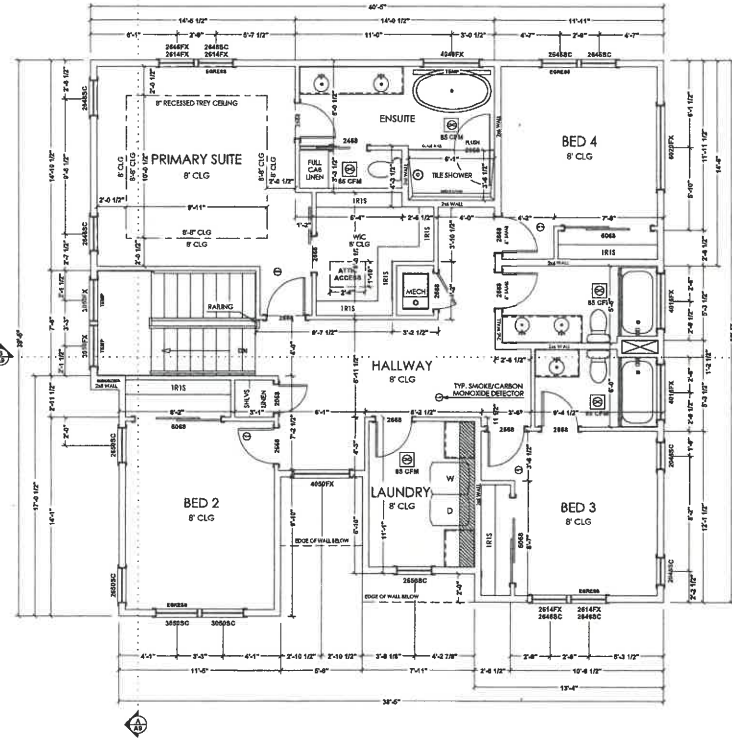
MAIN	1050 SF
SECOND	1402 SF
TOTAL LIVING	2452 SF
UNFINISHED BASMENT	716 SF
PORCH	23 SF
GARAGE	458 SF
DECK	160 SF



MAIN FLOOR PLAN

SCALE: 1/4"=1'
ALL HEADERS 4x10 DFR2 U.N.O.
TOP OF WINDOWS 88" A.F.F. U.N.O.

POST LEGEND		WINDOW STYLE	
[Symbol]	SANS STUDES FULL WIDTH OF BEAM	[Symbol]	FX FIXED
[Symbol]	1/4" PRESSURE TREATED COLLAR	[Symbol]	LR LEFT SLIDER
[Symbol]	1/4" PRESSURE TREATED COLLAR	[Symbol]	RR RIGHT SLIDER
[Symbol]	1/4" OF R1 COLUMN	[Symbol]	TS TRIPLE SLIDER
[Symbol]	1/4" OF R1 COLUMN	[Symbol]	BC BRWOLE CABINET
[Symbol]	1/4" OF R1 COLUMN	[Symbol]	BH BRWOLE HUNG
[Symbol]	1/4" OF R1 COLUMN	[Symbol]	AW APWIND
[Symbol]	1/4" OF R1 COLUMN	[Symbol]	PT PASS THROUGH
[Symbol]	1/2" GULAN COLUMN	[Symbol]	LV LOVERED



UPPER FLOOR PLAN

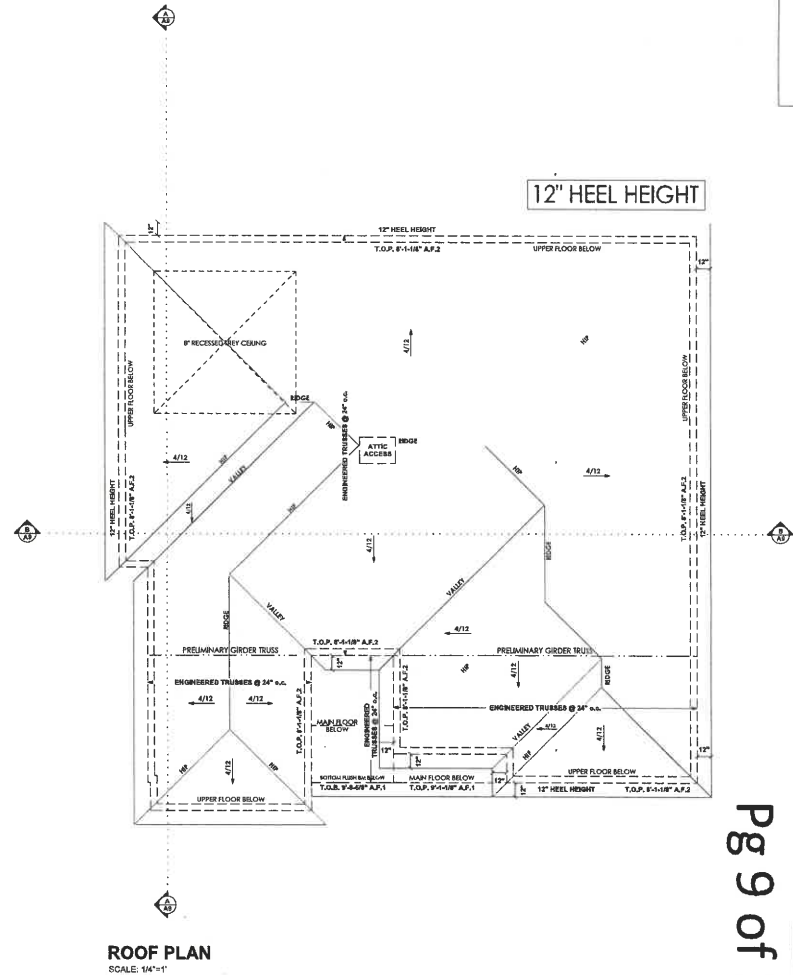
SCALE: 1/4"=1'
ALL HEADERS 4x10 DFR2 U.N.O.
TOP OF WINDOWS 88" A.F.F. U.N.O.

FLOOR PLAN KEY NOTES

- TEMPERED GLAZING IS REQUIRED IN THE AREAS LISTED BELOW:
 - WITHIN 2' OF DOORWAY.
 - IN TUB AND SHOWER ENCLOSURES WHEN THE BOTTOM EDGE IS LESS THAN 60" ABOVE THE DRAIN INLET.
 - IN INDIVIDUAL PANES GREATER THAN 9 SF. WHEN THE BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR.
 - IN STAIRWAYS OR WITHIN 5' OF THE BOTTOM TREAD OR WITHIN 3' OF THE TOP OF THE STAIRWAY WHEN THE BOTTOM EDGE IS LESS THAN 60" ABOVE THE WALKING SURFACE.
- GARAGE SEPARATION: THE GARAGE SHALL BE SEPARATED FROM THE ADJOINING HOUSE AND ITS ATTIC SPACE BY 1/2" GYPSUM WALLBOARD APPLIED TO THE GARAGE SIDE OF THE SEPARATION. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM THESE ROOMS BY 5/8" TYPE 'X' GYPSUM BOARD. WALLS SUPPORTING 5/8" CEILING SEPARATIONS SHALL BE PROTECTED WITH 1/2" GYPSUM BOARD.
- PROVIDE A MINIMUM OF 1 3/8" SOLID CORE OR 20 MINUTE FIRE RATED DOOR BETWEEN HOUSE AND GARAGE.
- PROVIDE SEISMIC RESTRAINTS ON WATER HEATER.
- PROVIDE AN R-10 RIGID INSULATION PAD UNDER WATER HEATER.
- APPLIANCES LOCATED IN GARAGES WHICH GENERATE A GLOW, SPARK OR FLAME CAPABLE OF IGNITING FLAMMABLE VAPORS SHALL BE INSTALLED WITH SOURCES OF IGNITION AT LEAST 18" ABOVE FLOOR LEVEL.
- APPLIANCES IN GARAGES SHALL BE INSTALLED BEHIND PROTECTIVE BARRIERS OR ELEVATED OUT OF THE NORMAL PATH OF VEHICLES.
- PROVIDE POSITIVE CONNECTION AT ALL POST/BEAM CONNECTIONS AND POST/FOUNDATION CONNECTIONS.
- WOOD EXPOSED TO MOISTURE SHALL BE TREATED BY AN APPROVED AGENCY OR SHALL BE OF NATURAL RESISTANCE TO DECAY.
- ALL FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD SHALL BE STAINLESS STEEL, GALVANIZED, OR CORROSION RESISTANT IN ACCORDANCE WITH CODE.

CREATED
03/11/2026
REVISED
04/07/2026

DESIGN CRITERIA	
FLOOR LOADS	40# LIVE 10# DEAD
DECK LOADS	60# LIVE 10# DEAD
ROOF SNOWLOADS	25# LIVE 20# DEAD
GROUND SNOW LOADS	30#
FROST DEPTH	1'



ROOF PLAN
SCALE: 1/4"=1'

Item 9
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ROOF KEY NOTES

1. IF TRUSS MNFR LAYOUT VARIES FROM THIS PLAN, IT IS THE MNFR RESPONSIBILITY TO SUBMIT NEW LAYOUT & ENGINEERING TO THE DESIGNER IMMEDIATELY & PRIOR TO SUBMITTAL TO LOCAL BUILDING DEPT.
2. OVERFRAME AREAS TO HAVE DIRECT BEARING TO TRUSS/RAFTER BELOW VIA PURLIN WALLS FRAMED w/ 2x4 @ 24" o.c. TYP.
3. PROVIDE MINIMUM 22" x 30" ATTIC ACCESS.
4. PROVIDE ATTIC VENTILATION AT A RATE OF 1 SF FOR EVERY 150 SF OF VENTILATED AREA. VENTILATION MAY BE REDUCED TO 1 SF FOR EVERY 300 SF WHEN 80% TO 85% OF THE VENT OPENINGS ARE PROVIDED IN THE UPPER HALF OF THE AREA TO BE VENTILATED.
5. CONTRACTOR TO VERIFY VENTILATION REQUIREMENTS AND ALL OTHER APPLICABLE BUILDING CODES.

DESIGNED BY:

ARTEM SIMONCHUK

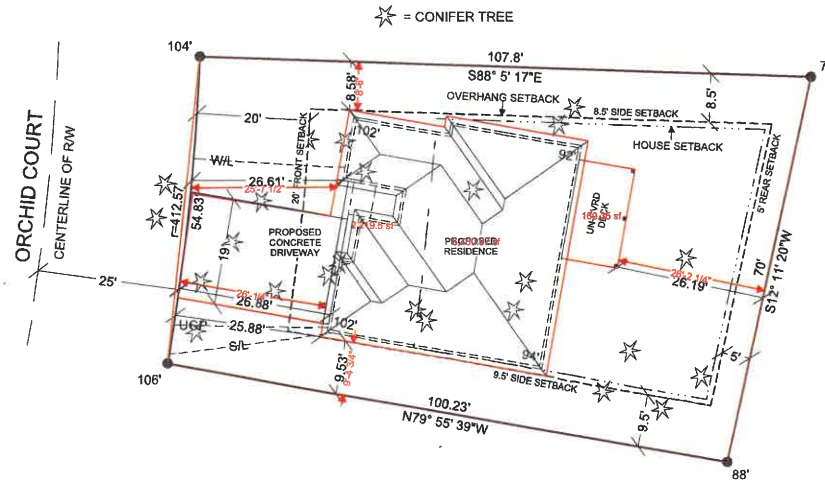
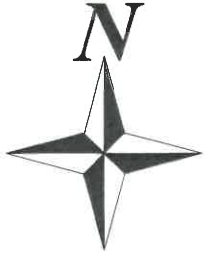
A.SIMON15170@GMAIL.COM

SHULGA RESIDENCE
7 ORCHID CT
BELLINGHAM, WA

PAGE

A 4

MAIN	1050 SF
SECOND	1402 SF
TOTAL LIVING	2452 SF
UNFINISHED BASEMENT	714 SF
PORCH	23 SF
CARAGE	458 SF
DECK	160 SF



SITE PLAN
SCALE: 1" = 10'

LEGAL DESCRIPTION:

(PER STATUTORY WARRANTY DEED A.F. NO. 2140400406)

LOT 18, SUDDEN VALLEY DIVISION 18, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 11 OF PLATS, PAGE 37, RECORDS OF WHATCOM COUNTY, WASHINGTON

SITUATE IN THE COUNTY OF WHATCOM, STATE OF WASHINGTON

CREATED
03/11/2026
REVISED
04/07/2026

DESIGN CRITERIA

FLOOR LOADS	40# LIVE
	10# DEAD
DECK LOADS	50# LIVE
	10# DEAD
ROOF SNOWLOADS	25#LIVE
	20#DEAD
GROUND SNOW LOADS	30#
FROST DEPTH	12"

DESIGNED BY:

ARTEM SIMONCHUK

A.SIMON1151700@GMAIL.COM

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SHULGA RESIDENCE
7 ORCHID CT
BELLINGHAM, WA

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MAIN	1050 SF
SECOND	1402 SF
TOTAL LIVING	2452 SF
UNFINISHED BASEMENT	714 SF
PORCH	23 SF
GARAGE	458 SF
DECK	160 SF

In Concept - Previously submitted at the 04/02/2026 ACC Meeting.

Rec'd 04/09/2026 10:37 AM

Sudden Valley Community Association Variance Request

Item 10
Pg 1 of 2
G2

Street Address: 7 Orchid Ct, Bellingham, WA 98229 Div 18 Lot 18
Owner: Bogdan & Viktoriya Shulga
Mailing Address: 20 Sweetclover Cir, Bellingham, WA 98229
Phone: 360-522-2878 Email: bogdan_shulga@hotmail.com

Requests will not be considered unless the street address is clearly displayed on the residence. Please note that in the week(s) following request submittal, ACC members may visit and review property.

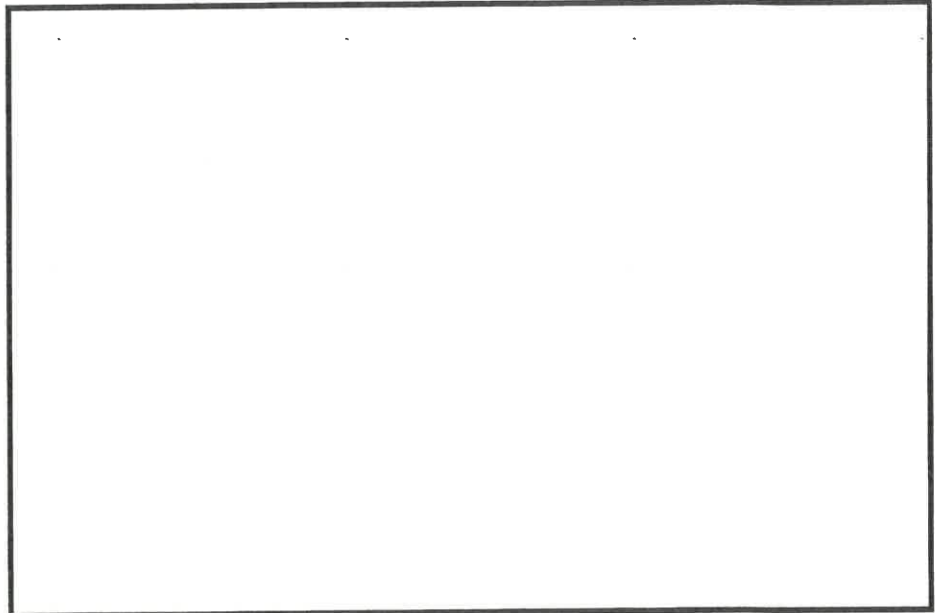
Requested for:

- New construction
- Existing home
- Other

The variance would affect:

- Exterior appearance
- Drainage/Erosion control
- Open space & Lot coverage
- Tree/Vegetation removal
- Setbacks to property line
- Interior living space
- Structure height

Please refer to ACC Guideline 14.8.12 for more information.



Give a full description of the request and need for the variance: We are requesting a variance for height limit to up to 25' under definition #2. Attached is the letter from the designer stating that it would not be taller than the neighboring house to the right. The height variance is required because the sewer connection is near the highest point of the lot and it would be better if all the bathrooms gravity flowed to the sewer connection.
Also, this lot has shallow bedrock, making it unfeasable to dig deep.

Minutes of the ACC Meeting on 04/02/26.

Item – 13	7 Orchid Ct, G2, Variance (Height) <i>In-Concept</i>	Video 01:06:33 – 01:25:00
Comments:	Lower the roof height to 25' or less (using definition #2). Provide a letter attesting that the roof will be	
Discussion:	lower than the neighbor's house on the right (looking at the house from the street).	
Action:	Denied	Motion: Daniel Unanimous

This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.

Owner Signature:  Date: 4/08/2026

AC Staff Comments: _____

Shulga Residence
Client: Bogdan Shulga
Project Address: 7 Orchid Ct, Bellingham, WA

Artem Simonchuk
Architectural Designer
April 7th, 2026

Project Narrative Letter

We are designing a single family residence for Bogdan Shulga. The proposed home is a two story structure with an unfinished daylight basement. The total living area will be 2,452 square feet, excluding both the unfinished basement and the garage.

This letter is intended to provide clarification and verification regarding the height of the building. Measurements were taken in accordance with the definitions outlined in the Sudden Valley Architectural Control Policies. The highest point of the structure's roof is 23 feet and 3 inches above the highest point of the building site, measured at 10' away from the structure. Based on my calculations, the highest point of the proposed residence will be lower than that of the neighboring home to the right.

Signature: Artem Simonchuk

Date: 04/07/2026

Rec'd 04/09/2026
9:57 AM

In Concept - Previously submitted
at the 04/02/2026 ACC Meeting.

Item 11
Pg 1 of 2
G2

Sudden Valley Community Association Variance Request

Street Address: 7 Orchid Ct, Bellingham, WA 98229 Div 18 Lot 18
Owner: Bogdan & Viktoriya Shulga
Mailing Address: 20 Sweetclover Cir, Bellingham, WA 98229
Phone: 360-922-2870 Email: bogdan_shulga@hotmail.com

Requests will not be considered unless the street address is clearly displayed on the residence.
Please note that in the week(s) following request submittal, ACC members may visit and review property.

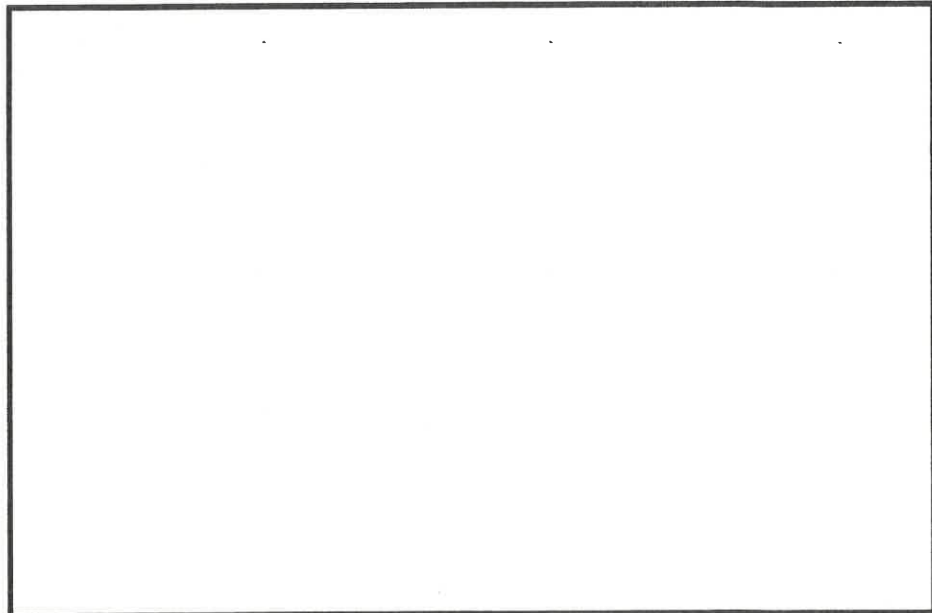
Requested for:

- New construction
- Existing home
- Other

The variance would affect:

- Exterior appearance
- Drainage/Erosion control
- Open space & Lot coverage
- Tree/Vegetation removal
- Setbacks to property line
- Interior living space
- Structure height

Please refer to ACC
Guideline 14.8.12 for
more information.



Give a full description of the request and need for the variance: We are requesting a variance for side setbacks to 18ft combined (9.5' and 8.5') due to the small size of the lot. We moved the house back as requested and reduced the width of the front of the house.

Minutes of the ACC Meeting on 04/02/26.

Item - 14	7 Orchid Ct, G2, Variance (Side Set-Back) <i>In-Concept</i>	Video 01:06:33 - 01:30:30
Comments:		
Discussion:		
Action:	Denied	Motion: Jo Jean Majority (Patric opposed)

This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.

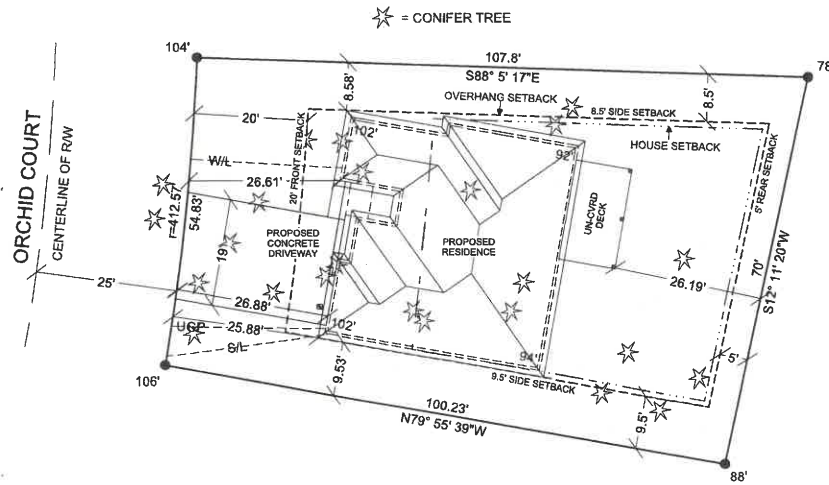
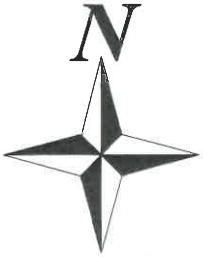
Owner Signature:  Date: 4/08/2026

AC Staff Comments: _____

CREATED
03/11/2026
REVISED
04/07/2026

DESIGN CRITERIA

FLOOR LOADS	40# LIVE
	10# DEAD
DECK LOADS	60# LIVE
	10# DEAD
ROOF SNOW LOADS	25# LIVE
	20# DEAD
GROUND SNOW LOADS	30#
FROST DEPTH	12"



SITE PLAN
SCALE: 1" = 10'

DESIGNED BY:

ARTEM SIMONCHUK

A.SIMON115170@GMAIL.COM

SHULGA RESIDENCE
7 ORCHID CT
BELLINGHAM, WA

PAGE

A 5

MAIN	1050 SF
SECOND	1402 SF
TOTAL LIVING	2452 SF
UNFINISHED BASEMENT	716 SF
PORCH	23 SF
GARAGE	458 SF
DECK	160 SF

LEGAL DESCRIPTION:

(PER STATUTORY WARRANTY DEED A.F. NO. 2140400406)

LOT 18, SUDDEN VALLEY DIVISION 18, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 11 OF PLATS, PAGE 37, RECORDS OF WHATCOM COUNTY, WASHINGTON

SITUATE IN THE COUNTY OF WHATCOM, STATE OF WASHINGTON

Item 11
pg 2 of 2

Rec'd 04/02/2026
11:08 AM

Item 12
Pg 1 of 12

Sudden Valley Community Association Tree/Vegetation Trimming and/or Removal Request G3

Street Address: 4 Valley Crest Way Bellingham (Sudden Valley) WA 98229 Div 02 Lot 006
Owner: Chandra Prasad
Mailing Address: 4 Valley Crest Way Bellingham, WA 98229
Phone: 206-214-2200 Email: chandra.prasad@gmail.com

All trees must be clearly flagged (no spray paint) before applying.

Requests will *not be considered if flagging is missing* OR if street address isn't clearly displayed on residence.

IMPORTANT NOTE: Within an individual's clearly distinguished property boundaries, routine maintenance can be performed and is encouraged **without** ACC permission. This includes the pruning of **dead branches** and those branches that are **6" or less in diameter**. Removal of those branches **may not exceed 30%** of the foliage density of an individual specimen. Small trees, branches and vegetation **10" or less in diameter and within 10' of a residential structure** may be removed without ACC approval.

** Per Whatcom County Canopy Retention Regulation effective October 22, 2016 any significant tree being removed in Lake Whatcom Watershed requires county permit. Significant is defined as evergreen trees 12" in diameter or greater and deciduous 8" in diameter or greater. Any limbing 25% and under does not require a county permit. If a county permit is required for you proposed tree removal/ limbing request, please attach your approved county permit to this application. **

9 Number of trees/shrubs
9 # Removal # Limbing

On the diagram below, please indicate the location of the road, property line, house, and each tree (numbered individually).

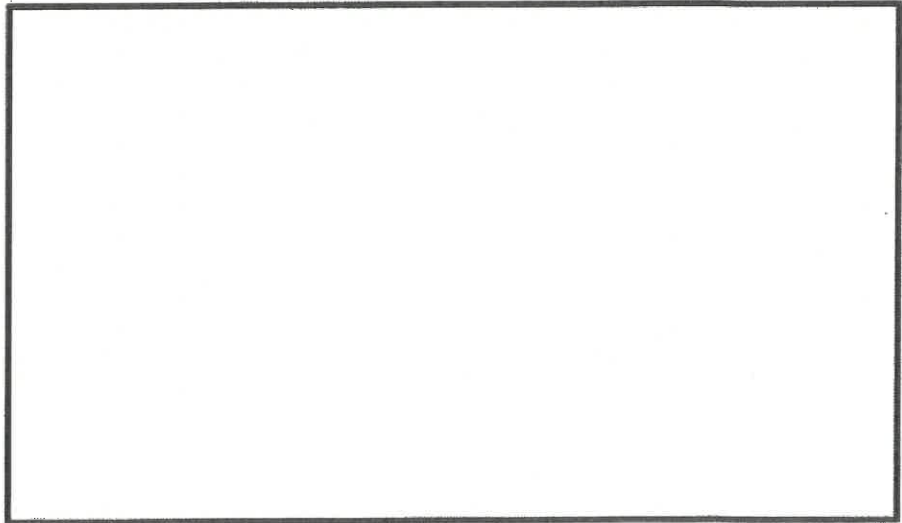
Type:

 Fir 7 Cedar 1 Hemlock
 1 Alder Maple Other

Check any that apply:

- Property or personal danger
- Dead/Diseased
- Leaning
- Roots exposed
- On a slope
- Creation/maintenance of view

- Replanting trees/shrubs



Located on SVCA property

Located on neighbor's property - *For trees that are not on the applicant's property, written permission from the owner is required **prior** to submittal.*

Please refer to ACC Guideline 14.10 for more information. Please email to: office@suddenvalley.com

Give a full description, the reason for the requested action and diameter on each tree, and attach any additional information if needed:

This request is for the removal of 9 trees rated High Risk under the International Society of Arboriculture Tree Risk Assessment

Qualification (TRAQ) protocol. Please see attached Certified Arborist Tree Risk Assessment report.

This request form in no way constitutes an approval from the ACC or Whatcom County. You MUST receive written approval and an SVCA permit before commencing any work.

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: 

Date: 3/3/26

Prasad Tree Risk Assessment 2026
4 Valley Crest Way
Bellingham, WA 98229

Prepared for Chandra Prasad
4 Valley Crest Way
Bellingham, WA 98229



Aubrey Stargell
PN6860A

Prepared by Aubrey Stargell, ArborFor, LLC
Forester, Certified Arborist PN 6860A, TRAQ
2950 Newmarket St. Suite 101-317
Bellingham, WA 98226



February 12, 2026

Purpose and Background Information

I was asked by Chandra Prasad, owner of 4 Valley Crest Way in Bellingham, WA to conduct a Tree Risk Assessment of many trees on his home and adjacent lots at 4 Valley Crest Way in Bellingham (Sudden Valley), WA for their relative risk to his home and neighboring homes and infrastructure. The site trees are mostly mature western red cedar (*Thuja plicata*) with a few Douglas fir (*Pseudotsuga menziesii*), western hemlock (*Tsuga heterophylla*), bigleaf maple (*Acer macrophyllum*), and red alder (*Alnus rubra*).

Methodology

The relative hazard of a tree is determined by consideration of several factors. The first factor to consider is the likelihood of failure. This likelihood can be rated from Improbable to Imminent. Determining components of likelihood of failure include the detection and relative size or proportion of defective tree mass, soil conditions, degree of lean, the presence of pests or parasitic organisms, a tree's relative position in the landscape, and site history among others. Failure can range from partial failure (large branches, tops etc.) to total failure (tree is uprooted and toppled). Any of the points in this range has the potential to cause significant damage and or death, especially with large trees.

The second important component of a tree's relative hazard is the potential target and likelihood of impact if a tree fails. The target potential can be rated from Very Low to High. Factors contributing to target potential include the presence of buildings, pedestrians, and the frequency of occupation/presence of people.

The third factor contributing to a tree's relative hazard is the consequences of failure and impact. This is rated from Negligible to Severe.

There are also other risk factors to be considered such as sheltering by other trees, past grade changes/construction practices around a given tree, and historical/experiential characteristics specific to particular tree species.

The trees in this study were assessed by a Level 1 Visual Tree Assessment (VTA) per the Tree Risk Assessment Qualification (TRAQ) protocol as developed by the International Society of Arboriculture (ISA) as of 2016. The TRAQ risk rating is derived from a combination of considerations including likelihood of failure, likelihood of impacting a target(s), and consequences of impact. The above factors are considered together to determine a risk rating that ranges from Low to Moderate to High to Extreme Risk. Low Risk means that failure and strike with significant to severe consequences is unlikely in a given time context. Moderate Risk means failure and strike with significant to severe consequences is somewhat likely within a given time context. High Risk means failure and strike with significant to severe consequences is likely in a given time context.

Extreme Risk means that failure and strike with significant to severe consequences is very likely in a given time context. VTA is a commonly accepted method of hazard tree evaluation. The trees were visited and assessed by visually examining the trees for species identification, form, defect, vigor, size, and potential targets. The risk time horizon for this assessment is two years. All tree heights in this assessment are estimated. The trees on Prasad's existing home lot were previously assessed and marked with aluminum tags at the base/root flare of each tree by a different Certified Arborist approximately 2 years ago. This current assessment utilizes the same tree numbers as tagged by the previous assessment where applicable and High Risk Trees identified in this current assessment were newly marked and labeled with pink ribbons. The site trees were field assessed on 2-7-26 and 2-10-26. Approximately 100 trees were reviewed by visual assessment and sounded with a sounding hammer. All tree heights and crown widths were estimated.

See the attached photos of site conditions.

Results

Tree ? 2 (Not tagged by previous assessment)

Tree ? 2 is a 33" dbh western red cedar with a height of ~ 120' and a crown spread of ~ 30'. It is located 28' west of the north edge of the deck, 34' west of the northwest corner of the home, and 3' upslope of a French drain trench that Prasad states was put in ~ 2 years ago. This tree has a long vertical exposed rot column on the south trunk face from the base to ~ 20' up. The crown still appears good in terms of foliage color and density. It is not unusual for western red cedar to have extensive rot/decay and maintain a green crown until late in the decline process. Hammer soundings were dull around the rot column indicating hollow and rot.

The TRAQ risk rating for Tree ? 2 is High for failure and strike of the deck or home.

Tree ? 3 (Not tagged by previous assessment)

Tree ? 3 is a 30" dbh western red cedar with a height of 120' and a crown spread of 30'. It is located 4', 10', and 17' west and upslope of the French drain trench, deck, and home respectively. The crown appears okay in terms of foliage color and density but has multiple dead ~ 2" limbs above the deck and home. The trunk has dull/hollow soundings on the south base along a vertical seam.

The TRAQ risk rating for Tree ? 3 is High for partial crown/limb failure and strike of the deck and/or home.

Tree ? 8 (Not tagged by previous assessment)

Tree ? 8 is a 23" dbh western red cedar with a height of 90' and a crown spread of 25'. It is located 14' northeast of the common lot corner of undeveloped Lots 4 & 5 southerly of the Prasad home lot. It is also 24' west of Valley Crest Way. The crown appears okay in terms of foliage color and density but is unbalanced heavy to the west toward Valley Crest Way. The trunk has a large rot column on the east face from the base to ~ 20' up and divides into 2 more leaders at ~ 70' with the according less stable branch architecture due to tight branch angles and included bark.

The TRAQ risk rating for Tree ? 8 is High for failure and strike of Valley Crest Way.

Tree 9 (Tagged by previous assessment)

Tree 9 is a ~ 15" dbh (diameter at breast height) western red cedar with a height of ~ 70' and a crown spread of ~ 10'. The tree is located 5' east and downslope of the home's driveway and 24' northeast of the home. This tree is dead.

The TRAQ risk rating for Tree 9 is High for failure and strike of the driveway and/or home.

Tree 12 (Tagged by previous assessment)

Tree 12 is a 14" dbh western red cedar with a height of 90' and a crown spread of 10'. It is located 21' north of the home. The crown appears fair and somewhat sparse in terms of foliage color and density. The trunk base has multiple scrapes with missing bark, soft exposed cambium with incipient decay. The trunk is attached by steel cable to a 30" dbh western red cedar 6' to the northwest attached at ~ 15' up. This tree has a very high height to diameter ratio and was swaying significantly during windy conditions on the day of site review. It is likely to have already fallen by now if not for the cable attachment. The south base root flare has a notch cut out to accommodate a step stone walk. This tree has high Critical Root Zone (CRZ) coverage from pavers, gravel, and grade changes with fill. ISA generally defines the CRZ as a footprint of ground with a radius of 1' for every inch of dbh. Thus, Tree 12 would have a CRZ of 14'.

The TRAQ risk rating for Tree 12 is High for failure and strike of the patio area or home.

Tree 22 (Tagged by previous assessment)

Tree 22 is a 13", 18" dbh double-trunked western hemlock a height of ~ 100' and a crown spread of ~ 25'. It is located 10' south and upslope of the south end of the deck. The south 13" trunk crown is suppressed and in fair condition. The 18" trunk crown appears vigorous in foliage density and color. The south trunk has a ~ 20' long vertical decay seam on the northwest face.

The TRAQ risk rating for Tree 22 (south trunk) is High for failure and strike of the south deck and/or home.

Tree 23 (Tagged by previous assessment)

Tree 23 is a 14" dbh western red cedar with a height of ~ 50' and a crown spread of 0'. It is located 15' south of the southeast deck corner. This tree is a dead snag and has a 5' vertical scar on the west base.

The TRAQ risk rating for Tree 23 is High for failure and strike of the deck.

Tree 25 (Tagged by previous assessment)

Tree 25 is a 28" dbh western red cedar with a height of ~ 120' and a crown spread of 25'. It is located 5' southeast of the southeast corner of the deck and stairway to the home and 14' above/upslope of the Prasad driveway. The crown appears okay in terms of foliage color and density but has a few dead 1" - 2" limbs with high fall distances over the deck. The northwest side of the crown shows signs of past clearance pruning but some dead limbs remain. The lower trunk has multiple nails driven into it and multiple large scars around two sides of the base that impact of majority portion of the cambium. The cambium is soft in places with incipient decay and is expected to continue to decline. Hammer soundings were moderate.

The TRAQ risk rating for Tree 25 is High for partial crown failure and strike of the deck and stairs.

Tree 27 (Tagged by previous assessment)

Tree 27 is a 12" dbh red alder with a height of 40' and a crown spread of 0'. It is located ~ 25' southeast of the home and upslope of with a hard lean over Valley Crest Way and the Prasad driveway entry. This tree is dead with multiple wood decay fungal conks.

The TRAQ risk rating for Tree 27 is High for failure and strike of Valley Crest Way or the Prasad driveway.

Table 1 below provides an inventory of High Risk trees.

Tree	Species	Dbh	Comments	TRAQ
?2	W. red cedar	33"	long vertical rot column S trunk face, 34' w. of home	High
?3	W. red cedar	30"	Dead 2" limbs above deck/home, dull soundings.	High
?8	W. red cedar	23"	large rot column e. trunk face, 24' W of Valley Crest Way, Lots 4/5	High
9	W. red cedar	15"	Dead tree, 24' NE of home, 5' E. of driveway.	High
12	W. red cedar	14"	High H:D ratio, swaying, cabled, sparse crown, 21' N of home	High
22	W. hemlock	13, 18"	13" trunk long decay vertical seam, 10' S of deck.	High
23	W. red cedar	14"	Dead tree, 15' S of SE deck corner.	High
25	W. red cedar	28"	Hvy. basal scarring w/exposed cambium, dead limbs above deck/home	High
27	Red alder	12"	Dead tree w/decay, hard lean over Valley Crest Way.	High

9 High Risk trees total

Other Observations

There were a few other trees that were dead/near dead or showing signs of rot but were not rated High Risk due either to their location out of reach of any targets, blocking/screening by other larger intervening trees, or low degree of rot. These include:

Tree 50 (tagged in previous trees review) is a 57" dbh 3 trunked western red cedar downslope to the northeast of the Prasad home toward Valley Crest Way. This tree appears to have a low proportion of rot in the west trunk face with a good crown. This tree is rated Moderate Risk and should be monitored for increased decay.

Tree ? 1 (not tagged by previous trees review) is a 20" western red cedar located 10.5' south of previously marked Tree 55 and significantly downslope northeast of the Prasad home. This tree has a weak crown and extensive rot at the base. This tree is shielded/screened from targets (Prasad home & Valley Crest Way) by other larger intervening trees and is rated Moderate Risk.

Tree 42 (tagged by previous trees review) is a 15" western red cedar located 58' north of the home. It has a weak crown, very dull soundings indicating significant rot, and a mild lean north(away from the home). There are multiple larger intervening western red cedars screening this tree from the home. This tree is rated Moderate Risk.

Trees ? 4, ? 5, ? 6, ? 7 are 9" – 12" dbh western red cedars located on the undeveloped lots southerly of the Prasad home lot. They are dead/near dead, relatively short height, and not within striking distance of any potential targets. They are rated Low Risk.

Mitigation Provisions

In the event the above documented tree risks are mitigated by tree removal, Prasad is prepared to replant with native tree species at a replacement rate of



WHATCOM COUNTY WASHINGTON

Planning & Development Services
5280 Northwest Drive
Bellingham, WA 98226
360-778-5900

Whatcom County Planning & Development Services Master Application

<p><u>For Administration Use</u></p> <p>Application Number(s):</p> <p>_____</p> <p>_____</p> <p>_____</p>	<p>Received:</p> <div style="border: 1px solid black; height: 100px;"></div>
---	--

*This application is intended for all Land Use, Natural Resources, or Building Applications.
Submit all required materials to ePermits@co.whatcom.wa.us*

Previous Review (Land Use Checklist, Pre-Application, Site Plan Review, Administrative Use, etc.):

Property Owner Name Chandra Prasad / SHANNON SHERON

Mailing Address 4 Valley Crest Way City Bellingham

State WA Zip Code 98229 Phone # 425-214-2207

Email chandra.prasad@gmail.com

Agent/Contact Name Aubrey Stargell, ArborFor, LLC

Mailing Address 2950 Newmarket St. Suite 101-317 City Bellingham

State WA Zip Code 98226 Phone # 360 815-5457

Email aubrey.stargell@gmail.com

➤ Agent Authorization is required for an Agent acting on a property owner's behalf

Property Information

Site Address: 4 Valley Crest Way Bellingham, WA 98229

Parcel (Geo ID) Number: 370408004519, 370408005535, 370408004508

Subdivision Name / Div./Block/Lot (if known): _____

Existing Improvements on site (buildings/wells, septic, etc.):
Single Family Residence on primary lot. Other lots undeveloped.

Parcel size: 33,106 sq in acres/sq. ft. (If less than one acre please provide square footage)

Gate Code etc. (if needed for access): n/a

Contact required before staff access? (gate, livestock, dogs, etc.) Yes No

1:1. However, some portions of the area are overstocked already and may not warrant tree replacement.

Disclaimer

This Tree Risk Assessment uses accepted professional methods for evaluation exercising a reasonable standard of care. Aubrey Stargell and ArborFor, LLC in no way warrant the relative stability or safety of any tree either expressed or implied due to the potential of undetected defect or acts of God/force majeure. There are many other trees on the subject property and adjacent properties that were not evaluated, and no representations are made or implied whatsoever regarding their safety or hazard. Be advised that even a healthy and apparently stable tree can be a hazard under adverse conditions. Trees not identified as High Risk does not mean or infer that the other site trees have no risk as they may rate as Low or Moderate Risk (but still some risk).

Respectfully,

Aubrey Stargell

Aubrey Stargell, ArborFor, LLC
Forester, ISA Certified Arborist PN-6860A, TRAQ

Narrative / Detailed Project Description (attach additional sheets if needed):
 Removal of 9 High Risk Trees under the ISA TRAQ protocol. See attached Certified Arborist report.

Item 12
 Pg 11 of 12

Preliminary Stormwater Information (additional information in our [Stormwater Guide](#))

Total Area of Involved Parcel(s)		sq. ft	
	Existing: n/a	sq. ft	
	Impervious Areas (areas not easily penetrated by water)	Total After Project: n/a	sq. ft
		Est Net Change (+/-): 0	sq. ft
Stormwater Report or Plan already approved by Whatcom County? <input type="checkbox"/> Yes <input type="checkbox"/> No (If yes, please include with application submittal)			

Water & Sanitary Services

Drinking Water	<input type="checkbox"/> Proposed Well	<input type="checkbox"/> Public Water	<input type="checkbox"/> Rain Water
	<input type="checkbox"/> Existing Well	<input type="checkbox"/> Surface Water	
Name of Public Water System (if applicable)			
On-Site Sewage System (OSS)?	<input type="checkbox"/> Proposed <input checked="" type="checkbox"/> Existing <input type="checkbox"/> None		
Sewer? If Yes, Name of Sewer Utility	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Lake Whatcom Water & Sewer District		

Driveway Access and Utility Connection

Proposed work within the County Right-of-Way? If Yes, please describe (driveway connecting to road right-of-way, connection to utilities, culverts, etc.)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
--	---


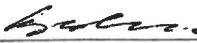
Disclaimer

I am the owner of the property described above or am authorized by the owner to sign and submit this application. I certify under penalty of perjury of the laws of the State of Washington that the information on this application, all supplemental applications, and all information submitted herewith is true, complete, and correct.

Notwithstanding that this application has been submitted in the name of a company, I personally guarantee payment (or guarantee payment on behalf of the client I am representing, noted on the attached [Agent Authorization](#) Form) of the fees accrued according to the terms listed in the Whatcom County Unified Fee Schedule.

I acknowledge that by submitting an application to the County, I consent to entry upon the site by the County during business hours from the date of application to the date of final action by the County in order to verify information provided and work in accordance with any approved plans. [WCC 22.05.014\(3\)](#)

I understand that this form will be submitted electronically and typing my name on the line below will qualify as a signature for purposes of the above certification.

	March 31, 2026
Agent or Owner Signature	Date
	MARCH 31, 2024
Agent or Owner Signature	Date

Sudden Valley Community Association Exterior Alteration Request

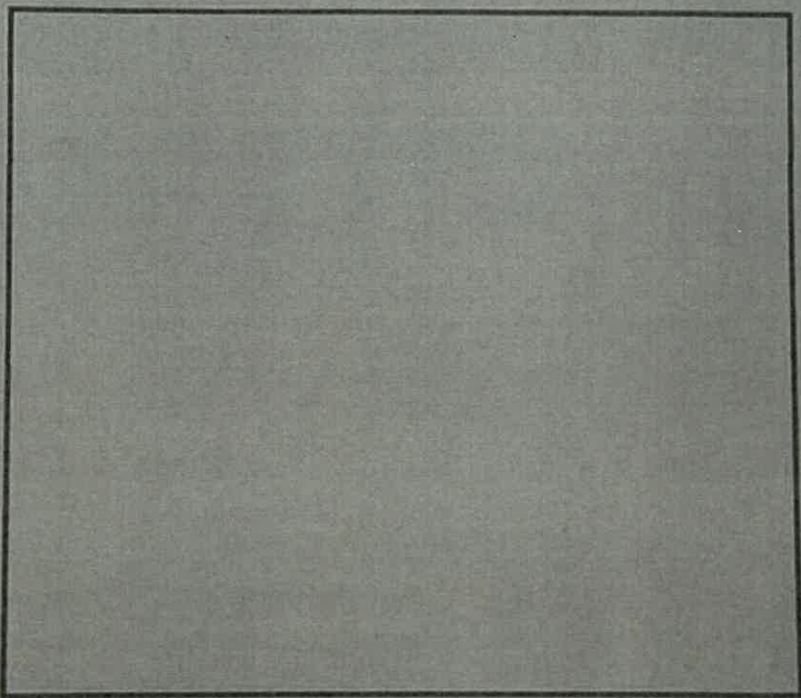
Street Address: 1 PLUM LN BELLINGHAM WA 98225 Dist 22 Lot 285
Owner: JEFF TOTEN
Mailing Address: SAME
Phone: [REDACTED] Email: [REDACTED]

Requests will not be considered unless the street address is clearly displayed on the residence.
Please note that in the week(s) following request submittal, ACC members may visit and review property.

- Requested for:**
 Existing home
 New construction

- The change would affect:**
 Exterior appearance
 Drainage/Erosion control
 Open space & Lot coverage
 Setbacks to property line
 Structure height

Please refer to ACC Guidelines
14.2 and 14.11 and for more
information.



Give a full description of the request and attach any additional information if needed:

NEW EXTERIOR PAINT

BENJAMIN MOORE - SEE PHOTO

This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

City of Bellingham _____ Date: 3-26-2026



7. Hampshire Gray HC-101

An almost-neutral green, this earthy hue is a great alternative to charcoal gray.

- Body: Hampshire Gray HC-101
- Trim: November Rain OC-50
- Accent: Boreal Forest AF-480

Rec'd 04/07/2026
10:12 AM

Sudden Valley Community Association Fence Request

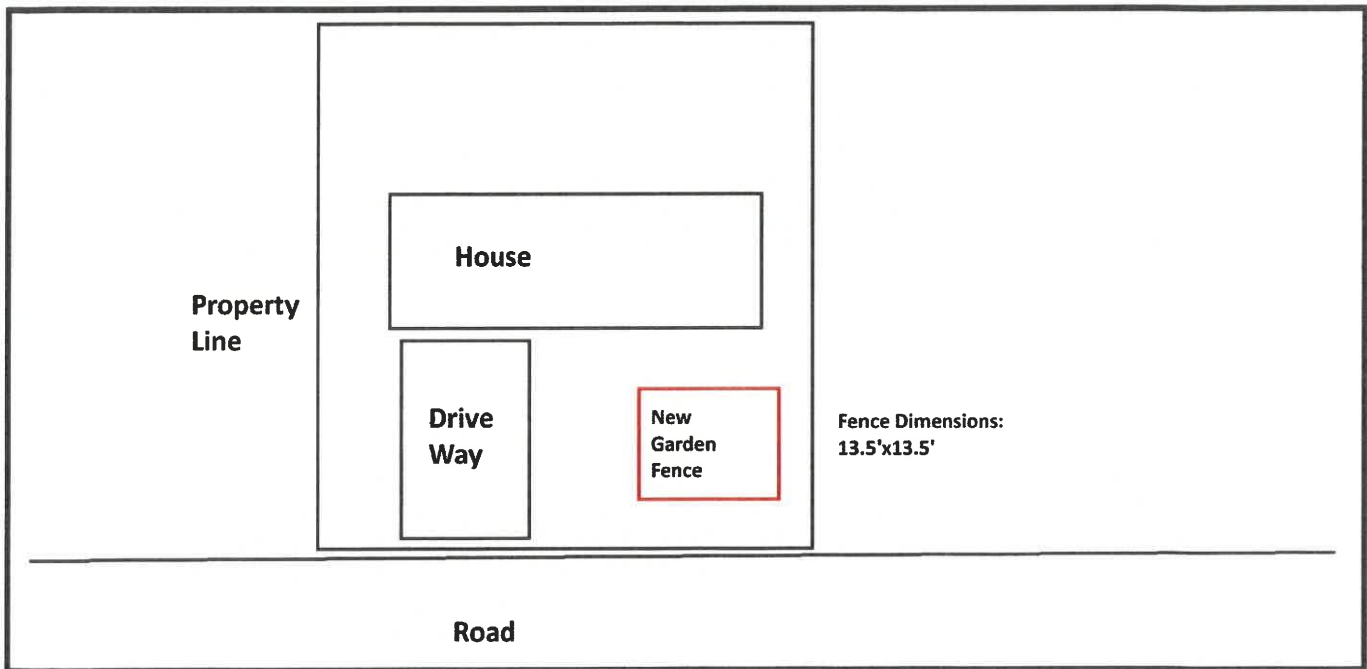
Item 14
Pg 1 of 2
G5

Street Address: 4 Tumbling Water Drive, Bham, WA, 98229 Div 24 Lot 013
Owner: Bryan Redick
Mailing Address: Same
Phone: 206-941-0400 Email: redickb@gmail.com

**Requests will not be considered unless the street address is clearly displayed on the residence.
Please note that in the week(s) following request submittal, ACC members may visit and review property.**

Intended use: Privacy Protection Pet Enclosure
Fence type: Split Rail Wood and Wire Vegetative Hedge Other

On the diagram below, please indicate the road, property line, house, fence outline with dimensions, and any proposed vegetative screening (may attach larger sketch if needed).



**Corners of the proposed fence MUST be staked prior to submittal.
Please refer to ACC Guideline 14.6.9 for more information.**

Give a full description, additional considerations, and attach additional information if needed:

Hello! I'd like to put in a small wire fence with wood fence posts around our garden to keep the deer away from our vegetables :)

This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: B Redick

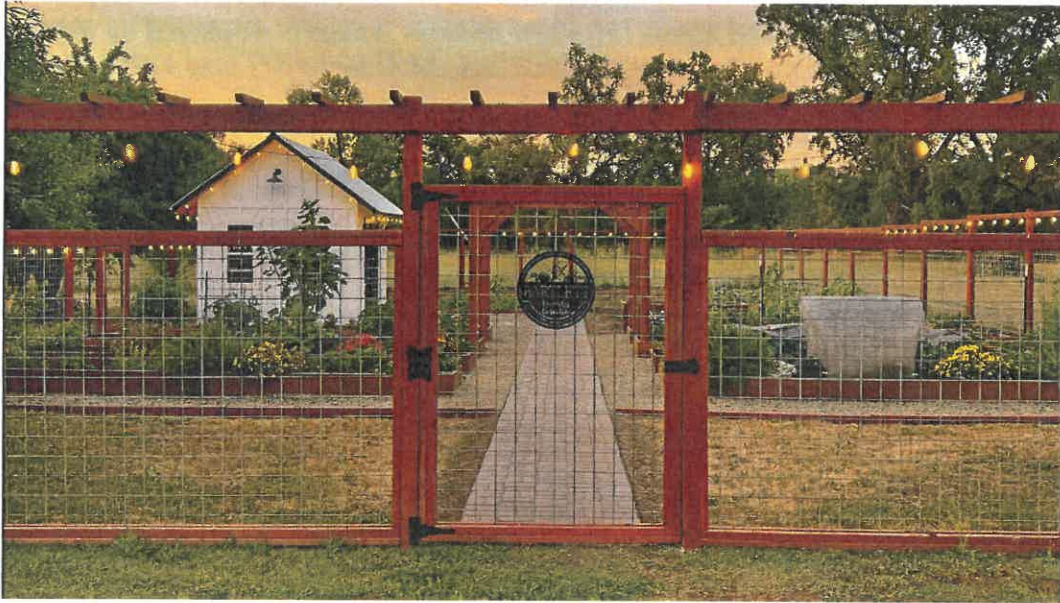
Date: 4/7/2026

AC Staff Comments: _____

Item 14

Pg 2 of 2

Deer fence examples:



Rec'd 04/06/2026
8:55 AM

Sudden Valley Community Association Exterior Alteration Request

Item 15
Pg 1 of 1
G5

Street Address: 1 Cayuse Ct Div 24 Lot 117
Owner: Luis Vargas and Kristal Williams Mailing
Address: 1 Cayuse Bellingham, WA 98229 Phone:
[REDACTED] Email: [REDACTED]

Requests will not be considered unless the street address is clearly displayed on the residence.
Please note that in the week(s) following request submittal, ACC members may visit and review property.



Requested for:

- Existing home
- New construction

The change would affect:

- Exterior appearance
- Drainage/Erosion control
- Open space & Lot coverage
- Setbacks to property line
- Structure height

Please refer to ACC Guidelines
14.2 and 14.11 and for more
information.

	Body 7 Mount Etna SW 7625 Select Color <input type="checkbox"/>
	Trim 1 Neutral Ground SW 7568 Select Color <input type="checkbox"/>

Both are SVCA approved colors

Give a full description of the request and attach any additional information if needed:

_____ This is a request to paint the exterior of the home. We would like to paint it Mount Etna with neutral ground trim.

This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: Kristal Williams

Date: 4/6/2026

Rec'd 03/27/2026
12:20 PM

Sudden Valley Community Association Exterior Alteration Request

Item 16
Pg 1 of 6
G13

Street Address: 9 Highwood Circle Div 6 Lot 38
Owner: Hugh O'Brien & Kathleen Donoghue
Mailing Address: 9 Highwood Circle Bellingham WA 98229-7769 United States
Phone: (212) 466-6451 Email: hugh@hughobrien.com

**Requests will not be considered unless the street address is clearly displayed on the residence.
Please note that in the week(s) following request submittal, ACC members may visit and review property.**

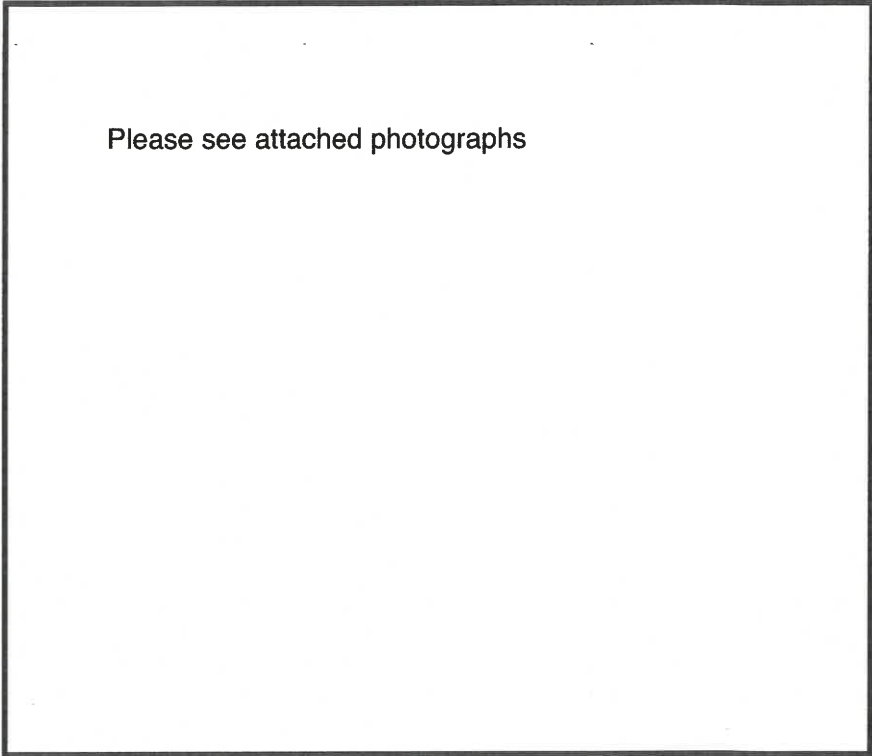
Requested for:

- Existing home
- New construction

The change would affect:

- Exterior appearance
- Drainage/Erosion control
- Open space & Lot coverage
- Setbacks to property line
- Structure height

**Please refer to ACC Guidelines
14.2 and 14.11 and for more
information.**



Give a full description of the request and attach any additional information if needed:

Installation of propane backup generator in passageway between #9 and #11. Position is well set back from any view.

Please see images for guidance, and note the presence of an existing generator for #11.

Installation to be performed by Marrs technicians.

Unit is white, and measures 46Wx25Dx31H. Will be installed on anti-vibration base, black, recessed into the ground.

As our heating system is a heat pump electrical outages are also heating outages.

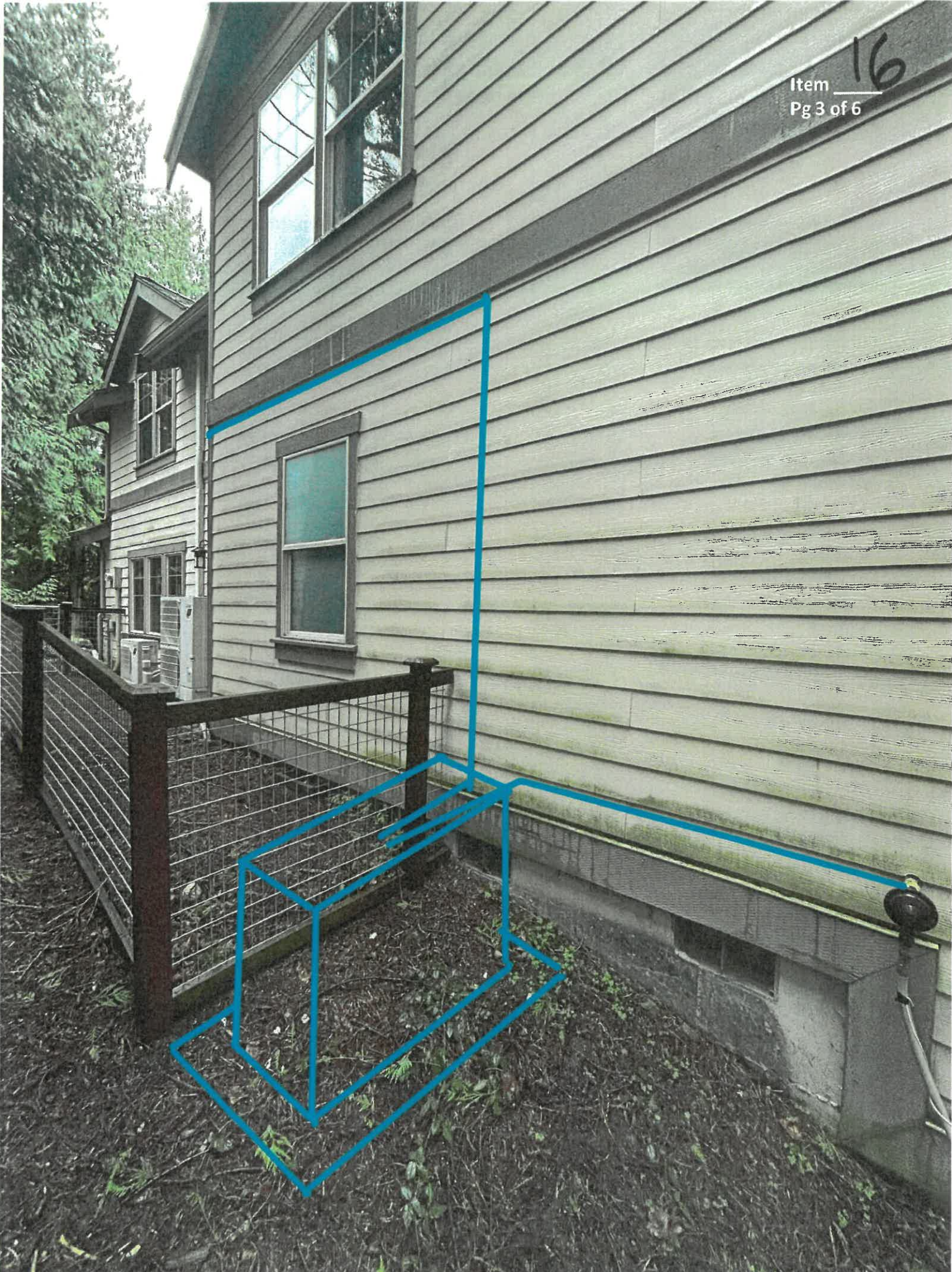
This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: Hugh O'Brien

Date: 03/27 2026





22-28 kW

GENERAC AIR-COOLED STANDBY GENERATOR
Residential/Commercial Standby Generator

INCLUDES:

- Cellular connectivity standard, with Wi-Fi™ and Bluetooth™ capabilities
- Electronic fuel and ignition control (EFIC)
- Hydraulic lifters
- Smart Exercise Technology
- True Power™ Electrical Technology
- Power Zone™ 200 Controller
- Oil level sensor
- 200 Amp service rated transfer switch in bundled models
- Electronic governor
- System status & maintenance interval LED indicators
- Sound attenuated enclosure
- Natural gas or LP gas operation
- ecobee by Generac Smart Thermostat included in select bundles
- 5 Year limited warranty, generator and transfer switch
- Listed and labeled by the Southwest Research Institute allowing installation as close as 18 in (457 mm) to a structure.*

*Must be located away from doors, windows, and fresh air intakes and in accordance with local codes.

STANDBY POWER RATING

G007260-0; G007325-0 (Aluminum-Metro Gray) - 22kW 60 Hz
G007261-0; G007326-0 (Aluminum-Metro Gray) - 24kW 60 Hz
G007327-0; G007328-0 (Aluminum-Metro Gray) - 26kW 60 Hz
G007282-0; G007329-0 (Aluminum-Metro Gray) - 28kW 60 Hz



NOTE: CETL certification only applies to unbundled generator units. Units bundled with the transfer switch are ETL certified in the USA only.

FEATURES

- **INNOVATIVE ENGINE DESIGN & RIGOROUS TESTING** are at the heart of Generac's success in providing the most reliable generators possible. Generac's G-Force engine lineup offers added peace of mind and reliability for when it's needed the most. The G-Force series engines are purpose built and designed to handle the rigors of extended run times in high temperatures and extreme operating conditions.
- **TRUE POWER™ ELECTRICAL TECHNOLOGY:** Superior harmonics and sine wave form produce less than 5% Total Harmonic Distortion for utility quality power. This allows confident operation of sensitive electronic equipment and micro-chip based appliances, such as variable speed HVAC systems.
- **TEST CRITERIA:**
 - ✓ **PROTOTYPE TESTED** ✓ **NEMA MG1-22 EVALUATION**
 - ✓ **SYSTEM TORSIONAL TESTED** ✓ **MOTOR STARTING ABILITY**
- **ecobee by Generac SMART THERMOSTAT:** This new energy manager for the home offers a seamless integration into the Generac ecosystem, managing the home's HVAC systems(s) and protecting the generator from potential overloads with precision. Leveraging Mobile Link, users may also view the status of the generator and the LP tank level (if applicable).
- **MOBILE LINK® CONNECTIVITY:** Standard with the Generac Air-Cooled Standby Generator home standby generators, Mobile Link Cellular allows users to monitor the status of their generator from anywhere using a smartphone, tablet, or PC. Easily access real-time operating status, maintenance alerts, and generator readiness. Users can also connect their account to an authorized service dealer for proactive support and streamlined service. With Mobile Link, users can see their generator is ready before the next power outage.
- **SOLID-STATE VOLTAGE REGULATION:** This state-of-the-art power maximizing regulation system is standard on all Generac models. It provides optimized FAST RESPONSE to changing load conditions and MAXIMUM MOTOR STARTING CAPABILITY by electronically torque-matching the surge loads to the engine. Digital voltage regulation at ±1%.
- **SINGLE SOURCE SERVICE RESPONSE** from Generac's extensive dealer network provides parts and service know-how for the entire unit, from the engine to the smallest electronic component.
- **GENERAC TRANSFER SWITCHES:** Long life and reliability are synonymous with GENERAC POWER SYSTEMS. One reason for this confidence is that the GENERAC product line is offered with its own transfer systems and controls for total system compatibility.

THE GENERAC PROMISE



GENERAC
Mobile Link™

* Assembled in the USA using domestic and foreign parts.

Transfer Switch Specifications**Service Rated Switch Features**

- Includes fuse control module (FCM) standard.
- Integrated surge protection.
- Energy Management sold separately.
- Electrically operated, mechanically-held contacts for fast, clean connections.
- Rated for all classes of load, 80% continuous load, both inductive and resistive.
- 2-pole, 250 VAC contactors.
- Service equipment rated, dual coil design.
- Rated for both aluminum and copper conductors.
- Main contacts are silver plated or silver alloy to resist welding and sticking.
- NEMA/UL 3R aluminum outdoor enclosure allows for indoor or outdoor mounting flexibility.
- Includes installation fast mount.

Dimensions

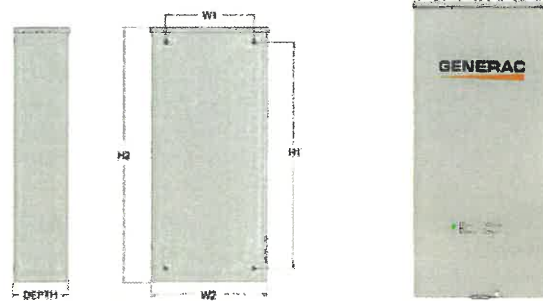
	Height		Width		Depth
	H1	H2	W1	W2	
in	26.75	30.1	10.5	13.5	6.3
cm	67.95	76.45	26.67	34.3	16.01

Wire Ranges

Conductor Lug	Neutral Lug	Ground Lug
250 MCM - #6	350 MCM - #6	2/0 - #14

Model**G007325-0 (22kW), G007326-0 (24kW)
G007328-0 (26kW), G007329-0 (28kW)**

No. of poles	2
Current rating (amps)	200
Voltage rating (VAC)	120/240, 1Ø
ETL or UL listed Enclosure type	Standard NEMA/UL 3R
Circuit breaker protected	22,000
Lug range	250 MCM - #6
Surge protection	Integrated surge protection
Weight	39.0 lbs (17.7 kg)
ETL rating	ETLus

**Smart Thermostat Specifications****ecobee by Generac Smart Thermostat Features**

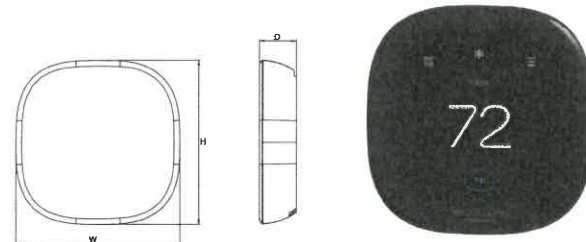
- Built-in HVAC energy management.
- Generator and LP tank status.
- Controls one-wire HVAC accessories (humidifier, dehumidifier, etc.)
- Includes Power Extender Kit (PEK) for common (C) wire needs.
- Includes optional trim adaptor plate.
- 4 in full-color touch screen LCD.
- Mobile Link and ecobee remote monitoring homeowner applications.
- Energy Star® certified.
- 5 year limited warranty.

Dimensions

	Height	Width	Depth
in	4.09	4.09	0.94
cm	103.89	103.89	23.88

Model**G007329-0 (28kW)**

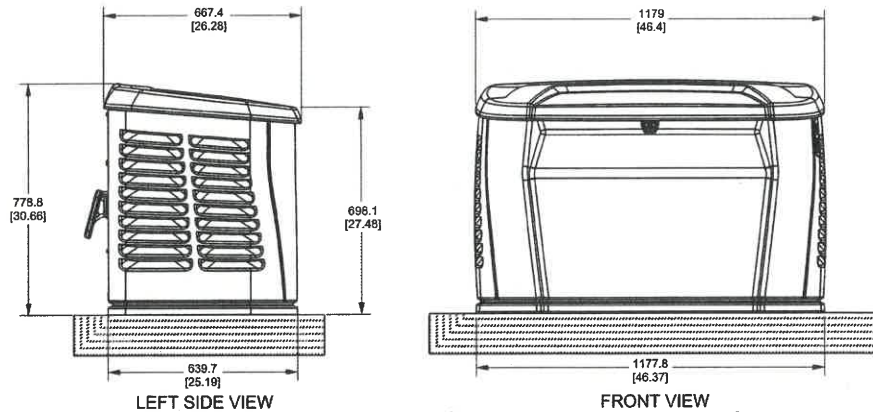
Smart Thermostat model	Enhanced
Power supply source	24 VAC (from HVAC equipment transformer via line input)
System compatibility	Conventional (2H/2C), heat pump (3H/2C) 2 stage heat + 2 stage cool + 1 stage AUX, boilers, 3 speed PTAC's or fan coil units
Compliance	Energy Star, FCC Part 15 Class B, UL 916
Wire terminals	C, R, G, Y1, Y2, W1, W2/OB, PEK+
User configurable temperature range	Display: 40°F to 100°F (5°C to 37°C)
Operating temperature rating	14 °F to 122 °F (-10 °C to 50 °C)
Weight	1.1 lb (0.49 kg)



Model #	Product	Description
A0006487350	AGM Group BTX20L Battery	Every standby generator requires a battery to start the system. Generac offers the recommended battery for use with Air-Cooled Standby Generators.
G007211-0	Battery Heater	The battery heater wraps around the battery. Recommended for use if temperature regularly falls below 32 °F (0 °C).
G007102-1	Oil Heater	Oil heater slips directly over the oil filter. Recommended for use if temperature regularly falls below 32 °F (0 °C).
G007103-2	Breather Heater	Breather heater is for use in extreme cold weather applications where heavy icing occurs. Recommended for use if the temperature regularly falls below 0 °F (-18 °C).
G005621-0	Auxiliary Transfer Switch Contact Kit	The auxiliary transfer switch contact kit allows the transfer switch to lock out a single large electrical load that may not be needed. Not compatible with 50 amp pre-wired switches.
G009918-0 - Metro Gray	Touch-Up Paint Kit	If the generator enclosure is scratched or damaged, it is important to touch-up the paint to protect from future corrosion. The touch-up paint kit includes the necessary paint to correctly maintain or touch-up a generator enclosure.
G007216-0	Scheduled Maintenance Kit	Generac's scheduled maintenance kit provides all the items necessary to perform complete routine maintenance on an air-cooled standby generator (oil not included).
G007009-0	LTE LP Tank Fuel Level Monitor	The LTE enabled LP tank fuel level monitor provides constant monitoring of the connected LP fuel tank. Monitoring the LP tank's fuel level is an important step in verifying the generator is ready to run during an unexpected power failure. Status alerts are available through a free application to notify users when the LP tank is in need of a refill.
G007000-1 (50 amp) G007006-1 (100 amp)	Generac Load Manager	Generac Load Managers (LMs) are used to optimize the performance of a standby generator. They manage large electrical loads upon startup, and shed them to aid in recovery when overloaded. In many cases, using LMs can reduce the overall size and cost of the system.

Dimensions & UPCs

Model	UPC
G007260-0	696471103724
G007325-0	696471104738
G007261-0	696471103731
G007326-0	696471104745
G007327-0	696471104226
G007328-0	696471104752
G007282-0	696471103748
G007329-0	696471104769



Dimensions shown are approximate. See installation manual for exact dimensions. DO NOT USE THESE DIMENSIONS FOR INSTALLATION PURPOSES.



APPLICATION FOR NEW CONSTRUCTION

Item 17
Pg 1 of 8

Circle Type:	<input checked="" type="radio"/> Home Construction	<input type="radio"/> Remodel	<input type="radio"/> Addition	<input type="radio"/> Other (Describe):	G13
Street Address:	52 High Cliff Lane, Bellingham			Div/Lot	Div 14 Lot 46
Owner(s) Name(s):	Norman DesRosiers & Ted Clifton				
Mailing Address:	2515 St Paul St, Bellingham 98226				
Email Address:	norm@tclegendhomes.com	Cell Phone:	360-920-1905 (Norm)		
	ted@tclegendhomes.com	Phone:	360-220-2119 (Ted)		

CONTRACTOR: AC Inspector MUST BE contacted for inspection 24 hours prior to all inspections by completing an ACC Inspection Request form. Required inspections are:

- Installation of erosion control measures
- Setbacks prior to pouring of any concrete for either slab or foundation/forms
- Installation of driveway and/or apron
- Completion of work and occupancy of home

I have read and understand the Sudden Valley Community Association Architectural Control Policies.

Contractor Signature:		Date:	4.8.25
Company Name:	Legend Homes (formerly TC Legend Homes)		License: TCLEGLH949L7
Mailing Address:	2515 St Paul St, Bellingham, WA 98226		
Email Address:	norm@tclegendhomes.com	Cell Phone:	360-920-1905
		Office Phone:	

Bank or Loan Agency:			
Valuation of Structure: \$	700k	Square Footage:	1584sf house + 576sf garage
Use: (Circle)	<input checked="" type="radio"/> Permanent Residence	<input type="radio"/> Vacation/Weekend	<input type="radio"/> Rental
Variance Request (Circle):	<input checked="" type="radio"/> Yes	<input type="radio"/> No	If Yes, must attach Variance Request form

The following items must be submitted at time of application:

- SVCA Construction Application and Checklist (must be signed by property owner).
- Application fee (per AC Policies 14.8.8).
- Copy of survey by a licensed surveyor including topography, trees, and square footage.
- Two (2) sets of construction plans (including floor plan, elevations, and finished grade).
- Two (2) copies of site plan @ 1"=10' scale (see AC Policies Appendix I for sample)
- Two (2) copies of landscaping plan @ 1"=10' scale
- Driveway cross-section, showing road edge to garage slab
- One (1) copy of specification sheet including paint chips, roof color, and lighting sample
- Proof of insurance (see Item 10 above)
- One (1) copy of water/sewer availability
- Property and building corners must be staked and strung
- ALL trees requested for removal must be clearly ribboned and indicated on site plan.
- Written application for variance, if any
- Refundable Completion Deposit (due during permit meeting per AC Policies section 14.8.8)




I agree to construct and maintain the above described single family dwelling in accordance with the plans and specifications submitted as the same may be approved by the ACC and further agree not to allow said single family dwelling to be used as a multiple family dwelling or duplex or to be used in any way which violates the Restrictive Covenants, Rules, and Regulations or Architectural Control Committee Policies.

I hereby acknowledge that the ACC, according to the Restrictive Covenants, is in no way responsible for any defects, of whatever nature, in the plans and specifications submitted. I agree to undertake full responsibility to accurately ascertain the lot lines delineating the boundaries of my property. I understand that the ACC in approving my plans and specifications, including site plan, is in no way warranting or representing the actual location of the lot lines delineating the boundaries of my property. I also understand that an infringement onto adjoining properties due to lot clearing or excavation shall be rectified prior to the framing of the structure.

Application Submitted by (Print): Jake Evans (Office) 206-446-9700 jake@telegendhomes.com

Circle One: Owner Contractor Other Representative

Signature of Owner(s): 

Printed Name of Owner: Ted Clifton Date 4.9.26

ACC Inspector Report 52 High Cliff Ln

Lot size: 7,623 s²

Property coverage: 27%

Open Space: 70.8%

Front setback: 35'

Rear setback: 71'

Side setback: 5' 4"

Side setback: 5' 6"

Driveway grade: 10%

Height:

Definition 1: 24' 4"

Definition 2: 5' 1"

ACC Inspector Notes

Variance filed for side setback. The lot is surrounded by SVCA owned parcels.




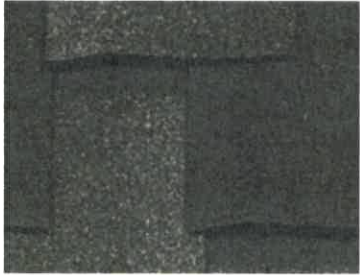


SPECIFICATION SHEET

Item 17
Pg 4 of 8

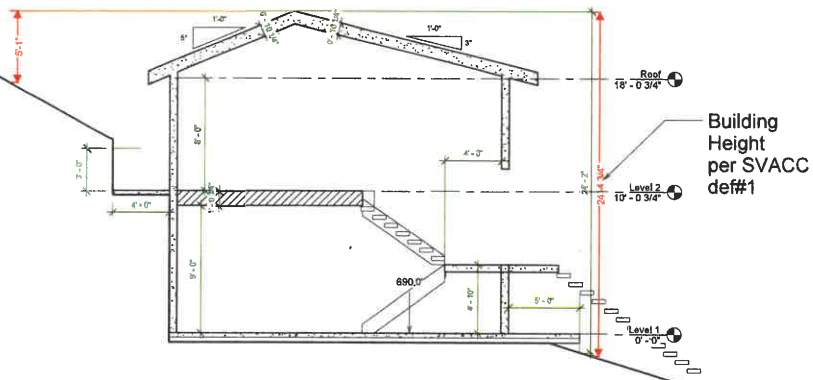
Street Address: 52 High Cliff	Div/Lot Div 14 Lot 46
Owner(s)/Contractor) Name(s): Ted Clifton & Norm DesRosiers are both owners & contractor	

Siding Type:	Hardie Lap. 7" reveal
Trim Type:	None
Gable Type:	Cranked gables
Roof Type:	Asphalt
Lighting Type:	Black-green shrouded downlighters
Retaining Wall Materials:	Concrete decorative retaining wall landscape blocks
Other Finish Materials:	

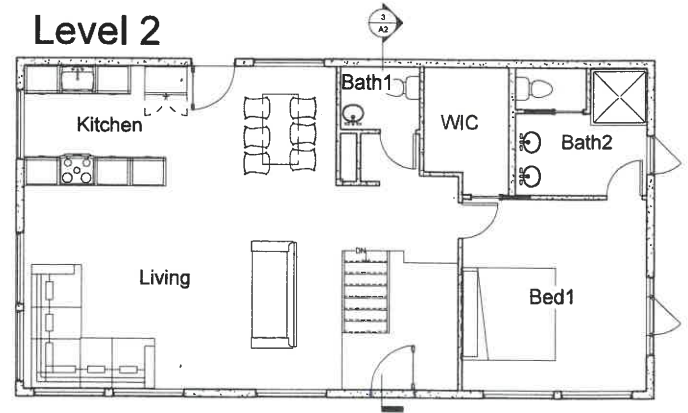
Samples

SIDING/BODY COLOR	TRIM COLOR	ACCENT COLOR
 <p>Hardie lap: Mountain sage green</p>	<p>No trim</p>	<p>Garage Door: White</p> <p>Front Door: Maple</p> <p>Other (Specify Locations):</p>
ROOF COLOR	RETAINING WALL SAMPLE	LIGHTING SAMPLE
 <p>IKO Chalet wood</p>		

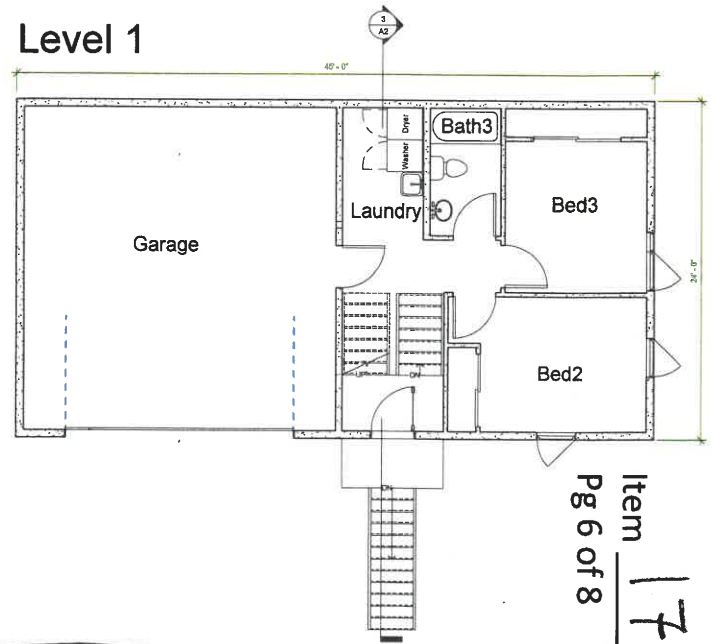
Section XX



Level 2



Level 1



Item 17
Pg 6 of 8

Floorplans + section

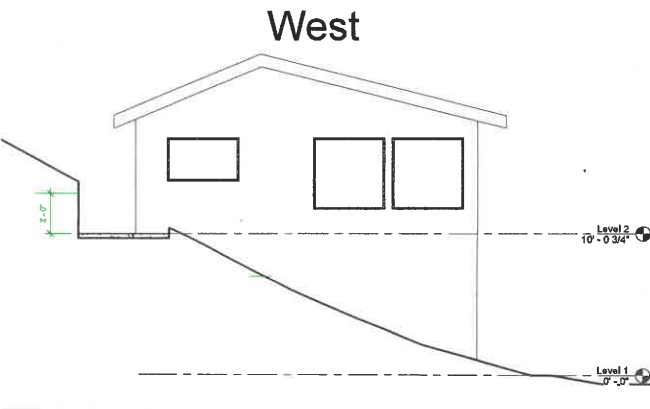
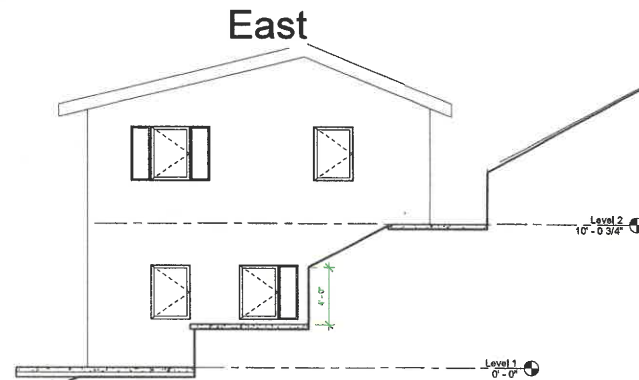
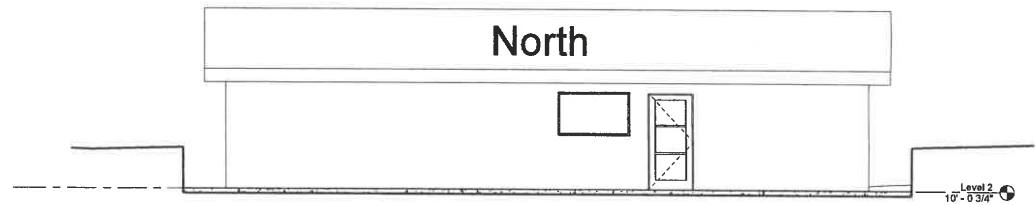
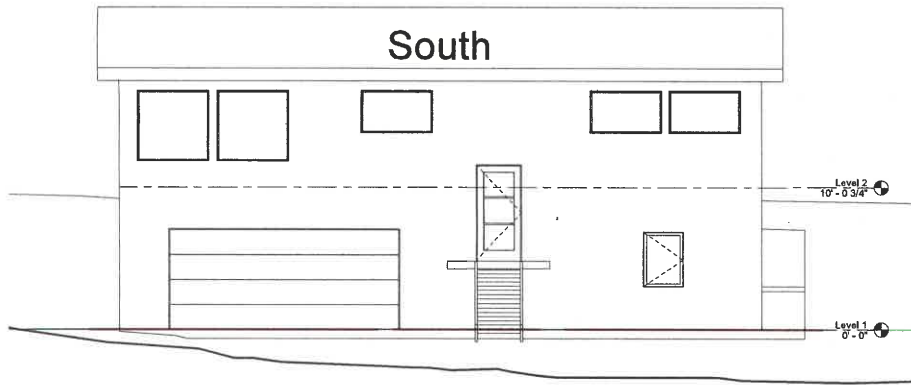
52 High Cliff Lane, Bellingham 370406028354 Div 14 Lot 46

v1.0 4.9.26

Plans: Jake Evans. Owners: DesRosiers & Clifton

A2

1/4" = 1'-0"



Item 17
Pg 7 of 8

Elevations		A4 1/4" = 1'-0"
52 High Cliff Lane, Bellingham 370406028354 Div 14 Lot 46		
v1.0 4.9.26		
Plans: Jake Evans. Owners: DesRosiers & Clifton		



- LEGEND - Existing**
- ⊕ FOUND / RECOVERED BRASS DISK MONUMENT
 - ⊙ MONUMENT POSITION OF RECORD (NOT FND.)
 - SET 1/2" REBAR/CAP (LS #5176)
 - SET WOOD HUB & LATH
 - SSNH⊙ SANITARY SEWER MANHOLE (SEE MODELSPACE)
 - SANITARY SEWER LINE (APPROXIMATE)
 - W WATER VALVE
 - FH FIRE HYDRANT
 - EDGE ASPHALT
 - × MISC. FEATURE AS NOTED
 - - - DITCH CENTERLINE
 - COMMUNICATIONS LINE U.G. (FRD. PAINT)
 - ⊙ TREE LABELED W/ DBH (INCHES)
(A=ALDER, C=CEDAR, CH=COTTONWOOD, F=FERN, H=HEMLOCK, M=MAPLE)

- Legend - Proposed**
- Roof's
 - Wells
 - P. Side cover
 - P. Water install
 - P. PSE service line
 - Setbacks
 - ⊙ Tree to be felled
 - ⊙ Tree to be planted
 - ⊙ Clearing limits
 - ⊙ Filter Fence
 - Driveway

Stormwater surfaces
 All roofs = 1326sf
 Driveway (not area covered by roof) = 799sf
 TOTAL = 2125sf

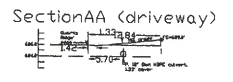
Sudden Valley required info
 Lot area: 7623sf
 House Footprint: 1083sf (includes garage)
 Vertical height: -24' SV definition #1
 Living area: 1584sf
 Garage area: 576sf
 Drive & walkup: 972sf
 Driveway slopes: 10%
 Decks: 24sf
 Open space: 220sf
 Setbacks: 20' Front, 5' rear, 10' combined sides with variance

Detailed Landscape Plan
 The entire site will be mulched with 16cy compost post-construction. 2 planting areas are identified for tree replacement & shrub/cover planting.

Planting area 1. Side yard 430sf
 2 trees Cedar
 8 shrubs Sword fern
 17 ground cover, 15 salal, 5 trillium
 5 cy mulch

Planting area 2. Rear yard 430sf
 2 trees Cedar
 8 shrubs Sword fern
 17 ground cover, 15 salal, 5 trillium
 5 cy mulch

Planting area 3. Side yard 430sf
 2 trees Cedar
 8 shrubs Sword fern
 17 ground cover, 15 salal, 5 trillium
 5 cy mulch



Proposed 1584sf
 2-story house
 (FF=690.0') with
 attached 576sf
 garage

Item 17
 Pg 8 of 8

Siteplan		A1
High Cliff v1.4 4.9.26		
52 High Cliff Lane, Bellingham 370486028354		1"=10'
Survey: Christie & Christie, Feb 2026		

Rec'd 04/09/2026
11:13 AM

In-Concept

Sudden Valley Community Association Variance Request

Item 18
Pg 1 of 2
G13

Street Address: 52 High Cliff, Bellingham Div 14 Lot 46
Owner: Ted Clifton & Norm DesRosiers
Mailing Address: 2515 ST Paul ST, Bellingham, WA 98226
Phone: ~~360 220 2119~~ ~~Ted 360 920 1905~~ Email: Ted@telegendhomes.com
norm@telegendhomes.com

**Requests will not be considered unless the street address is clearly displayed on the residence.
Please note that in the week(s) following request submittal, ACC members may visit and review property.**

Requested for:

- New construction
- Existing home
- Other

The variance would affect:

- Exterior appearance
- Drainage/Erosion control
- Open space & Lot coverage
- Tree/Vegetation removal
- Setbacks to property line
- Interior living space
- Structure height

**Please refer to ACC
Guideline 14.8.12 for
more information.**


Page 2 shows siteplan
with combined side
yards reduced to 10.0'

Give a full description of the request and need for the variance: _____

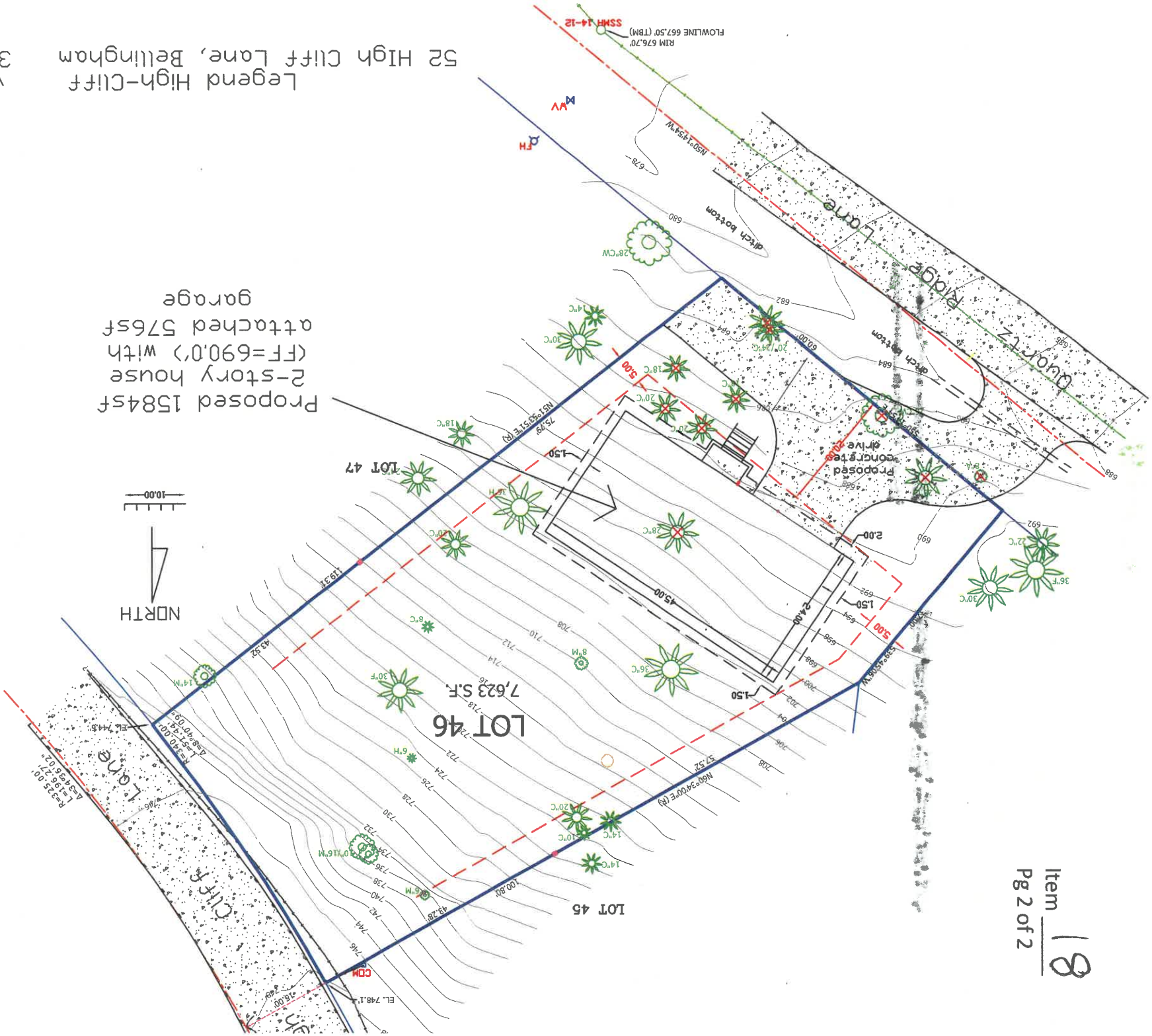
The lot is very steep & we can't dig further into the slope, so we need to go wide to make a 1600sf home with garage, and this requires expanded side-yards.

There are no occupied lots on either side. Also the lot is not symmetrical to the proposed house so the proposed side yards do flare out to roughly 10' on each side at the widest points.

This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.

Owner Signature:  Date: 4.9.26

AC Staff Comments: _____



Proposed 1584sf
2-story house
(FF=690.0') with
attached 576sf
garage



Legend High-Cliff
52 High Cliff Lane, Bellingham
V1.4 4.9.26
370406028354
1" = 20'

Rec'd 04/09/2026
11:24 AM

Sudden Valley Community Association Exterior Alteration Request

Item 19
Pg 1 of 3
G13

Street Address: 1 Sunnyside Lane Div 29 Lot 080
Owner: Jared Greenwood
Mailing Address: 1 Sunnyside Lane
Phone: [REDACTED] Email: jared.greenwood@gmail.com

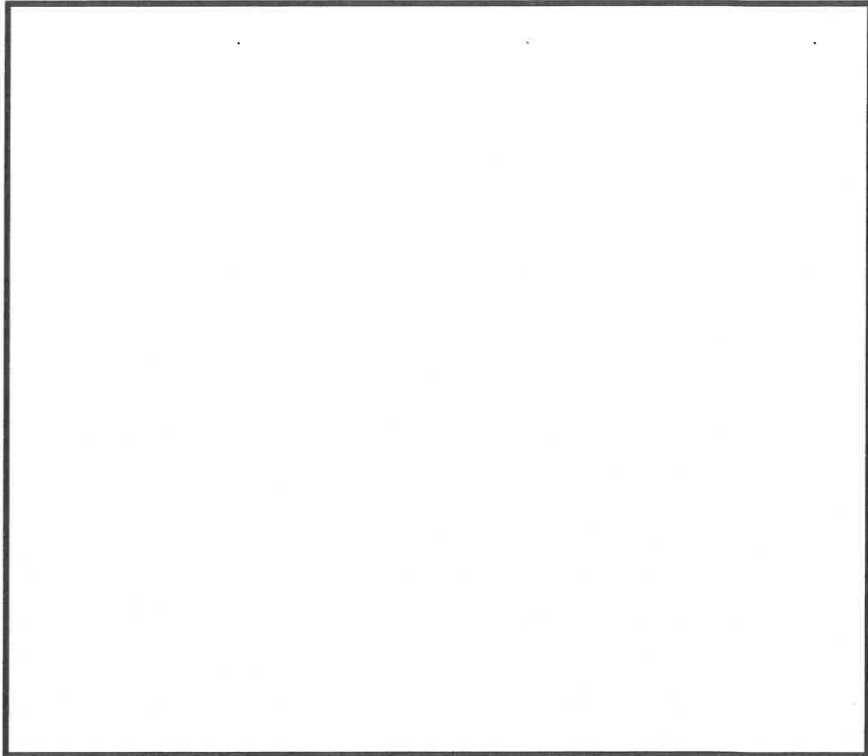
**Requests will not be considered unless the street address is clearly displayed on the residence.
Please note that in the week(s) following request submittal, ACC members may visit and review property.**

Requested for:

- Existing home
- New construction

The change would affect:

- Exterior appearance
- Drainage/Erosion control
- Open space & Lot coverage
- Setbacks to property line
- Structure height



**Please refer to ACC Guidelines
14.2 and 14.11 and for more
information.**

Give a full description of the request and attach any additional information if needed:

Overall Project :french drain installation and rain gutter down spouts to main drainage ditch by road. There is an existing french drain manifold (3 pipes (photo 3 black pipe manifold french drain) that runs underground to the southside of the house and drains above ground (photo southside french drain exit). One to two french drain ditches underground starting at 8 inches deep will run a slope of 1"/10' to the 3 black pipes and tie into the existing french draining system to wrap around the southwest corner of the house. The new french drain ditches will run parallel to the wooden beam in the photo (west length of house french drain parallel to wood beam). I would also like to extend the pipe in photo (south french drain exit to the drainage by the road (photo southside of house by road polo park). I would like to bury it, make it a solid pipe and connect my SW and SE rain gutter down spouts into it underground. See photos SW/SE gutter downspouts.

This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: Jared Greenwood Date: 4-9-2026



Item 19
Pg 2 of 2



Rec'd 04/09/2026
11:24 PM

Sudden Valley Community Association Exterior Alteration Request

Item 20
Pg 1 of 2
G13

Street Address: 1 Sunnyside Lane Div 29 Lot 080
Owner: Jared Greenwood
Mailing Address: 1 Sunnyside Lane
Phone: [REDACTED] Email: [REDACTED]

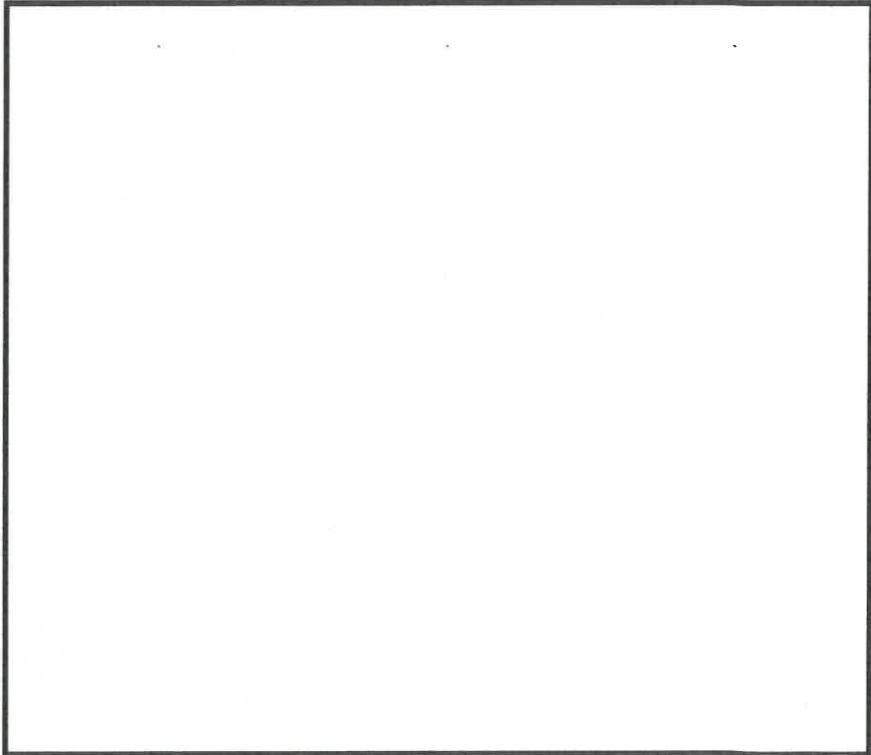
**Requests will not be considered unless the street address is clearly displayed on the residence.
Please note that in the week(s) following request submittal, ACC members may visit and review property.**

Requested for:

- Existing home
- New construction

The change would affect:

- Exterior appearance
- Drainage/Erosion control
- Open space & Lot coverage
- Setbacks to property line
- Structure height



**Please refer to ACC Guidelines
14.2 and 14.11 and for more
information.**

Give a full description of the request and attach any additional information if needed:

Replacement deck/patio. A replacement deck to be installed in the backyard (photo west house length patio or deck area)
Option 1: grey colored pavers at a height 1.5 feet below the sliding glass door exit with two small staircases going to the slider doors and one long stair next to the current retaining wall to walk up into yard (photo patio or deck area next to house).
Option 2: Replace deck as it was with wood joists and decking. Decking to be synthetic 'trek' deck or similar project to match color of house.
Color most likely grey or brown, depending on house color choice after paint submission.

This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: Jared Greenwood Date: 4-9-2026



Rec'd 04/09/2026
11:24 AM

Sudden Valley Community Association Exterior Alteration Request

Item 21
Pg 1 of 2
G13

Street Address: 1 Sunnyside Lane Div 29 Lot 080
Owner: Jared D Greenwood
Mailing Address: 1 Sunnyside Lane
Phone: 309-540-0377 Email: jared.dgreenwood@gmail.com

**Requests will not be considered unless the street address is clearly displayed on the residence.
Please note that in the week(s) following request submittal, ACC members may visit and review property.**

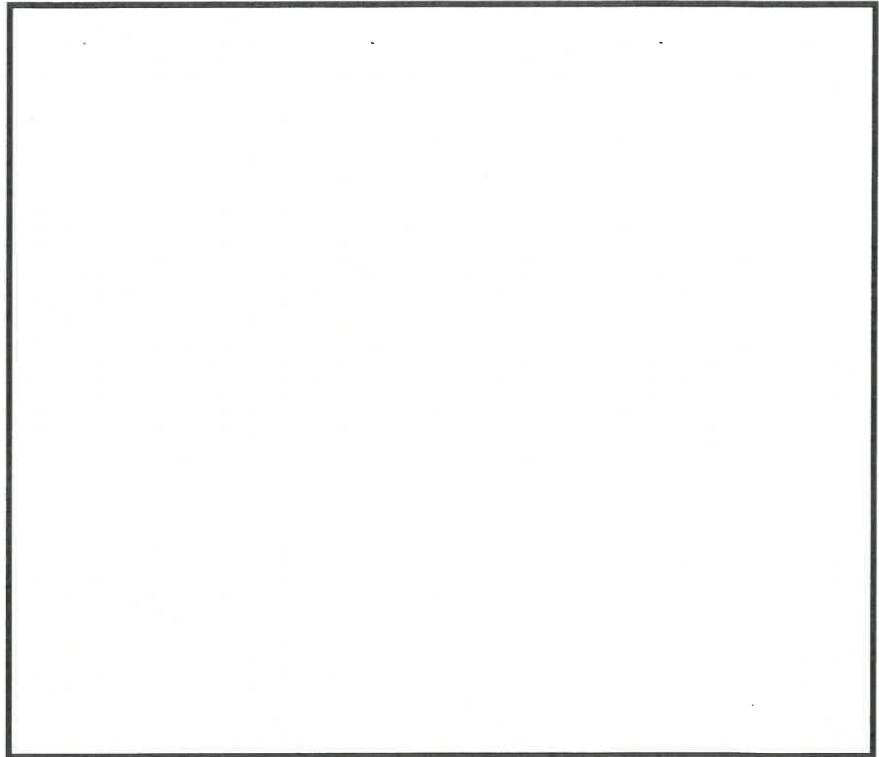
Requested for:

- Existing home
- New construction

The change would affect:

- Exterior appearance
- Drainage/Erosion control
- Open space & Lot coverage
- Setbacks to property line
- Structure height

**Please refer to ACC Guidelines
14.2 and 14.11 and for more
information.**



Give a full description of the request and attach any additional information if needed:

Roof line and gutter line to move back to eliminate down spout in middle of house. See photo (Propane fireplace doghouse) where house bumps out further and causes rain gutter to have an extra downspout on left. The roof/gutter line extends farther than the rest of the house. I would like a long continuous roof/gutter line so the gutter can drain to one location, SW corner (photo eave line rain gutter alignment to exit SW corner). Roof eave line will be cut back. The doghouse will need a second smaller roof one foot lower to cover that space and it will be under the cut back eave, see example of what I want it to look like in (photo example doghouse roof). My doghouse roof will be higher up away from the round exhaust chimney (photo propane fireplace doghouse).

This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: Jared D Greenwood Date: 4-9-2026



Rec'd 04/09/2026
11:24 AM

Sudden Valley Community Association Exterior Alteration Request

Item 22
Pg 1 of 1
G13

Street Address: 1 Sunnyside Lane Div 29 Lot 080
Owner: Jared Greenwood
Mailing Address: 1 Sunnyside Lane
Phone: [REDACTED] Email: Jared.Greenwood

**Requests will not be considered unless the street address is clearly displayed on the residence.
Please note that in the week(s) following request submittal, ACC members may visit and review property.**

Requested for:

- Existing home
- New construction

The change would affect:

- Exterior appearance
- Drainage/Erosion control
- Open space & Lot coverage
- Setbacks to property line
- Structure height

Please refer to ACC Guidelines 14.2 and 14.11 and for more information.



Give a full description of the request and attach any additional information if needed:

New siding on rear of house. Depending how rough/rotten the siding is when replacing deck, new siding might be added to the rear of the house.

New siding will be concrete 'hardy board' 7/8 inches wide and a horizontal fashion like it house currently has.

Same paint color unless paint request is submitted to change the color.

This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: Jared Greenwood

Date: 4-9-2026