



Sudden Valley Community Association Architectural Control Committee

Date 05/21/2026

Time 5:00 PM

Location - Multi-Purpose Room "A"

Agenda

Type of meeting: Request and Plan Review

Facilitator: Daniel Rodriguez, Chair

Committee Attendees:

Excused Absence:

Attendees:

Observers:

Item – 1	Approval of 05/21/2026 ACC Meeting Agenda
Item – 2	Property Owner Comments
Item – 3	Consent Agenda – Approval of the 05/07/2026 ACC Meeting Minutes
Item – 4	6 Caddie Ln, G1, Ext Alt (Paint)
Item – 5	12 Par Ln, G1, Fence (Protection)
Item – 6	12 Par Ln, G1, Variance (Height)
Item – 7	12 Par Ln, G1, Variance (Set-back)
Item – 8	16 Valley View Cir, G2, Ext Alt (Parking & Siding)
Item – 9	16 Valley View Cir, G2, Ext Alt (Tiered Remodel)
Item – 10	9 Marigold Dr, G2, New Construction
Item – 11	9 Marigold Dr, G2, Variance (Property Coverage)
Item – 12	15 Grand View Ln, G2, Fence (Protection & Pet)
Item – 13	2 Hawks Hill Pl, G3, Tree (Remove 1)
Item – 14	43 Rocky Ridge Dr, G3 Variance (Pet Fence)
Item – 15	80 Sudden Valley Dr, G3, Tree (Remove 6 3)
Item – 16	26 Basin View Cir, G3, Ext Alt (Detached Garage) <i>In Concept Resubmission</i>
Item – 17	3 Maple Ct, G3, New Construction
Item – 18	4 Deer Run Ln, G3, Ext Alt (Landscaping & Retaining Wall)
Item – 19	29 Maple Ct, G3, Fence (Pet) <i>Resubmission</i>
Item – 20	8 Shetland Ct, G5, Fence (Pet)
Item – 21	18 Clematis Ln, G5, Fence (Privacy)
Item – 22	22 Berry Wood Pl, G9, Fence (Pet)
Item – 23	28 Honeycomb Ln, G9, Ext Alt (Pathway)



Agenda

Architectural Control Committee
Date 05.21.2026

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Item – 24	23 Cold Spring Ln, G9, Ext Alt (Paint, Refinish Deck & Railing)
Item – 25	2 Cold Spring Ln, G9, Ext Alt (Replace Roof & Skylights)
Item – 26	10 Shooting Star Ct, G13, 1st Extension (New Home) <i>Six Months</i>
Item – 27	8 Shooting Star Ct, G13, Const Change (Ret Walls) <i>Resubmission</i>

Meeting Called to Order 00:00 PM

Item – 1	Approval of 05/21/2026 ACC Meeting Agenda	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 2	Property Owner Comments	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 3	Consent Agenda – Approval of the 05/07/2026 ACC Meeting Minutes	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 4	6 Caddie Ln, G1, Ext Alt (Paint)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 5	12 Par Ln, G1, Fence (Protection)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 6	12 Par Ln, G1, Variance (Height)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 7	12 Par Ln, G1, Variance (Set-back)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 8	16 Valley View Cir, G2, Ext Alt (Parking & Siding)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 9	16 Valley View Cir, G2, Ext Alt (Tiered Remodel)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 10	9 Marigold Dr, G2, New Construction	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 11	9 Marigold Dr, G2, Variance (Prop Coverage)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 12	15 Grand View Ln, G2, Fence (Protection & Pet)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 13	2 Hawks Hill Pl, G3, Tree (Remove 1)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 14	43 Rocky Ridge Dr, G3 Variance (Pet Fence)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 15	80 Sudden Valley Dr, G3, Tree (Remove 6 3)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 16	26 Basin View Cir, G3, Ext Alt (Detached Garage) <i>In Concept Resubmission</i>	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 17	3 Maple Ct, G3, New Construction	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 18	4 Deer Run Ln, G3, Ext Alt (Landscaping & Retaining Wall)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 19	29 Maple Ct, G3, Fence (Pet) <i>Resubmission</i>	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 20	8 Shetland Ct, G5, Fence (Pet)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 21	18 Clematis Ln, G5, Fence (Privacy)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 22	22 Berry Wood Pl, G9, Fence (Pet)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 23	28 Honeycomb Ln, G9, Ext Alt (Pathway)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 24	23 Cold Spring Ln, G9, Ext Alt (Paint, Refinish Deck & Railing)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 25	2 Cold Spring Ln, G9, Ext Alt (Replace Roof & Skylights)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 26	10 Shooting Star Ct, G13, 1st Extension (New Home) <i>Six Months</i>	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 27	8 Shooting Star Ct, G13, Const Change (Ret Walls) <i>Resubmission</i>	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Meeting Adjourned at 00:00 PM



Sudden Valley Community Association Architectural Control Committee

Date 05/07/2026
Time 9:00 AM
Location - Zoom

Minutes

Type of meeting: Request and Plan Review

Facilitator: Daniel Rodriguez, Chair

Committee Attendees: Jo Jean Kos, Patric Zwolenski, Dan Vink, Terry Niblack

Excused Absence:

Attendees: Jerry Gangle, Allen Helvajian

Observers: Ed Danch (Item 9), David Shportko & Bogdan Shulga (Items 11, 12 & 13), Chad Schmitt (Items 14 & 15 and 27), Robin Ray Hunt JR (Item 16), Paul Simpson (Item 19), Craig Tekgenhoff (Items 20 & 21), Jeff Mildner (Item 26), Katrina Munsterrman (Item 31), Emma Brown (Item 33), Ilya Shportko (Items 36 & 37), Carol Pemberton, Lukas & Danielle Holland, Jay Fasteen, Whitney, Will Savchuk, Sunny Palmtag (Guest Observers)

Item – 1	Approval of 05/07/2025 ACC Meeting Agenda
Item – 2	Property Owner Comments
Item – 3	Consent Agenda – Approval of the 04/16/2025 ACC Meeting Minutes
Item – 4	42 North Point Dr, G1, Ext Alt (Lighting) <i>Resubmission</i>
Item – 5	42 North Point Dr, G1, Tree (Remove 1 Tree & 2 Shrubs)
Item – 6	46 North Point Dr, G1, Ext Alt (Gas Meter)
Item – 7	46 North Point Dr, G1, Tree (Remove 1)
Item – 8	2 Jubilee Ln, G1, Tree (Limb 15) – Withdrawn at property owners request
Item – 9	32 Lake Louise Dr, G2, New Construction
Item – 10	13 Orchid Ct, G2, Tree (Remove 3)
Item – 11	7 Orchid Ct, G2, New Construction
Item – 12	7 Orchid Ct, G2, Variance (Height)
Item – 13	7 Orchid Ct, G2, Variance (Side Set-Back)
Item – 14	18 Sparrow Ct, G2, New Construction <i>Resubmission - In Concept</i>
Item – 15	18 Sparrow Ct, G2, Variance (Side setback) <i>Resubmission - In Concept</i>
Item – 16	14 Nighthawk Cir, G2, Tree (Remove 2)
Item – 17	69 Lake Louise Dr, G2, Ext Alt (Free Library)
Item – 18	69 Lake Louise Dr, G2, Fence (Pet)
Item – 19	2 Morning Beach Dr, G2, Fence (Pet)
Item – 20	3 Austin Creek Ln, G3, Ext Alt (Tiered Remodel)



Item – 21	3 Austin Creek Ln, G3, Variance (Lot Coverage)
Item – 22	43 Rocky Ridge Dr, G3 Fence (Pet)
Item – 23	43 Rocky Ridge Dr, G3 Fence (Protection)
Item – 24	370 Sudden Valley Dr, G3, Ext Alt (Deck & Railing)
Item – 25	39 Inglewood Pl, G3, Ext Alt (Stairway & Path)
Item – 26	26 Basin View Cir, G3, Ext Alt (Detached Garage) <i>In Concept</i>
Item – 27	26 Jasper Ridge Ln, G3, New Construction
Item – 28	24 Maple Ct, G3, Ext Alt (Parking)
Item – 29	106 Harbor View Dr, G3, Ext Alt (Landscaping & Deck) <i>Resubmission</i>
Item – 30	1 Green Hill Rd, G3, Ext Alt (Free Library)
Item – 31	29 Maple Ct, G3, Fence (Pet)
Item – 32	4 Autumn Vista Pl, G3, Ext Alt (Hot Tub)
Item – 33	6 Pinto Creek Ln, G5, Ext Alt (Catio)
Item – 34	10 Loganberry Ln, G5, Ext Alt (Deck) <i>Resubmission</i>
Item – 35	8 Misty Ridge Ct, G9, Ext Alt (Paint)
Item – 36	10 Shooting Star Ct, G13, Const Change (D/W Slope & Retaining Wall)
Item – 37	10 Shooting Star Ct, G13, Variance (D/W Slope)
Item – 38	8 Shooting Star Ct, G13, 1st Extension (New Home) <i>Six Months</i>
Item – 39	8 Shooting Star Ct, G13, Const Change (Deck & Paint)
Item – 40	8 Shooting Star Ct, G13, Const Change (Retaining Walls)
Item – 41	6 River Ridge Loop, G13, Ext Alt, (Catio)
Item – 42	ACC Statement on Marina Dog Park Fencing



Meeting Called to Order 9:06 AM

Item – 1	Approval of 05/07/2026 ACC Meeting Agenda	Video 00:00:33 – 00:02:47
Comments:	Agenda modified to add item #42: ACC Statement on Marina Dog Park Fencing	
Discussion:		
Action:	Approved	Motion: Daniel Unanimous

Item – 2	Property Owners Comments	Video 00:02:55 – 00:03:30
Comments:	Construction update provided on 8 & 10 Valley View Cir. And more at: Video 00:04:57 – 00:11:58	
Discussion:	Discussion about activity on Maple Ct.	
Action:		Motion: N/A

Item – 3	Consent Agenda – Approval of the 04/16/2026 ACC Meeting Minutes	Video 00:03:40 – 00:04:49
Comments:		
Discussion:	(Patric abstains due to absence)	
Action:	Approved	Motion: Dan Majority

Item – 4	42 North Point Dr, G1, Ext Alt (Lighting) <i>Resubmission</i>	Video 02:32:05 – 02:35:53
Comments:	The lighting does not fit within Sudden Valley policy and guidelines.	
Discussion:		
Action:	Denied	Motion: Dan Unanimous

Item – 5	42 North Point Dr, G1, Tree (Remove 1 Tree & 2 Shrubs)	Video 02:35:56 – 02:36:26
Comments:		
Discussion:		
Action:	Approved	Motion: Terry Unanimous

Item – 6	46 North Point Dr, G1, Ext Alt (Gas Meter)	Video 00:36:36 – 00:36:48
Comments:		
Discussion:		
Action:	Approved	Motion: Patric Unanimous

Item – 7	46 North Point Dr, G1, Tree (Remove 1)	Video 00:36:59 – 00:38:42
Comments:	The tree removal requires a replacement. Recommendation is with a small native tree.	
Discussion:		
Action:	Approved	Motion: Terry Unanimous



Item – 8	2 Jubilee Ln, G1, Tree (Limb 15) – Withdrawn by property owner		Video 00:36:15 – 00:52:43
Comments:			
Discussion:			
Action:		Motion:	

Item – 9	32 Lake Louise Dr, G2, New Construction		Video 01:15:56 – 01:39:05
Comments:	Provide an Arborist Report on the likelihood of survival of the trees impacted by the Utility Connections. Provide stamped & signed Engineering Plans on retaining wall. Provide overview of Utility connections.		
Discussion:	Require either moving the house or getting a letter from the neighbors saying that the design and size are acceptable to them.		
Action:	Denied	Motion: Dan	Unanimous

Item – 10	13 Orchid Ct, G2, Tree (Remove 3)		Video 02:39:04 – 02:41:39
Comments:			
Discussion:			
Action:	Approved	Motion: Terry	Unanimous

Item – 11	7 Orchid Ct, G2, New Construction		Video 01:39:14 – 01:49:10
Comments:			
Discussion:			
Action:	Approved	Motion: Dan	Unanimous

Item – 12	7 Orchid Ct, G2, Variance (Height)		Video 01:39:14 – 01:49:10
Comments:			
Discussion:			
Action:	Approved	Motion: Dan	Unanimous

Item – 13	7 Orchid Ct, G2, Variance (Side Set-Back)		Video 01:39:14 – 01:49:10
Comments:			
Discussion:			
Action:	Approved	Motion: Dan	Unanimous

Item – 14	18 Sparrow Ct, G2, New Construction <i>Resubmission - In Concept</i>		Video 01:49:30 – 02:01:11
Comments:	Side set-back includes a retaining wall and needs a Variance.		
Discussion:			
Action:	Denied	Motion: Dan	Unanimous



Item – 15	18 Sparrow Ct, G2, Variance (Side setback) <i>Resubmission - In Concept</i>	Video 01:49:30 – 02:01:11
Comments:		
Discussion:		
Action:	Denied	Motion: Dan Unanimous

Item – 16	14 Nighthawk Cir, G2. Tree (Remove 2)	Video 00:20:48– 00:23:15
Comments:		
Discussion:		
Action:	Approved	Motion: Terry Unanimous

Item – 17	69 Lake Louise Dr, G2, Ext Alt (Free Library)	Video 02:41:55 – 02:44:51
Comments:	Resubmit with more precise information about placement and anchorage.	
Discussion:		
Action:	Denied	Motion: Patric Unanimous

Item – 18	69 Lake Louise Dr, G2, Fence (Pet)	Video 02:45:30 – 02:53:55
Comments:	Remove the fence posts. If resubmitting the request with the fence more to the side of the house	
Discussion:	remember to stake & string the area.	
Action:	Denied	Motion: Dan Unanimous

Item – 19	2 Morning Beach Dr, G2, Fence (Pet)	Video 00:23:23 – 00:36:04
Comments:	Change the 28' fence length on Marigold to 20'.	
Discussion:		
Action:	Approved	Motion: Dan Unanimous

Item – 20	3 Austin Creek Ln, G3, Ext Alt (Tiered Remodel)	Video 01:00:10 – 01:15:45
Comments:		
Discussion:		
Action:	Approved	Motion: Dan Unanimous

Item – 21	3 Austin Creek Ln, G3, Variance (Lot Coverage)	Video 01:00:10 – 01:15:45
Comments:	Work with the AC Inspector to lower the coverage number.	
Discussion:		
Action:	Denied	Motion: Dan Unanimous



Item – 22	43 Rocky Ridge Dr, G3 Fence (Pet)		Video 02:56:09 – 03:03:37
Comments:	Approved for a 5'. Please submit a Variance for incursion into the set-back.		
Discussion:			
Action:	Approved	Motion: Daniel	Unanimous

Item – 23	43 Rocky Ridge Dr, G3 Fence (Protection)		Video 03:03:46 – 03:05:21
Comments:	The temporary fence can be held for up to 1 year.		
Discussion:			
Action:	Denied	Motion: Dan	Unanimous

Item – 24	370 Sudden Valley Dr, G3, Ext Alt (Deck & Railing)		Video 03:05:38 – 03:06:02
Comments:			
Discussion:			
Action:	Approved	Motion: Daniel	Unanimous

Item – 25	39 Inglewood Pl, G3, Ext Alt (Stairway & Path)		Video 03:06:10 – 03:07:04
Comments:			
Discussion:			
Action:	Approved	Motion: Patric	Unanimous

Item – 26	26 Basin View Cir, G3, Ext Alt (Detached Garage) <i>In Concept</i>		Video 00:45:20 – 00:59:29
Comments:	Detached structure should have a breezeway.		
Discussion:			
Action:	Denied	Motion: Dan	

Item – 27	26 Jasper Ridge Ln, G3, New Construction		Video 02:01:33 – 02:12:09
Comments:	Provide revised Stormwater plans in compliance with WA State buried systems. Change the acid washed /		
Discussion:	bubble glass on the light fixture to frosted glass.		
Action:	Approved	Motion: Dan	Unanimous

Item – 28	24 Maple Ct, G3, Ext Alt (Parking)		Video 03:07:12 – 03:10:16
Comments:			
Discussion:			
Action:	Denied	Motion: Daniel	Unanimous



Item – 29	106 Harbor View Dr, G3, Ext Alt (Landscaping & Deck) <i>Resubmission</i>	Video 03:10:27 – 03:10:43
Comments:		
Discussion:		
Action:	Approved	Motion: Terry Unanimous

Item – 30	1 Green Hill Rd, G3, Ext Alt (Free Library)	Video 02:54:03 – 02:55:22
Comments:	Resubmit with more precise information about placement and anchorage. The ACC is in favor of free	
Discussion:	libraries.	
Action:	Denied	Motion: Patric Unanimous

Item – 31	29 Maple Ct, G3, Fence (Pet)	Video 00:12:02 – 00:20:33
Comments:	Resubmit with alternate suggestions.	
Discussion:		
Action:	Denied	Motion: Patric Unanimous

Item – 32	4 Autumn Vista Pl, G3, Ext Alt (Hot Tub)	Video 03:10:50 – 03:12:28
Comments:		
Discussion:		
Action:	Approved	Motion: Dan Unanimous

Item – 33	6 Pinto Creek Ln, G5, Ext Alt (Catio) / (aka 5 Arabian Way)	Video 00:36:08 – 00:43:10
Comments:	Roof of Catio must be same as roof on house or remove the roof on Catio and leave wood slats in place.	
Discussion:		
Action:	Approved	Motion: Dan Unanimous

Item – 34	10 Loganberry Ln, G5, Ext Alt (Deck) <i>Resubmission</i>	Video 03:12:39 – 03:13:18
Comments:		
Discussion:		
Action:	Approved	Motion: Dan Unanimous

Item – 35	8 Misty Ridge Ct, G9, Ext Alt (Paint)	Video 03:13:45 – 03:14:11
Comments:		
Discussion:		
Action:	Approved	Motion: Terry Unanimous



Item – 36	10 Shooting Star Ct, G13, Const Change (D/W Slope & Retaining Wall)	Video 02:12:11 – 02:16:21
Comments:		
Discussion:		
Action:	Approved	Motion: Dan Unanimous

Item – 37	10 Shooting Star Ct, G13, Variance (D/W Slope)	Video 02:16:40 – 02:22:10
Comments:	Entire driveway must be raked finish and areas over 15% grade should be heated.	
Discussion:		
Action:	Approved	Motion: Daniel Unanimous

Item – 38	8 Shooting Star Ct, G13, 1st Extension (New Home) <i>Six Months</i>	Video 02:22:22 – 02:29:50
Comments:		
Discussion:		
Action:	Approved	Motion: Dan Unanimous

Item – 39	8 Shooting Star Ct, G13, Const Change (Deck & Paint)	Video 02:22:22 – 02:29:50
Comments:		
Discussion:		
Action:	Approved	Motion: Dan Unanimous

Item – 40	8 Shooting Star Ct, G13, Const Change (Retaining Walls)	Video 02:22:22 – 02:31:27
Comments:	Provide a more detailed landscape plan describing the retaining wall (i.e., placement, height, width,	
Discussion:	Draining plans, etc.)	
Action:	Denied	Motion: Dan Unanimous

Item – 41	6 River Ridge Loop, G13, Ext Alt, (Catio)	Video 03:14:22 – 03:17:11
Comments:		
Discussion:		
Action:	Approved	Motion: Terry Unanimous

Item – 42	ACC Statement on Marina Dog Park Fencing	Video 03:17:16 – 03:29:08
Comments:	Re-work statement's last and second to last paragraphs. Circulate electronically to the ACC when done.	
Discussion:		
Action:	Approved	Motion: Daniel Unanimous

Meeting Adjourned at 12:40 PM

RECEIVED

MAY 13 2026

Sudden Valley Community Association Exterior Alteration Request

Item 4
Pg 1 of 1
G1

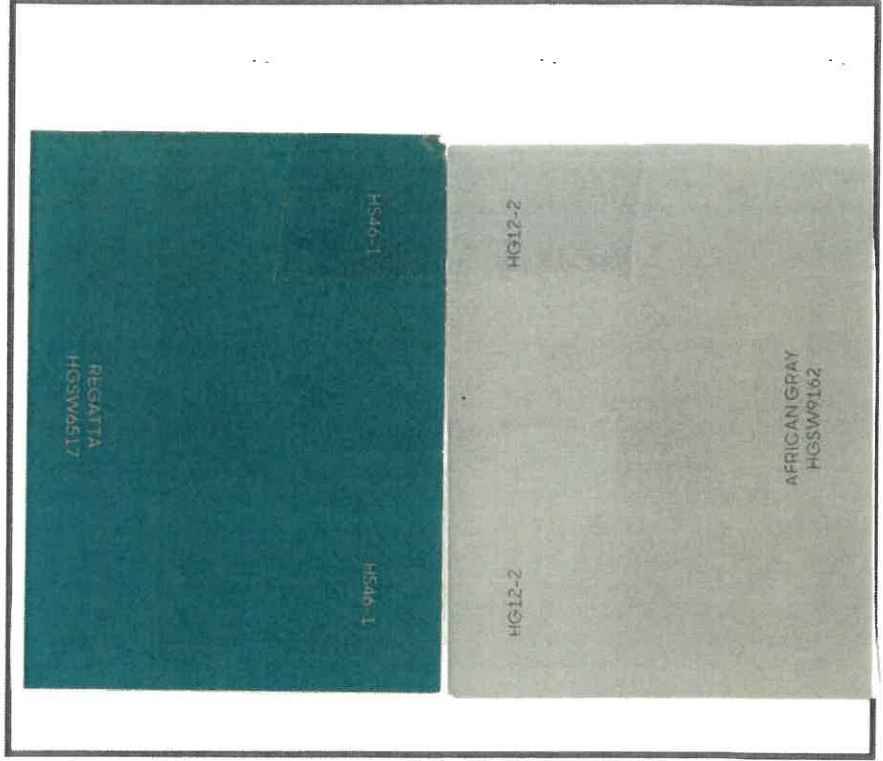
Street Address: 6 Caddie Lane Div 23 Lot 025
Owner: William J & Cheryl M Taylor
Mailing Address: 6 Caddie Ln
Phone: ~~708-448-9300~~ Email: ~~wtaylor@suddenvalley.com~~

Requests will not be considered unless the street address is clearly displayed on the residence.
Please note that in the week(s) following request submittal, ACC members may visit and review property.

Requested for:
 Existing home
 New construction

The change would affect:
 Exterior appearance
 Drainage/Erosion control
 Open space & Lot coverage
 Setbacks to property line
 Structure height

Please refer to ACC Guidelines 14.2 and 14.11 and for more information.



Give a full description of the request and attach any additional information if needed:
Requesting approval for repainting with non-pre-approved exterior colors.

Body Color: Regatta Blue (HGSW6517) HG12-2
Trim Color: African Grey (HGSW9162) HG12-2

This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: William J Taylor Date: 5-13-26

RECEIVED
MAY 11 2026

Sudden Valley Community Association
Fence Request

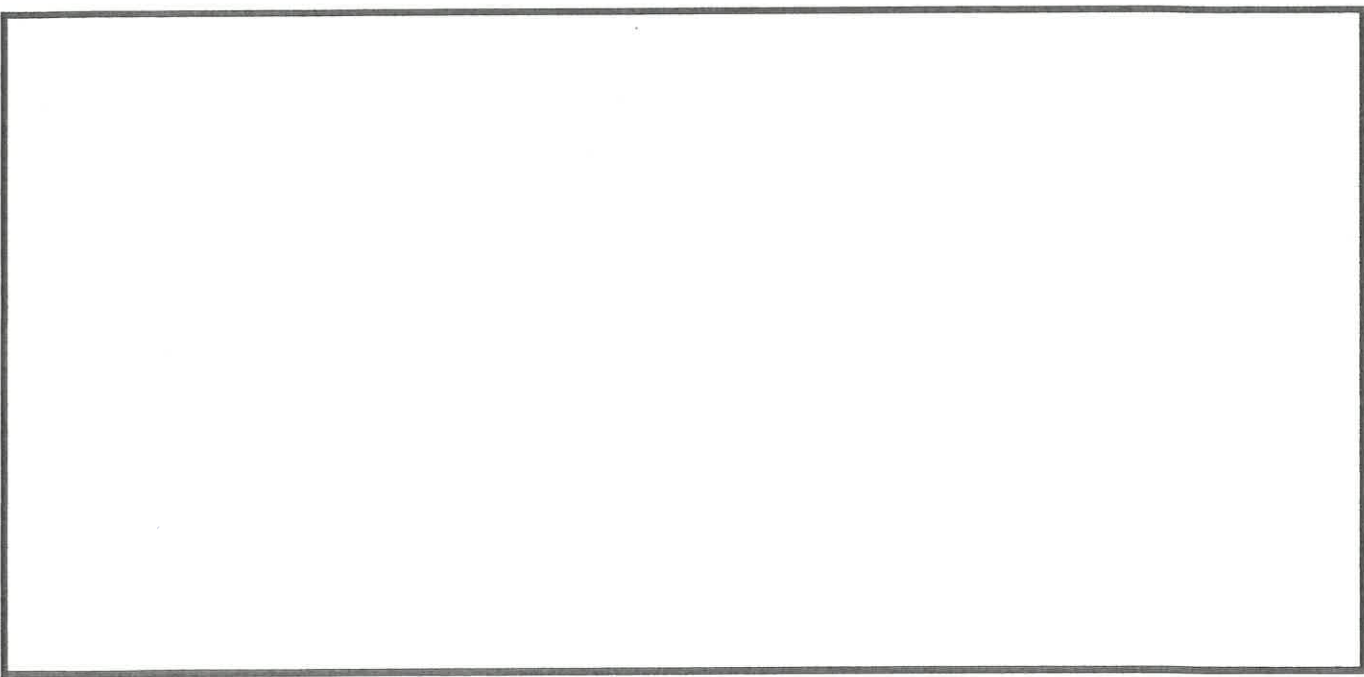
Item 5
Pg 1 of 3
G1

Street Address: 12 Par Ln Div 32 Lot 016
Owner: Parker Sutton
Mailing Address: 12 Par Ln Meltington WA 98229
Phone: ~~206-444-8888~~ Email: ~~parkersutton@gmail.com~~

Requests will not be considered unless the street address is clearly displayed on the residence.
Please note that in the week(s) following request submittal, ACC members may visit and review property.

Intended use: Privacy Protection Pet Enclosure
Fence type: Split Rail Wood and Wire Vegetative Hedge Other

On the diagram below, please indicate the road, property line, house, fence outline with dimensions, and any proposed vegetative screening (may attach larger sketch if needed).



Corners of the proposed fence **MUST** be staked prior to submittal.
Please refer to ACC Guideline 14.6.9 for more information.

Give a full description, additional considerations, and attach additional information if needed:

This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: [Signature] Date: 5-11-26

AC Staff Comments: _____

Dear Sun Valley Community Association,

I am writing to request a variance for my property at 12 Par Lane, Division 32, Lot 16. Due to the high volume of golf balls landing in my backyard from the adjacent golf course, I would like to install a fence along the property line bordering the course. This will keep the numerous people a day and the higher volumes of weekenders coming up into my yard. The proposed fence is a five-foot-tall horizontal modern cedar plank design with intentional gaps, keeping it open and airy. Two feet above the fence, at seven feet total, I would like to run a horizontal wire to support wisteria, creating a living fence as described in Appendix B, Section 14.6.9 of the community guidelines.

This request includes two variances: one to allow the fence to be built on the property line instead of observing the required setback, and another to permit the total height of seven feet for the wire trellis.

My neighbors on both sides have been informed of the design and are fully supportive.

Thank you for considering my request. I'm happy to provide additional details or revised plans as needed.

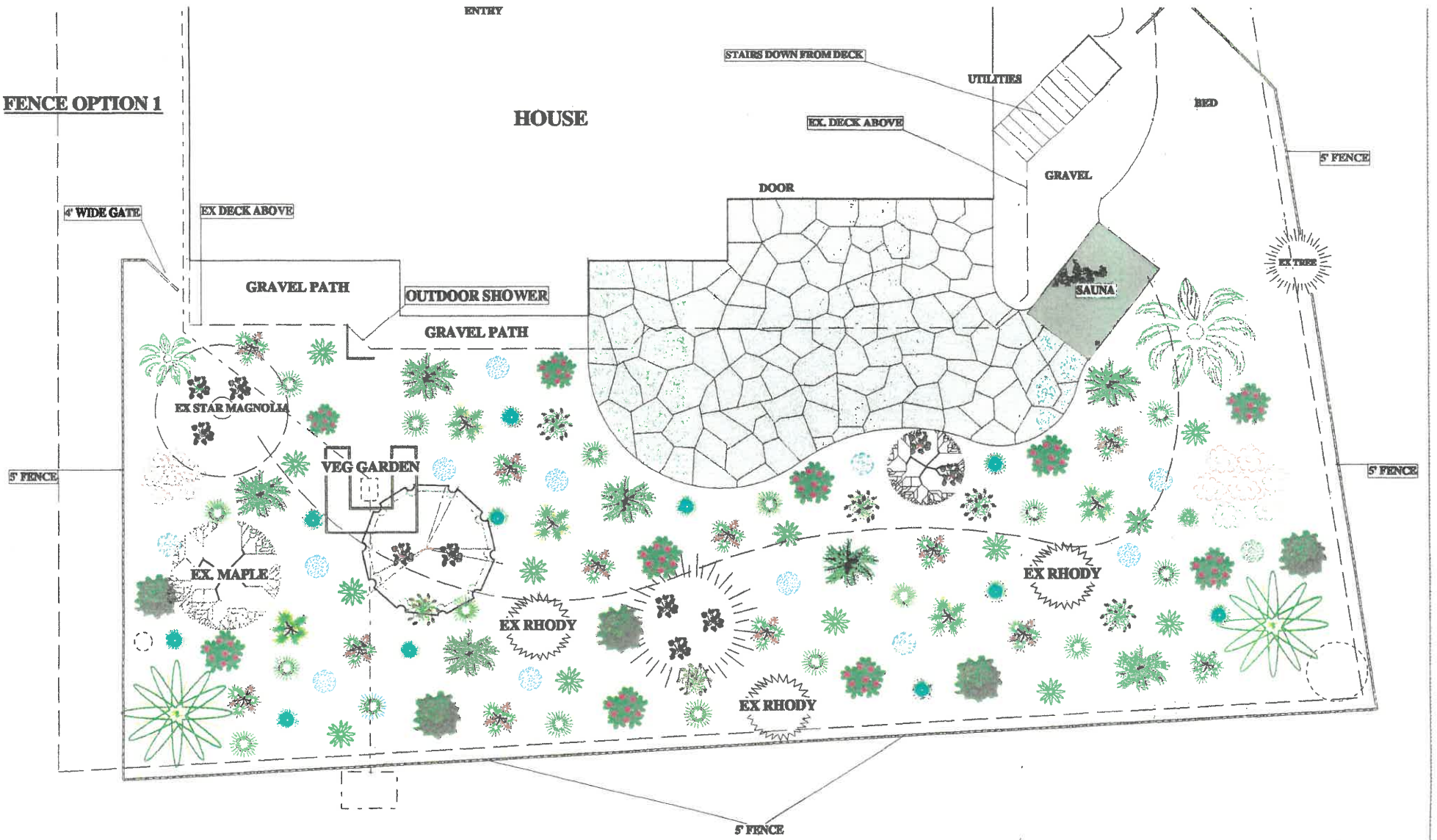
Sincerely,

Parker sutton

Aka Mr wonderful

Item 5
Pg 2 of 3

FENCE OPTION 1



RECEIVED

MAY 11 2026

Sudden Valley Community Association
Variance Request

Item 6
Pg 1 of 3
G1

Street Address: 12 Par Ln Div 32 Lot 016
Owner: Patricia Sutton
Mailing Address: 12 Par Ln McLaughlin WA 98221
Phone: ~~509 422 2111~~ Email: ~~patricia.sutton@comcast.net~~

Requests will not be considered unless the street address is clearly displayed on the residence.
Please note that in the week(s) following request submittal, ACC members may visit and review property.

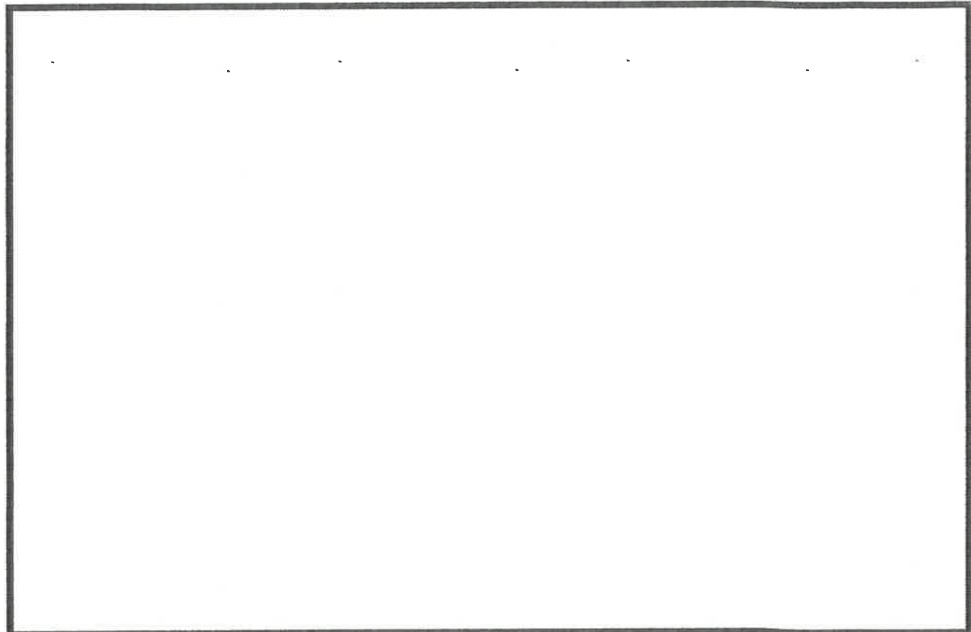
Requested for:

- New construction
- Existing home
- Other

The variance would affect:


- Exterior appearance
- Drainage/Erosion control
- Open space & Lot coverage
- Tree/Vegetation removal
- Setbacks to property line
- Interior living space
- Structure height

Please refer to ACC
Guideline 14.8.12 for
more information.



Give a full description of the request and need for the variance: I would like to install a horizontal wire at a height of seven feet above the five foot proposed fence. This wire would support the growth of wisteria vines. The set up allows the vines to grow properly along the wire while maintaining a low profile that blends with surrounding landscape. The wire is thin and unobtrusive it will have a minimal visual impact on the neighborhood.

This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.

Owner Signature: 

Date: 5-11-26

AC Staff Comments: _____



Item 6
Pg 2 of 3



Item 6
Pg 3 of 3

Rec'd 05/11/2026
In-Person Drop Off

Sudden Valley Community Association Variance Request

Item 7
Pg 1 of 1
G1

Street Address: 12 Par Ln Div 32 Lot 016

Owner: Patricia Sutton

Mailing Address: 12 Par Ln Bellingham WA 98229

Phone: ~~360-338-6888~~ Email: ~~patricia.sutton@bellnet.net~~

**Requests will not be considered unless the street address is clearly displayed on the residence.
Please note that in the week(s) following request submittal, ACC members may visit and review property.**

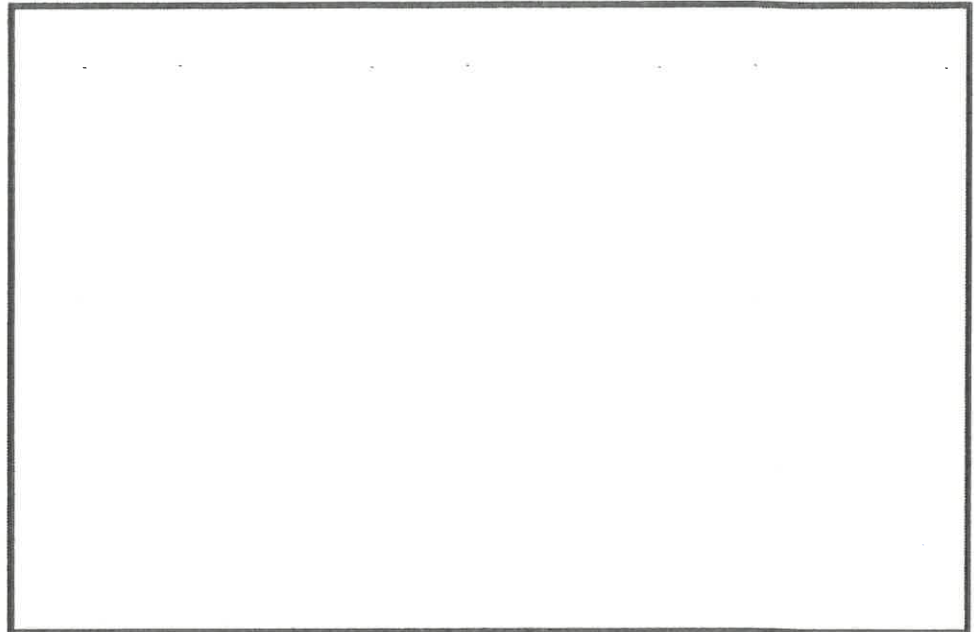
Requested for:

- New construction
- Existing home
- Other

The variance would affect:

- Exterior appearance
- Drainage/Erosion control
- Open space & Lot coverage
- Tree/Vegetation removal
- Setbacks to property line
- Interior living space
- Structure height

**Please refer to ACC
Guideline 14.8.12 for
more information.**



Give a full description of the request and need for the variance: _____

This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.

Owner Signature: 

Date: 5-11-26

AC Staff Comments: _____

Rec'd 05/12/2026
1:10 PM

Sudden Valley Community Association
Exterior Alteration Request

Item 8
Pg 1 of 2
G2

Street Address: 16 Valley view Circle, Bellingham, WA Lot 07-051
Owner: Salim Jaffer
Mailing Address: 284 Walberry loop, Lynden WA 98264
Phone: ~~360-338-1111~~ Email: ~~salim.jaffer@lyndenwa.gov~~

Requests will not be considered unless the street address is clearly displayed on the residence.
Please note that in the week(s) following request submittal, ACC members may visit and review property.

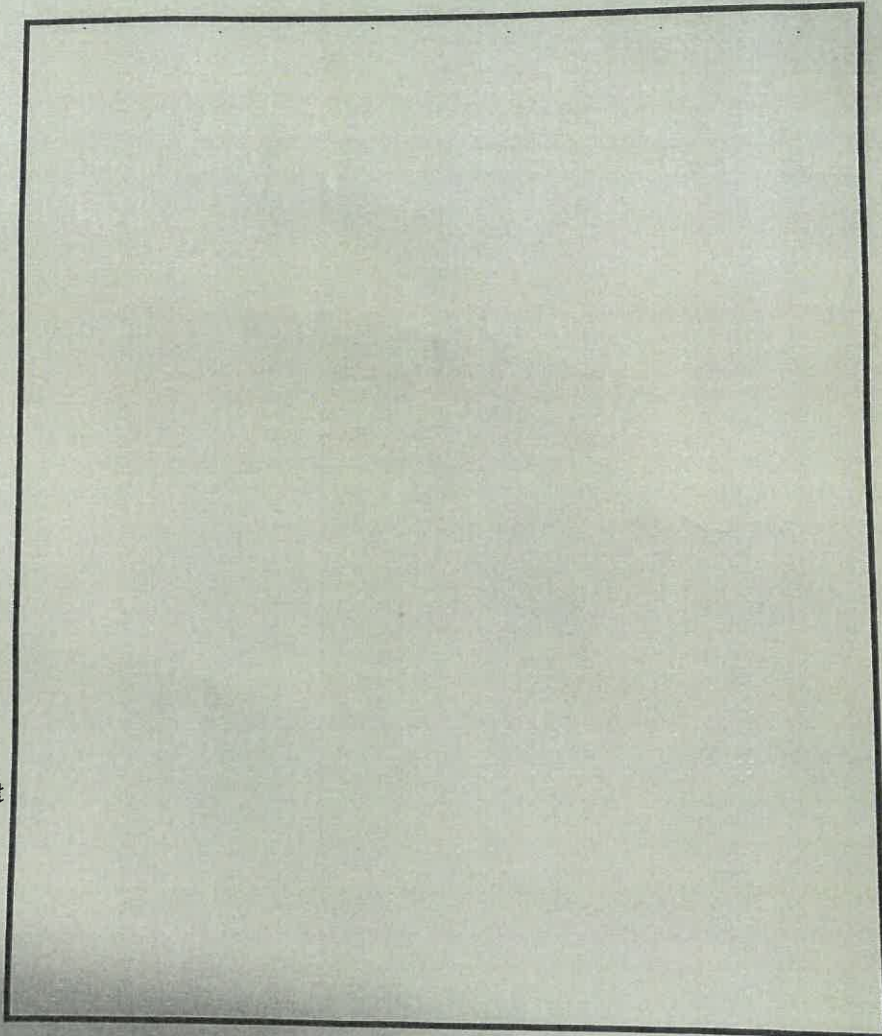
Requested for:

- Existing home
- New construction

The change would affect:

- Exterior appearance
- Drainage/Erosion control
- Open space & Lot coverage
- Setbacks to property line
- Structure height

Please refer to ACC Guidelines
14.2 and 14.11 and for more
information.



Give a full description of the request
attach any additional information if
needed:

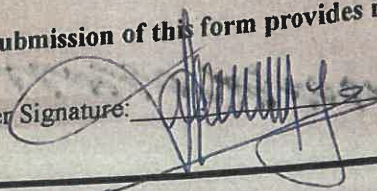
and

- 1) This is a request to park our vehicles across the parking deck on a temporary basis. We will be using 2/4" rock as a substrate.
- 2) The engineering drawings include removing the siding on the SW side of the first/second floor to install additional nailing at 4" spacing.

This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: _____



Date: 05 | 12 | 2026

Staff Comments: _____

Staff Signature: _____

Date: _____

Item

8

Pg 2 of 2



Rec'd 04/27/2026
10:30 AM

Tiered Construction Request

Item 9
Pg 1 of 14

New Construction Checklist & Application Packet

Mailing Address: 284 MABERRY LOOP, LYNDEN. WA 98264		G2
Email Address: XXXXXXXXXX	Cell Phone: XXXXXXXXXX	Work same as cell phone

CONTRACTOR: AC Inspector MUST BE contacted for inspection 24 hours prior to all inspections by completing an ACC Inspection Request form. Required inspections are:

- Installation of **erosion** control measures
- **Setbacks** prior to pouring of any concrete for either slab or foundation/forms
- Installation of **driveway** and/or apron
- **Completion** of work and occupancy of home

I have read and understand the Sudden Valley Community Association Architectural Control Policies.

Contractor Signature: saleem jaffer		Date: 04/15/2026
Company Name: BAVARO CONCRETE		License: CUSTOMCC916DK
Mailing Address: P O BOX 221, LYNDEN WA 98264		
Email Address:	Cell Phone:	Office Phone:

Bank or Loan Agency: NA			
Valuation of Structure: XXXXXX	Square Footage: 1784		
Use: (Circle)	Permanent Residence	Vacation/Weekend	Rental
Variance Request (Circle):	Yes	No	If Yes, must attach Variance Request form

The following items must be submitted at time of application:

- SVCA Construction Application and Checklist (**must be signed by property owner**).
- Application fee (per AC Policies 14.8.8).
- Copy of survey by a licensed surveyor including topography, trees, and square footage.
- Two (2) sets of construction plans (including floor plan, elevations, and finished grade).
- Two (2) copies of site plan @ 1"=10' scale (see AC Policies Appendix I for sample)
- Two (2) copies of landscaping plan @ 1"=10' scale
- Driveway cross-section, showing road edge to garage slab
- One (1) copy of specification sheet including paint chips, roof color, and lighting sample
- **Proof of insurance** (see Item 10 above)
- One (1) copy of water/sewer availability
- Property and building corners must be staked and strung
- ALL trees requested for removal must be clearly ribboned and indicated on site plan.
- Written application for variance, if any
- Refundable Completion Deposit (due during permit meeting per AC Policies section 14.8.8)



New Construction Checklist & Application Packet

I agree to construct and maintain the above described single family dwelling in accordance with the plans and specifications submitted as the same may be approved by the ACC and further agree not to allow said single family dwelling to be used as a multiple family dwelling or duplex or to be used in any way which violates the Restrictive Covenants, Rules, and Regulations or Architectural Control Committee Policies.

I hereby acknowledge that the ACC, according to the Restrictive Covenants, is in no way responsible for any defects, of whatever nature, in the plans and specifications submitted. I agree to undertake full responsibility to accurately ascertain the lot lines delineating the boundaries of my property. I understand that the ACC in approving my plans and specifications, including site plan, is in no way warranting or representing the actual location of the lot lines delineating the boundaries of my property. I also understand that an infringement onto adjoining properties due to lot clearing or excavation shall be rectified prior to the framing of the structure.

Application

Submitted by (Print) SALIM JAFFER-
OWNER _____

Circle One: Owner Contractor Other Representative

Signature of Owner(s):

_____ saleemjaffer _____

Printed Name SALIM JAFFER

of Owner: _____ Date

_____ 04152026 / ____ / ____





SPECIFICATION SHEET

Street Address: 16 VALLEY VIEW CIRCLE	Div/Lot
Owner(s)/Contractor Name(s): SALIM JAFFER	

Siding Type: CEDAR
Trim Type: WOOD
Gable Type: A
Roof Type: 30 YEAR ASPHALT SHINGLE
Lighting Type: LED
Retaining Wall Materials: RE INFORCED CONCRETE
Other Finish Materials: 4X4 POST, 8X8POST, 2X8 BEAM

Samples

SIDING/BODY COLOR	TRIM COLOR	ACCENT COLOR
BLUE	WHITE	Garage Door: Front Door: WHITE Other (Specify Locations):
ROOF COLOR	RETAINING WALL SAMPLE	LIGHTING SAMPLE



APPENDIX J

Owners' and Contractors' Checklist

Site Plan Including Landscape Details

All Plans to Include the following Information Legend

Prepared By SALEEM JAFFER
Phone Numbers 5092545737
Owners' Name(s) SALIM JAFFER
Site Address Including Tax Parcel and Division & Lot 16 VALLEY VIEW CIRCLE, BELLINGHAM. WA
Lot Area SF
House Footprint SF 1784
Vertical Height
Living Area SF 1784
Garage Area(s) SF
Total Impervious Surface
Driveway and Walkway SF
Driveway Slope %
Deck(s) SF
Open Space %
Defined Setbacks
Elevation Landmarks
Colors for House, Trim, Accent, Garage Door, Roof, Lights
Detailed Landscape Plan to Include Tree Removal / Replanting
Whatcom County Planning Review



16 VALLEY VIEW
CIRCLE FOUNDATION
REPAIR

16 VALLEY VIEW
CIRCLE
BELLINGHAM, WA 98229

PERMIT SET

REV	DATE	DESCRIPTION

REV	DATE	DESCRIPTION

© COFFMAN ENGINEERS INC.

SHEET TITLE:
**MAIN FLOOR
FRAMING PLAN**

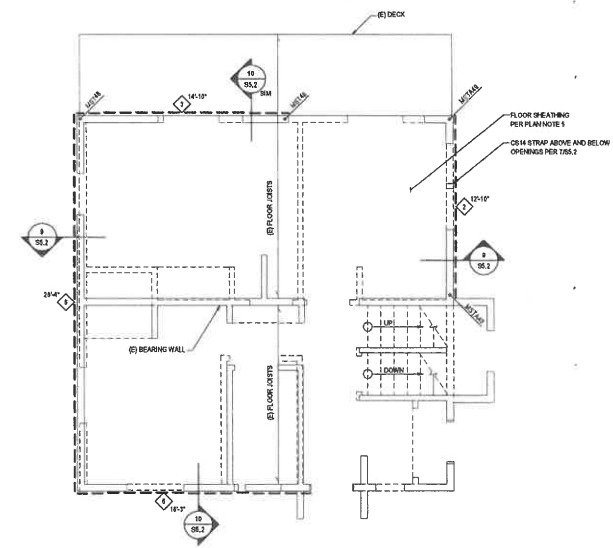
SHEET NO.:

S2.3

SHEET 2 OF 11

- PLAN NOTES:**
- CONTRACTOR TO CONFIRM EXISTING FRAMING MATCHES FRAMING SHOWN ON THIS PLAN.
 - ALL FRAMING SHALL HAVE CONTINUOUS DOUBLE TOP PLATE THAT IS SPLICED PER 805.1 WHERE REQUIRED.
 - SHEAR WALL TYPE AND EXTENTS ARE AS SHOWN ON PLAN (SEE LEGEND). CONTRACTOR SHALL INSTALL PLYWOOD PER 1905.1 ON SIDE OF WALL INDICATED BY MARK ON PLAN (CON).
 - PROVIDE SHEATHING ON ALL EXTERIOR WALL SURFACES (EVEN THOSE NOT INDICATED AS SHEAR WALLS). SHEATHING SHALL BE 1/2" PLYWOOD OR OSB WITH NAILS @ 8" OC @ EDGES AND 12" OC (FIELD).
 - CONTRACTOR TO VERIFY FLOOR SYSTEM CONSISTS OF 7/8" X 6" G SHEATHING (PANEL SPACING 48" O.C.), NAIL SHEATHING WITH 16# NAILS @ 8" OC (EDGES) AND 12" OC (FIELD).

- LEGEND**
- SPAN DIRECTION OF FRAMING MEMBERS
 - (S) STRUCTURAL WALL ABOVE
 - - - (S) STRUCTURAL WALL BELOW
 - ⊠ X LINEAR FEET OF TYPE Y SHEAR WALL, SEE 1905.1

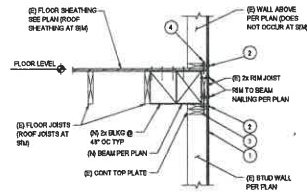


Item 9
Pg 9 of 14

1 MAIN FLOOR FRAMING PLAN
1/8" = 1'-0"

P:\PROJECTS\2023\16 VALLEY VIEW CIRCLE FOUNDATION REPAIR\DWG\2023\16 VALLEY VIEW CIRCLE FOUNDATION REPAIR - MAIN FLOOR FRAMING PLAN.dwg

PROJECT: 16 VALLEY VIEW CIRCLE FOUNDATION REPAIR & FINISHES (SHEET 14 OF 14) - 16 VALLEY VIEW CIRCLE FOUNDATION REPAIR & FINISHES (SHEET 14 OF 14) - 16 VALLEY VIEW CIRCLE FOUNDATION REPAIR & FINISHES (SHEET 14 OF 14)



NOTE:
SEE 1805.1 FOR BEAM WALL SCHEDULE & HARDWARE.
9 FLOOR JOISTS PARALLEL
 36"x12"

Item 9
Pg 14 of 14

COFFMAN ENGINEERS
 135 W. Fairhaven Ave
 Suite 102
 Burlington, WA 98233
 ph 360.707.5656
 www.coffman.com



**16 VALLEY VIEW
 CIRCLE FOUNDATION
 REPAIR**

**16 VALLEY VIEW
 CIRCLE
 BELLINGHAM, WA 98229**

PERMIT SET

REV	DATE	DESCRIPTION

REV	DATE	DESCRIPTION

© COFFMAN ENGINEERS INC.

SHEET TITLE:
**SECTIONS AND
 DETAILS**

SHEET NO:

S5.3

SHEET 11 OF 11



RECEIVED

MAY 13 2026

APPLICATION FOR NEW CONSTRUCTION

Item 10
Pg 1 of 14
G2

Circle Type:	<input checked="" type="radio"/> Home Construction	<input type="radio"/> Remodel	<input type="radio"/> Addition	<input type="radio"/> Other (Describe):
Street Address:	9 Marigold dr			Div/Lot
Owner(s) Name(s):	Eduard Bak			
Mailing Address:	2467 Angelina st Ferndale WA 98248			
Email Address:	XXXXXXXXXX	Cell Phone:	XXXXXXXXXX	Work Phone:

CONTRACTOR: AC Inspector MUST BE contacted for inspection 24 hours prior to all inspections by completing an ACC Inspection Request form. Required inspections are:

- Installation of erosion control measures
- Setbacks prior to pouring of any concrete for either slab or foundation/forms
- Installation of driveway and/or apron
- Completion of work and occupancy of home

I have read and understand the Sudden Valley Community Association Architectural Control Policies.

Contractor Signature:	B. E. A. J.	Date:	05-04-26
Company Name:	Great Homes Construction LLC	License:	603-549-992
Mailing Address:	2467 Angelina st Ferndale WA 98248		
Email Address:	XXXXXXXXXX	Cell Phone:	XXXXXXXXXX
		Office Phone:	

Bank or Loan Agency:			
Valuation of Structure: \$	Square Footage:		
Use: (Circle)	<input checked="" type="radio"/> Permanent Residence	<input type="radio"/> Vacation/Weekend	<input type="radio"/> Rental
Variance Request (Circle):	<input checked="" type="radio"/> Yes	<input type="radio"/> No	If Yes, must attach Variance Request form

The following items must be submitted at time of application:

- SVCA Construction Application and Checklist (must be signed by property owner).
- Application fee (per AC Policies 14.8.8).
- Copy of survey by a licensed surveyor including topography, trees, and square footage.
- Two (2) sets of construction plans (including floor plan, elevations, and finished grade).
- Two (2) copies of site plan @ 1"=10' scale (see AC Policies Appendix I for sample)
- Two (2) copies of landscaping plan @ 1"=10' scale
- Driveway cross-section, showing road edge to garage slab
- One (1) copy of specification sheet including paint chips, roof color, and lighting sample
- Proof of insurance (see Item 10 above)
- One (1) copy of water/sewer availability
- Property and building corners must be staked and strung
- ALL trees requested for removal must be clearly ribboned and indicated on site plan.
- Written application for variance, if any
- Refundable Completion Deposit (due during permit meeting per AC Policies section 14.8.8)



I agree to construct and maintain the above described single family dwelling in accordance with the plans and specifications submitted as the same may be approved by the ACC and further agree not to allow said single family dwelling to be used as a multiple family dwelling or duplex or to be used in any way which violates the Restrictive Covenants, Rules, and Regulations or Architectural Control Committee Policies.

I hereby acknowledge that the ACC, according to the Restrictive Covenants, is in no way responsible for any defects, of whatever nature, in the plans and specifications submitted. I agree to undertake full responsibility to accurately ascertain the lot lines delineating the boundaries of my property. I understand that the ACC in approving my plans and specifications, including site plan, is in no way warranting or representing the actual location of the lot lines delineating the boundaries of my property. I also understand that an infringement onto adjoining properties due to lot clearing or excavation shall be rectified prior to the framing of the structure.

Application Submitted by (Print): Eduard Bak
Circle One: Owner Contractor Other Representative

Signature of Owner(s): B. Eduard

Printed Name of Owner: Eduard Bak Date 05/04/26

ACC Inspector Report 9 Marigold Dr

Item 10
Pg 3 of 14

Lot size: 6,603 sf

Property coverage: 40%

Open Space: 50%

Front setback: 20'

Rear setback: 34'

Side setback: 5'

Side setback: 20' 4"

Driveway grade: 11.18%

Height: 10' 9"

Definition 2

ACC Inspector Notes

5% over property coverage maximum. Variance filed.

No engineering provided for rear retaining walls. Retaining walls are within the setbacks.



SPECIFICATION SHEET

Item 10
Pg 4 of 14

Street Address: <u>a marigold dr, Bellingham</u>	Div/Lot
Owner(s)/Contractor Name(s): <u>Eduard Bak</u>	

Siding Type: <u>Fiber cement lap/wood</u>
Trim Type: <u>Fiber cement</u>
Gable Type:
Roof Type: <u>Mono-pitched, metal</u>
Lighting Type: <u>Wall scones and can lights, pointing down</u>
Retaining Wall Materials: <u>Concrete/blocks</u>
Other Finish Materials: <u>Stone veneer, wood siding</u>

Samples

SIDING/BODY COLOR	TRIM COLOR	ACCENT COLOR
<u>Warm Gray Lap siding</u>	<u>Black</u>	Garage Door: <u>Black or Wood looking panel</u> Front Door: <u>Black or Wood natural finish color</u> Other (Specify Locations): <u>cedar accent panel</u> <u>light stone.</u> <u>cedar soffits</u>
ROOF COLOR	RETAINING WALL SAMPLE	LIGHTING SAMPLE
<u>Black</u>	<u>Pewter concrete Retaining Wall Black</u>	<u>Soffit lights</u> <u>Black trim</u> <u>ON Both sides of</u> <u>garage door black</u> <u>lights facing down</u>



APPENDIX J

Owners' and Contractors' Checklist

Site Plan Including Landscape Details

All Plans to Include the following Information Legend

Prepared By	BLUEPRINT DESIGN CONSULTANTS
Phone Numbers	503-703-3442
Owners' Name(s)	ED & IRINA BAK
Site Address Including	9 MARIGOLD DRIVE
Tax Parcel and Division & Lot	S.V. DIV 7, LOT 61 - 370408 383424

Lot Area SF	6628
House Footprint SF	2,223
Vertical Height	
Living Area SF	1,991
Garage Area(s) SF	496
Total Impervious Surface	2,660 s.f.
Driveway and Walkway SF	535
Driveway Slope %	0.0%
Deck(s) SF	0
Open Space %	60 %
Defined Setbacks	20' front, 5' sides & rear
Elevation Landmarks	10' from back of house using existing grade
Colors for House, Trim, Accent, Garage Door, Roof, Lights	
Detailed Landscape Plan to Include Tree Removal / Replanting	
Whatcom County Planning Review	

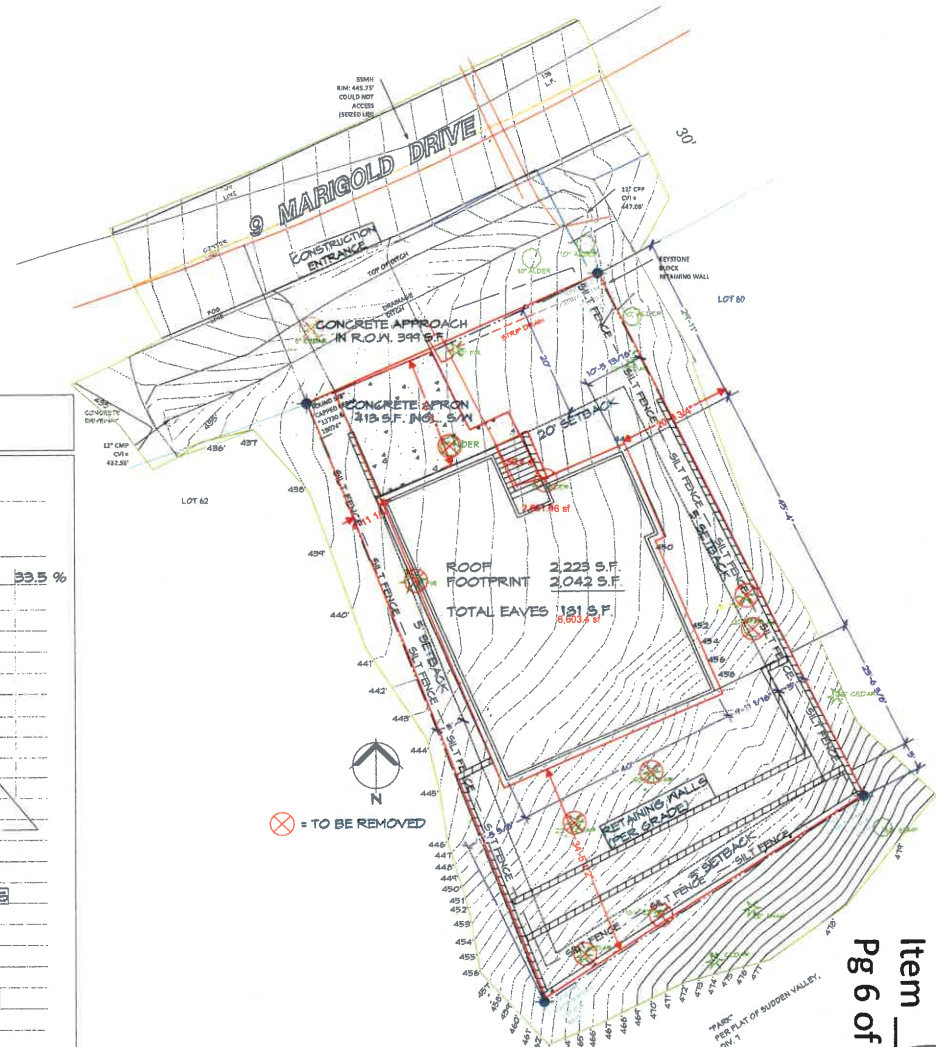


APPENDIX J
Owners' and Contractors' Checklist

Site Plan Including Landscape Details
All Plans to Include the following Information Legend

Prepared By	BLUEPRINT DESIGN CONSULTANTS
Phone Numbers	503-703-3442
Owners' Name(s)	ED & IRINA BAK
Site Address Including	9 MARIGOLD DRIVE
Text Parcel and Division & Lot	S.V. DIV 7, LOT 61 - 370408 383424
Lot Area SF	6628
House Footprint SF	2,223
Vertical Height	
Living Area SF	1,991
Garage Area(s) SF	496
Total Impervious Surface	2,860 s.f.
Driveway and Walkway SF	535
Driveway Slope %	0.0%
Deck(s) SF	0
Open Space %	60 %
Defined Setbacks	20' front, 5' sides & rear
Elevation Landmarks	10' from back of house using existing grade
Colors for House, Trim, Accent, Garage Door, Roof, Lights	
Detailed Landscape Plan to Include	
Tree Removal / Replanting	
Whatcom County Planning Review	

SITE ANALYSIS			
SUDDEN VALLEY DIV 7, LOT 61 9 MARIGOLD DRIVE			
370408 383424			
LOT SIZE	6,628 + S.F.		
BUILDING COVER	2,223 S.F.	33.5 %	
S.F. RESIDENCE	2,021 S.F.		
GARAGE	496 S.F.		
COV. PORCH	15 S.F.		
TOTAL EAVES	181 S.F.		
HARD SURFACES	391 S.F.		
CONC. APRON	391 S.F.		
INCL. STEPS			
DRIVENWAY IN R.O.W.	413 S.F.		
BEING MITIGATED BY STORM ENGINEER			
EXCAVATION			
FOUNDATION	17 YARDS	333 YARDS	
1300 x 6"			
FLATWORK	36 YARDS		
470 x 1"			
CLEAN FILL		90 YARDS	
FOOTINGS	50 YARDS		
FLATWORK	40 YARDS		
TOTAL YARDS	423 YARDS		



SITE PLAN
SCALE: 1" = 10'

PARCEL # 3704083834240000
9 MARIGOLD DR. SUDDEN VALLEY

Item 10
Pg 6 of 14



Prepared by: JOHN ANDERSON
A.S.D. - C.P.B.S. - M.P.A.
DESIGN PROFESSIONAL COUNCIL
5780 WILLOW SPRINGS WAY
BEOV, WA 98148-0001 OR 206-815-2350

ED & IRINA BAK
9 MARIGOLD DR.
BELLINGHAM, WA 98229

SITE PLAN



DATE: MAR 26, 2024
REVISED: APR 20, 2024
MAY 9, 2024
MAY 15, 2024

A-1

GENERAL NOTES:

BLUEPRINT DESIGN CONSULTANTS HEREBY ISSUES AN EXCLUSIVE LICENSE TO PURCHASER, TO CONSTRUCT ONE HOME ONLY ON ONE LOT FROM THESE PLANS. THESE PLANS IN ANY FORM CANNOT BE REPRODUCED OR COPIED WITHOUT WRITTEN APPROVAL FROM BLUEPRINT DESIGN CONSULTANTS.

THIS DRAWING PROVIDES CONSTRUCTION DETAILS FOR A NEW HOME AT 4 MARIGOLD DRIVE, SUDDEN VALLEY, WA FOR ED AND IRENE BAK. THIS DRAWING HAS BEEN PREPARED UNDER THE IRC 2021 CODES BY BLUEPRINT DESIGN CONSULTANTS AND NO STRUCTURAL MODIFICATIONS ARE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL OF BLUEPRINT DESIGN CONSULTANTS.

CONTRACTOR TO VERIFY ALL BUILDING AND LOT DIMENSIONS, AND NOTIFY THE DESIGNER OF ANY DISCREPANCIES, DIMENSIONAL ERRORS AND OMISSIONS PRIOR TO COMMENCING WITH WORK.

CONTRACTOR TO VERIFY ALL STRUCTURAL DETAILS, BUILDING CODES AND GRADE REQUIREMENTS.

HOMEOWNER WILL TAKE NECESSARY PRECAUTIONS TO REMOVE OR RELOCATE ITEMS OF VALUE TO BE SAVED AND/OR REUSED OR IN ANY DANGER OF BEING DAMAGED DURING CONSTRUCTION.

TO THE BEST OF OUR KNOWLEDGE THESE DRAWINGS COMPLY WITH THE SPECIFICATIONS OF THE OWNER AND/OR BUILDER, AND ANY CHANGES MADE TO THEM AFTER THEIR COMPLETION ARE THE RESPONSIBILITY OF THE OWNER AND/OR BUILDER.

FOUNDATION NOTES:

1. REINFORCING STEEL TO HAVE MINIMUM 2" COVERAGE - 5" COVERAGE IN FOOTINGS
2. ALL EDGES OF WELDED WIRE FABRIC AND REBAR TO HAVE MINIMUM 1" OVERLAP.
3. ALL CONCRETE SHALL DEVELOPE A MINIMUM COMPRESSIVE STRENGTH OF 2500 P.S.I.
4. ALL REINFORCING STEEL TO BE DEFORMED STEEL BARS CONFORMING TO ASTM A615 GRADE 40. ALL WELDED WIRE FABRIC TO CONFORM TO ASTM A185.

MECHANICAL SPECIFICATIONS:

1. CLOTHES DRYER LOCATED IN AN AREA THAT IS HABITABLE OR CONTAINING OTHER FUEL BURNING APPLIANCE SHALL BE VENTED TO EXTERIOR OF STRUCTURE. THE EXHAUST DUCT LENGTH IS LIMITED TO LENGTH SET FOR IN IRC SECTION M1501.
2. ELEMENTS OF APPLIANCES WHICH CREATE A FLAME OR SPARK SHALL BE LOCATED A MINIMUM OF 18" ABOVE THE GARAGE FLOOR. (M 1307.3)
3. EXHAUST DUCTS TO BE CONSTRUCTED OF SMOOTH-WALL METAL, 0.18 IN. APPROVED FLEX CONNECTORS NOT EXCEEDING 0 FT IN LENGTH MAY BE USED IN CONNECTION WITH DOMESTIC DRYER EXHAUST. (M1501.1) M1502.3.1 DRYER DUCT TERMINATION - A MINIMUM OF 12.5 SQ. INCHES FOR TERMINATION OUTLET OF DRYER DUCT REQUIRED.
4. HOT WATER TANKS HAVING FLEXIBLE PIPE CONNECTIONS AND OVER FOUR FEET TALL SHALL BE STRAPPED BOTH TOP AND BOTTOM WITH APPROVED SEISMIC STRAPS.

PLUMBING SPECIFICATIONS:

1. PRESSURE RELEASE VALVE FOR HOT WATER TANK TO DRAIN TO EXTERIOR OF BUILDING WITH DRAIN END NOT MORE THAN TWO FEET NOR LESS THAN 6" ABOVE THE GROUND, POINTING DOWN. (SPC 10076)
2. PROVIDE AN AIR GAP FOR THE DISHWASHER IF PROVIDED (SPC 6026)
3. PROVIDE APPROVED BACK FLOW PREVENTION DEVICE AT ALL HOSE BIBS. (SPC 1107)
4. EACH HORIZONTAL DRAINAGE PIPE SHALL BE PROVIDED WITH A CLEANOUT AT ITS UPPER TERMINAL. (SPC 4066)

CONSTRUCTION SPECIFICATIONS:

1. GENERAL NOTES:

- A. SEISMIC ZONE D1
- B. WIND EXPOSURE AND SPEED 65 M.P.H. 9 SEC. SUST. EXP. C
- C. SNOW LOAD TO BE 25 P.S.F.
- D. FLOOR LIVE LOAD TO BE 40 P.S.F.
- E. DECK LIVE LOAD TO BE 60 P.S.F.
- F. SOIL BEARING PRESSURE TO BE 1500 P.S.F.
- G. FROST DEPTH TO BE MIN. 18" BELOW FINISH GRADE
- H. ALL GLASS N DOORS, SHELFRIGHTS AND BATHROOMS TO BE TEMPERED GLASS PER IRC R303.1
- I. ALL SIMPSON ANCHORS MAY BE REPLACED BY APPROVED EQUALS.
- J. ROOF VENTILATION TO BE 1/80 OF TOTAL ATTIC AREA.

2. FRAMING NOTES:

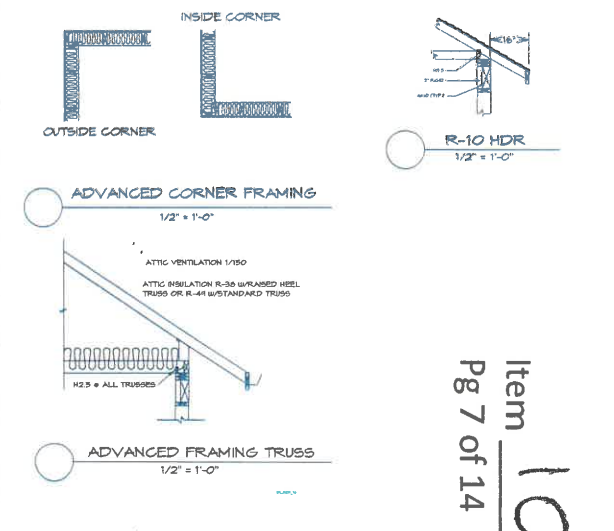
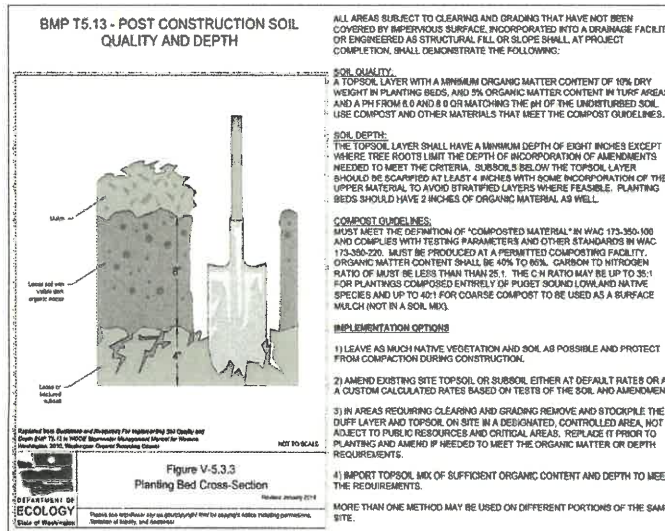
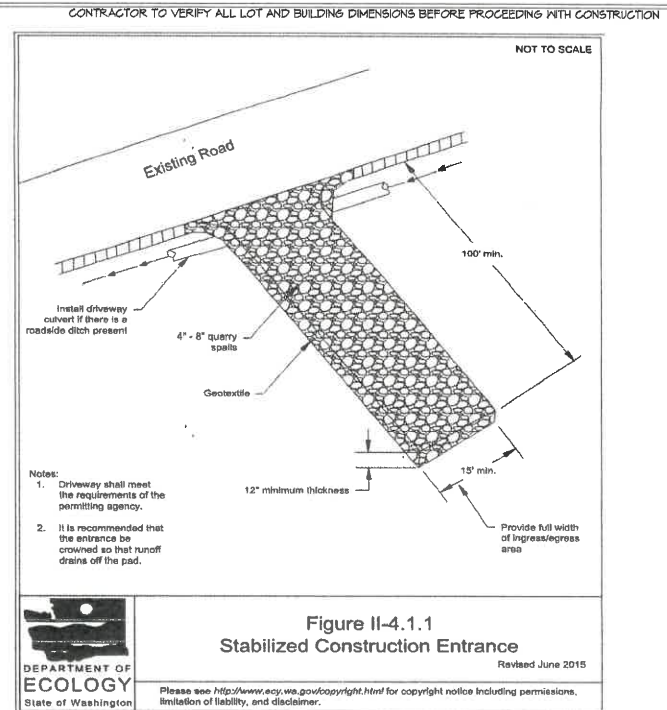
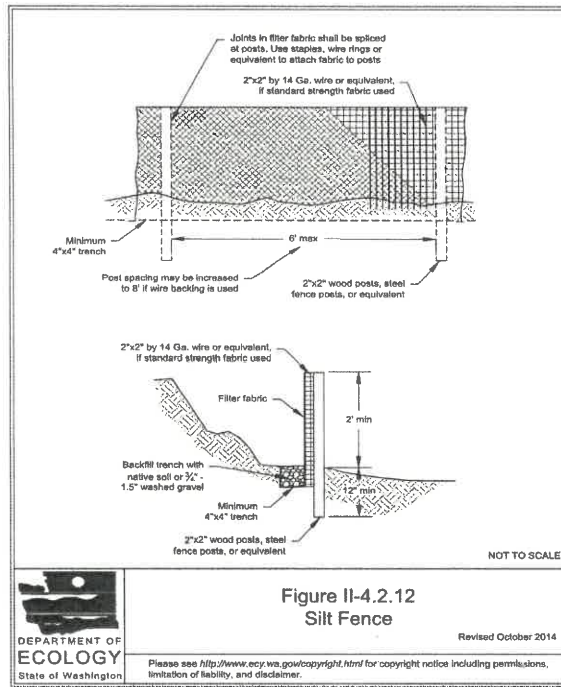
- A. FLOOR: TO BE FRAMED IN ACCORDANCE W/SPECIFICATIONS OF DRAWINGS.
 - ALLOWABLE FLOOR LOADS ARE AS SET FORTH IN IRC R301.4 & R301.5
 - ALL STRUCTURAL MEMBERS OF FLOOR ARE TO BE PROPERLY FIT AND FASTENED IN ACCORDANCE IRC.
- B. WALLS: EXTERIOR WOOD FRAMED WALLS TO BE 2" x 6" @ 16" O.C., HEIGHT TO BE AS SET FORTH IN SECTIONS.
 - ALL EXTERIOR WALLS TO BE SHEATHED W/ 1/2" STRUCTURAL PLYWOOD OR 7/16" OSB AND INCLUDE "INSULTEK" R-5 HOUSEWRAP, OR BE SHEATHED WITH R-6 2" BOARD.
 - ALL WINDOW/DOOR HEADERS AND BEARING WALL BEAMS TO BE 4" x 10" UNLESS OTHERWISE NOTED.
 - INTERIOR WALLS TO BE 2" x 4" @ 16" O.C., HEIGHT TO BE AS SET FORTH IN SECTIONS
 - VEST WALLS MAY BE 2" x 6" CONSTRUCTION TO ALLOW FOR PLUMBING CLEARANCE.
- C. CONNECTIONS:
 - ALL WALL TO BEAM CONNECTIONS TO BE POSITIVE FOR UPLIFT & LATERAL SUPPORT PER IRC.
 - ALL WALLS TO BE PER IRC TABLE R602.3
 - ALL CONNECTORS ARE SPECIFIED AS SIMPSON AND MAY BE REPLACED BY APPROVED EQUALS.

3. ENERGY CODE: COMPLY WITH WASHINGTON STATE 2018 ENERGY CODE.

- A. ALL WINDOWS AND DOORS TO BE SEALED INTO WALL W/CAULKING AND WEATHERSTRIPPING.
- B. ALL FRAMING INTERSECTIONS BETWEEN CONDITIONED AND UNCONDITIONED WALLS & FOUNDATIONS TO BE CAULKED TO STOP AIR LEAKAGE.
- C. ALL PIRING, PLUMBING AND DUCTING PENETRATIONS TO BE SEALED.
- D. VENTILATION DUCTS SHALL HAVE R-4 INSULATION COVERINGS.
- E. WHOLE HOUSE VENTILATION NEVER LESS THAN 120 CFM W/ 1.0 SOME RATING.
- F. WINDOWS TO HAVE U-VALUE OF .25 OR BETTER.

4. INSULATION:

- A. ROOF/CEILING TO HAVE A MINIMUM OF R-41 BLOPP INSULATION.
- B. FLOOR TO HAVE A MINIMUM OF R-30 BATT INSULATION.
- C. WALLS TO HAVE A MINIMUM OF R-21 BATT INSULATION.
- D. W/S-S APPLICATION TO EXTERIOR OF WALL
- E. ALL EXTERIOR WALLS TO HAVE ONE OF THE FOLLOWING VAPOR BARRIERS:
 - TYVEK HOUSE WRAP
 - TYVEK HOUSE WRAP
 - 15# FELT PAPER
 - "INSULTEK" R-6 HOUSEWRAP



Item 10
Pg 7 of 14

BLUEPRINT
DESIGN CONSULTANTS
1000 1st Ave. S.E.
Bellingham, WA 98221
PH: 360-835-1111
FAX: 360-835-1112

DESIGNED BY: JOHN ANDERSON
A.S.D. - C.P.A.D. - M.B.A.
DESIGN PROFESSIONAL CONSULTANT
1000 1st Ave. S.E.
Bellingham, WA 98221
PH: 360-835-1111
FAX: 360-835-1112

ED & IRENE BAK
9 MARIGOLD DR.
BELLINGHAM, WA 98221

GENERAL NOTES
SNAPP DETAILS

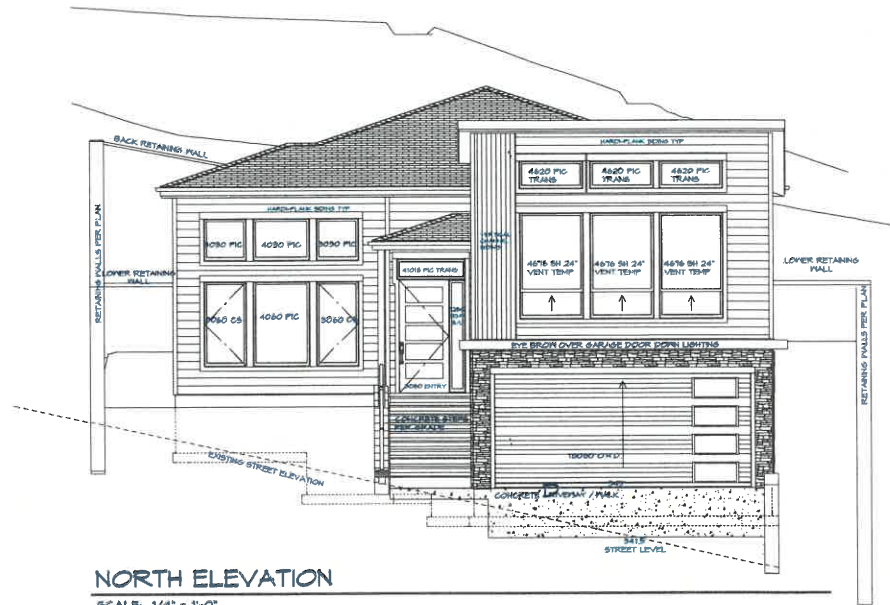
MAINTENANCE
AI
BD
SCHOOL OF ENTREPRENEURSHIP
AND DESIGN

N.C.B.C.D.
NATIONAL CONFERENCE OF BUILDING CONTRACTORS

DATE: MAR 26, 2026
REVISED: APR 20, 2026
MAY 8, 2026
MAY 19, 2026

A-3

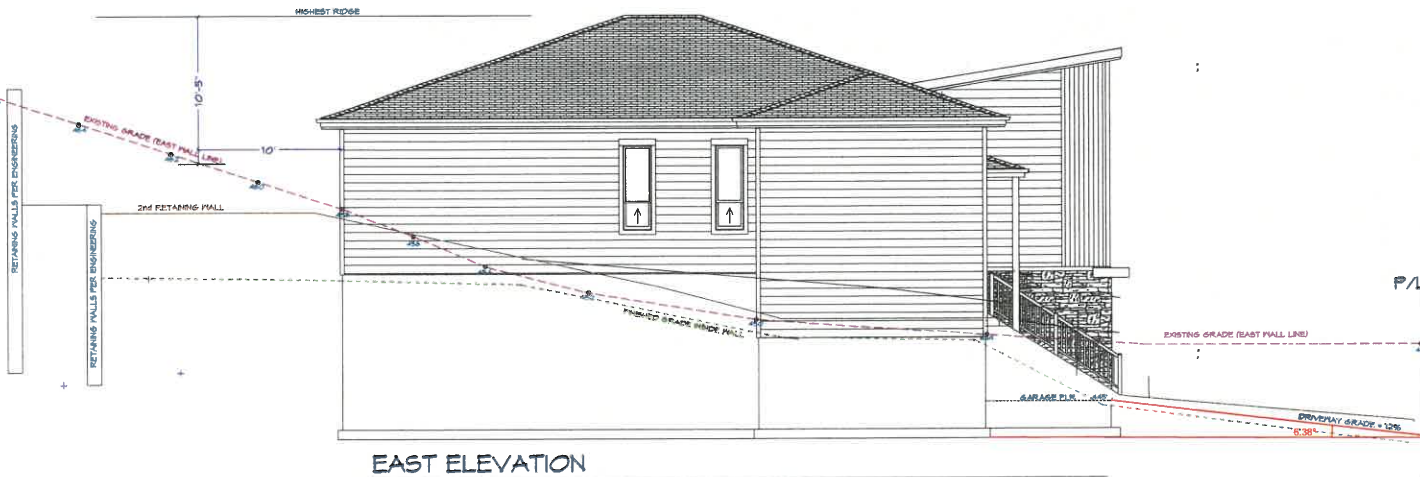
CONTRACTOR TO VERIFY ALL LOT AND BUILDING DIMENSIONS BEFORE PROCEEDING WITH CONSTRUCTION



NORTH ELEVATION

SCALE: 1/4" = 1'-0"

P/L



EAST ELEVATION

SCALE: 1/4" = 1'-0"

Item **10**
Pg 8 of 14

BLUEPRINT
DESIGN CONSULTANTS
www.blueprintgreen.com

Member of
JOHN ANDERSON
AIA, LEED, CFP, P. - USA
DESIGN PROFESSIONAL COUNCIL
5750 MILLCREEK SPRINGS WAY
DURHAM, NC 27706
(919) 733-7026 OR 919-325-9250

ED & IRENE BAK
& **MARGOLD DR.**
BELLINGHAM, WA 98224

ELEVATIONS

MEMBER
A.I.B.D.
N.C.B.D.C.
NATIONAL CONFERENCE OF BUILDING DESIGNERS

DATE
MAR 26, 2026
REVISED
APR 20, 2026
MAY 3, 2026
MAY 15, 2026

A-5

CONTRACTOR TO VERIFY ALL LOT AND BUILDING DIMENSIONS BEFORE PROCEEDING WITH CONSTRUCTION

BLUEPRINT
DRAWING
DATE: 03/26/2026
PROJECT: 2026-001

JOHN ANDERSON
A.I.B.D. - C.P.E.D. - M.B.A.
DESIGN PROFESSIONAL
100 WASHINGTON ST. 4TH FL.
PERU, MA 01976
(950) 995-3226 OR 915-2590

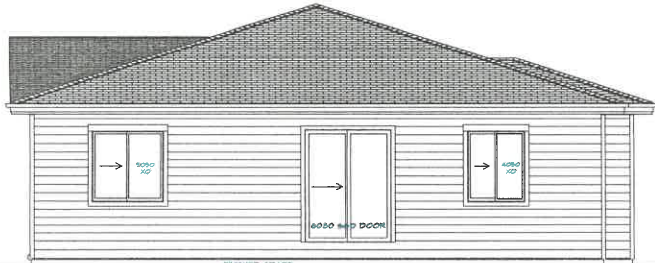
ED & IRENE BAK
9 MARIGOLD DR.
BELLINGHAM, MA 01824

ELEVATIONS

MEMBER
A I B D
ASSOCIATION OF ARCHITECTS
AND BUILDERS OF
NEW HAMPSHIRE

DATE: MAR 26, 2026
REVISED: APR 20, 2026
MAY 8, 2026
MAY 19, 2026

A-6



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

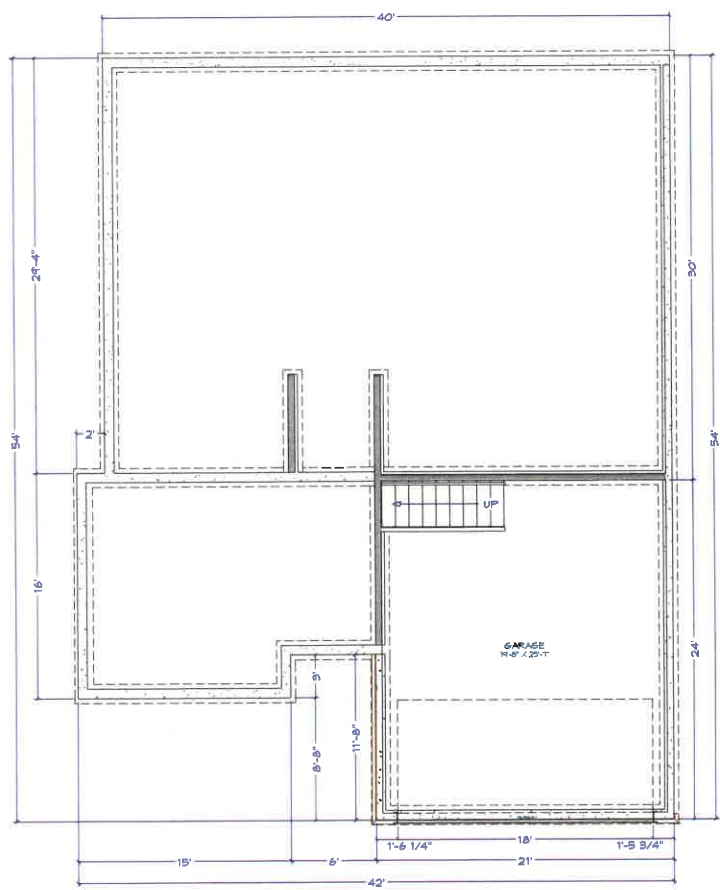


WEST ELEVATION

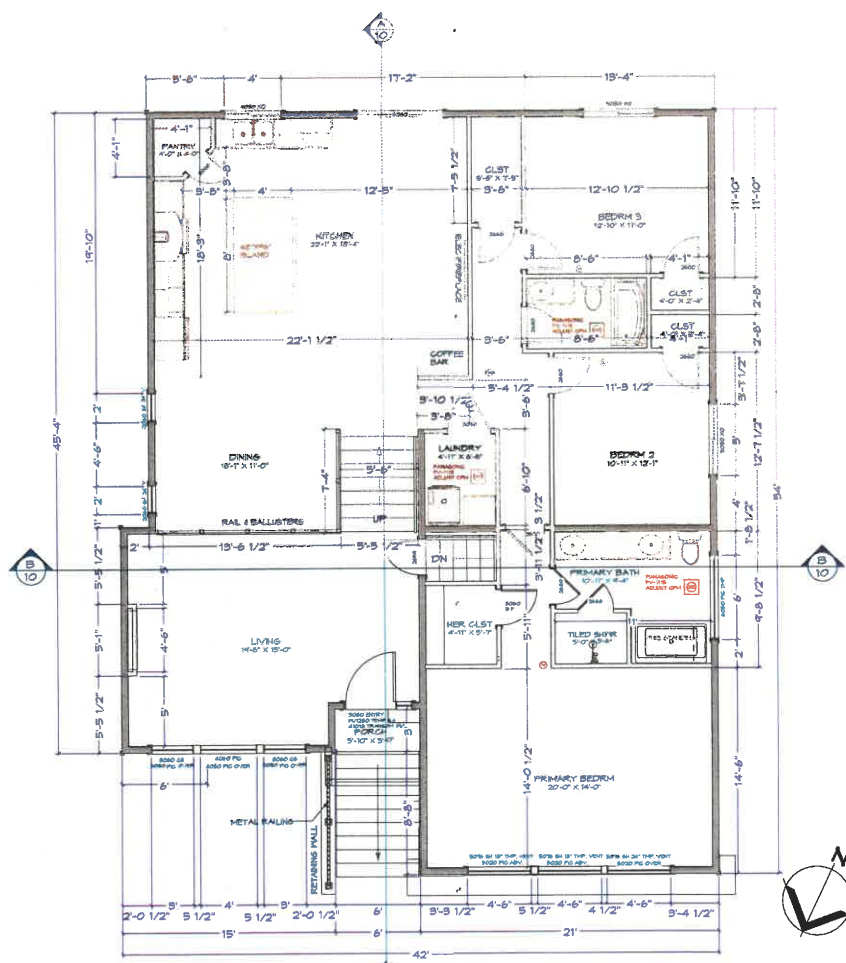
SCALE: 1/4" = 1'-0"

Item 10
Pg 9 of 14

CONTRACTOR TO VERIFY ALL LOT AND BUILDING DIMENSIONS BEFORE PROCEEDING WITH CONSTRUCTION



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

MAIN FLOOR	1,992 S.F.
GARAGE	496 S.F.
FRONT PORCH & STEPS	69 S.F.
BACK STEP	6 S.F.

Item **10**
Pg 10 of 14



JOHN ANDERSON
DESIGN CONSULTANTS
5300 WILLOW SPRINGS WAY
RESIDUAL, MA 02468
(508) 759-2260 OR 508-2390

ED & IRENE BAK
9 MARIGOLD DR.
BELLINGHAM, MA 01924

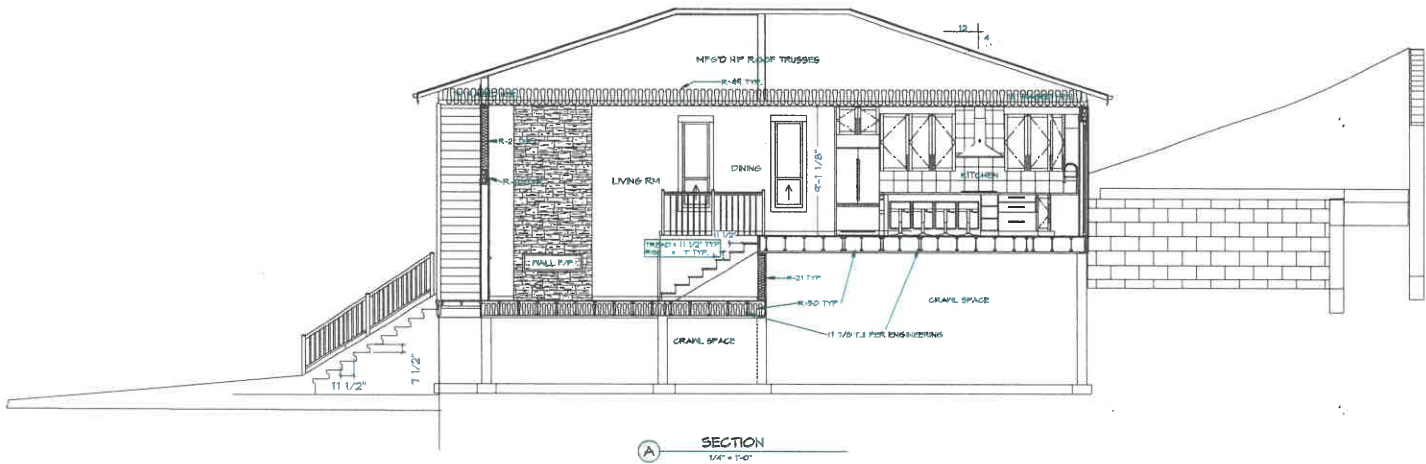
FLOORPLANS



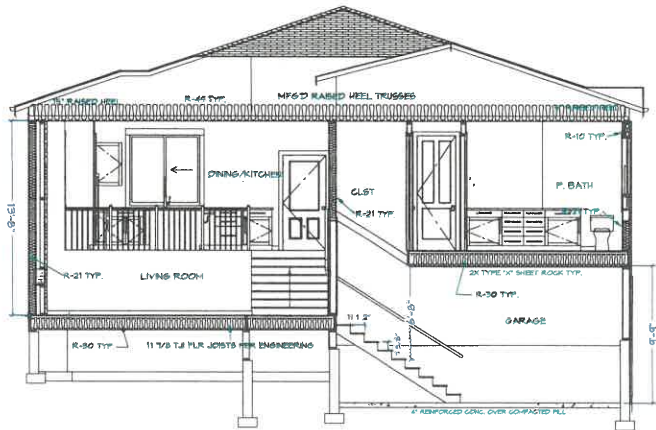
DATE: MAR 25, 2024
REVISED: APR 20, 2024
MAY 8, 2024
MAY 15, 2024

A-7

CONTRACTOR TO VERIFY ALL LOT AND BUILDING DIMENSIONS BEFORE PROCEEDING WITH CONSTRUCTION



A SECTION
SCALE: 1/4" = 1'-0"



B SECTION
SCALE: 1/4" = 1'-0"

BLUEPRINT
DESIGN CONSULTANTS
www.bcbp.com

DESIGNED BY
JOHN ANDERSON
A.I.B.D. - C.P.B.D. - M.D.A.
DESIGN PROFESSIONAL COUNCIL
5700 MILLON SPRINGS HWY
IRMO, TN 37037 OR 615-2350

ED & IRENE BAK
9 MARIGOLD DR.
BELLINGHAM, WA 98224

SECTIONS

MEMBER
**AI
BD**

N.C.B.D.C.

DATE:
MAR 26, 2024
REVISED:
APR 20, 2024
MAY 8, 2024
MAY 13, 2024

A-9

Item 10
Pg 11 of 14

SURVEYOR'S NOTES: (PER WAC 332-130-145)

1. THIS TOPOGRAPHIC SURVEY WAS PERFORMED IN MAY OF 2024. ALL BENCHMARKS DISCOVERED WERE NOTED DURING THE COURSE OF THIS SURVEY. UNLESS OTHERWISE NOTED.
2. ANGULAR AND LINEAR MEASUREMENTS WERE COLLECTED USING CONVENTIONAL FIELD SURVEY PROCEDURES WITH A 2 SECOND RODLESS TOTAL STATION.
3. PRECISION OF THIS SURVEY MEET OR EXCEED STANDARDS SET FORTH BY WAC 332-130-090.
4. THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF ACQUIRED TITLE REPERT AND DOES NOT PURPORT TO SHOW ANY OR ALL EASEMENTS THAT A CURRENT TITLE REPORT MIGHT REVEAL.
5. THE PURPOSE OF THIS TOPOGRAPHIC SURVEY IS TO PROVIDE AN EXISTING CONDITIONS MAP FOR CIVIL ENGINEERING DESIGN OR PLANNING.
6. BARS OF ELEVATION, BENCHMARK VALUES AND CONTROL POINTS ARE BASED UPON PRIMARY BENCHMARK REFERENCES IN CONTROL NOTES HEREON.
7. SOURCE OF CONTINUAL: THE CONTINUAL POINTS ARE GENERATED FROM DIRECT OBSERVATIONS IN THE FIELD AND ARE REPORTED AS SPOT ELEVATIONS.
8. ELEVATION AND/OR CONTROL ACCURACY: THIS SURVEY COMPIES WITH NATIONAL MAP ACCURACY STANDARDS.
9. SOURCE OF DETECTED UTILITY INFORMATION: CONDUCTIVE UNDERGROUND UTILITIES DETECTED HEREON WERE DETERMINED BY MEASUREMENTS OF ABOVE GROUND APPURTENANCES AND PAINT MARKS BY THE UTILITY OWNER (S) OR LOCAL UTILITY PROVIDER(S).
10. ACCURACY OF DETECTED UTILITY INFORMATION: ACTUAL LOCATION OF UNDERGROUND UTILITIES MARKS ARE CURRENT. UTILITY PIPE SIZES WERE OBSERVED FROM THE SURFACE AND IN SOME CASES CHECKED AGAINST AS-BUILT MAPS OF RECORD. ALL UTILITIES AND SIZES SHOULD BE VERIFIED BEFORE COMMENCING CONSTRUCTION. THE LOCATION OF UNDERGROUND UTILITIES REPORTED AS DISCOVERED ABOVE WAS NOT PART OF THIS SURVEY'S CONTRACTED SCOPE OF WORK.

LEGAL DESCRIPTION

(PER PLAT OF GRANT WARRANTY DEED AT No. 2024-0001030)
 LOT 61, PLAT OF SUDDEN VALLEY DIVISION No. 7, ACCORDING TO THE PLAT THEREON, AS CONTROL IN VOLUME 50 OF PLATS, PAGES 63 THROUGH 66, INCLUSIVE, RECORDS OF WASHINGTON COUNTY, WASHINGTON.
 SITUATE IN WASHINGTON COUNTY, WASHINGTON.

CONTROL NOTES:

BARS OF BENCHMARK:
 PER PLAT OF SUDDEN VALLEY DIV. 7 VOL. 10, PGS. 63-65

VERTICAL DATUM:
 NA83 US FEET

NOTE ON ELEVATION:
 ELEVATION MEASUREMENTS DERIVED

SITE BENCHMARKS:
 MARK PAVE ELEVATION 444.20'

30" BENCH MARK
 854.86' ±
 S.E. OF PVC
 CL. CHANGE 1437.23'

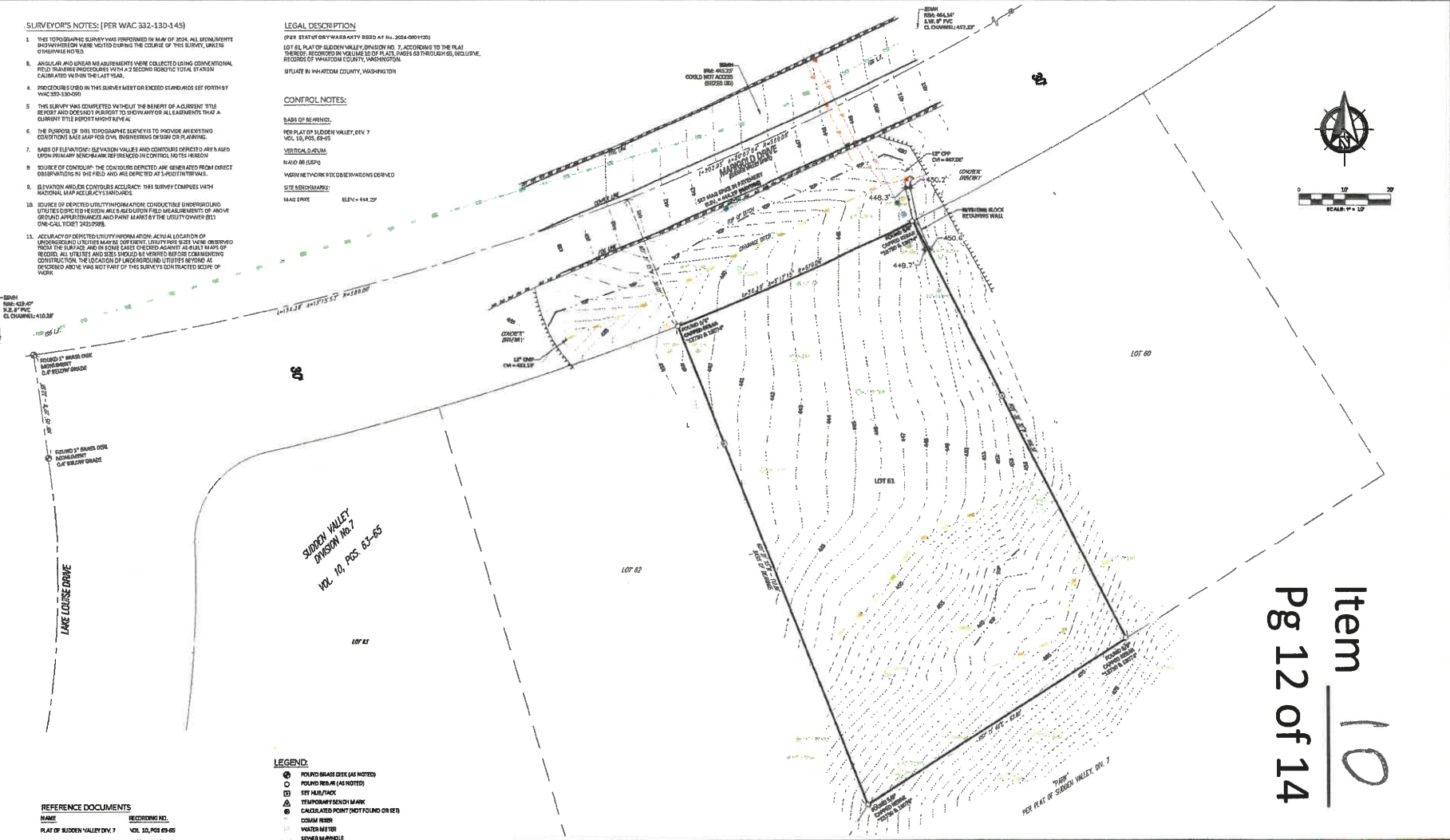
FOUND 1" BENCH MARK
 MOVEMENT
 0.1' BELOW GRADE

FOUND 1" BENCH MARK
 MOVEMENT
 0.1' BELOW GRADE

- LEGEND:**
- FOUND BENCH MARK (AS NOTED)
 - FOUND REMAIN (AS NOTED)
 - ▣ SET MARK/POCK
 - ▣ TYPICAL POINT OF MARK
 - CALCULATED POINT (NOT FOUND OR SET)
 - CONCRETE METER
 - CONCRETE METER
 - STORM DRAIN CLEANOUT
 - DRAINAGE
 - BROWNSIAN TREE
 - CONIFEROUS TREE
 - WATER LINE
 - UNDERGROUND POWER
 - SURVEY POINT
 - SPOT ELEVATION

REFERENCE DOCUMENTS

NAME	RECORDING NO.
PLAT OF SUDDEN VALLEY DIV. 7	VOL. 10, PGS. 63-65
RECORD OF SURVEY	AP No. 20078225



Item 10
 Pg 12 of 14

REVISIONS

NO.	DATE	DESCRIPTION

JEPSON & ASSOC'S
 REGISTERED PROFESSIONAL ENGINEERS AND LAND SURVEYORS
 322 GRAND AVE., SUITE C, BELLINGHAM, WA 98225
 PHONE: (360) 733-5746
 FAX: (360) 647-8929
 EMAIL: CHRIS@JEPSONSURVEYING.COM



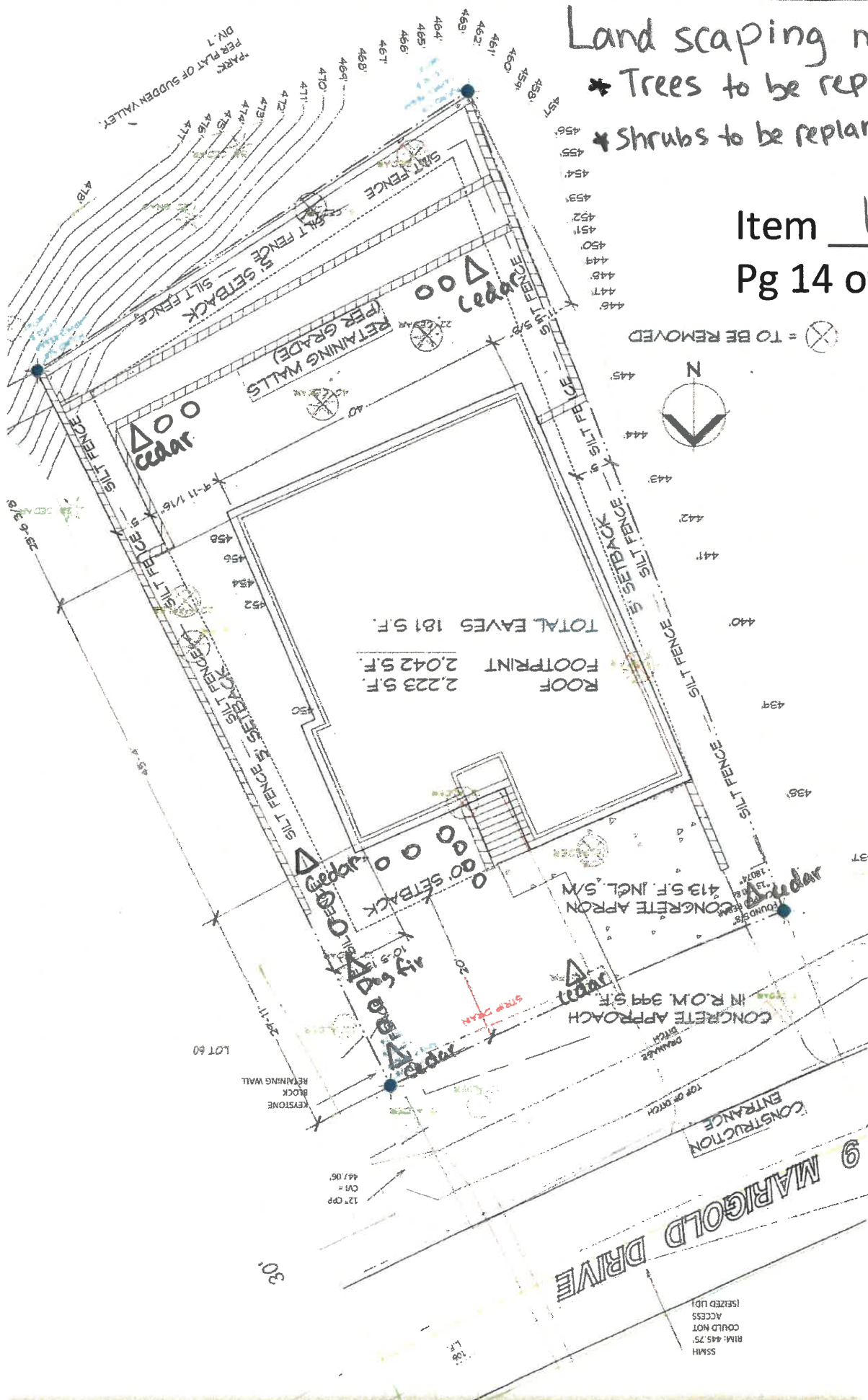
PREPARED FOR:
TOPOGRAPHIC SURVEY
 EDUARD & IRENA BAK
 9 MARIGOLD DRIVE (SUDDEN VALLEY)
 BELLINGHAM, WASHINGTON

CLIENT: BAK, EDUARD

PROJ. NO.:	24052
DATE:	05/23/2024
FIELD NO.:	204-23
DRAWN BY:	CBN
CHECKED BY:	EL
SHEET:	1 of 1

Land scaping map
 * Trees to be replanted 7
 * Shrubs to be replanted 14

Item 10
 Pg 14 of 14



⊗ = TO BE REMOVED



9 MARI GOLD DRIVE

SSMH RIM. 445.75' COULD NOT ACCESS (SEIZED UDI)

RECEIVED

MAY 13 2026

In Concept Submission

Sudden Valley Community Association
Variance Request

Item 11
Pg 1 of 1
G2

Street Address: 9 Marigold Drive Div 7 Lot 61
Owner: Eduard Bak
Mailing Address: 2467 Angelina Street Ferndale, WA 98248
Phone: ~~509 2033422~~ Email: ~~eduardbak@ferndalewa.gov~~

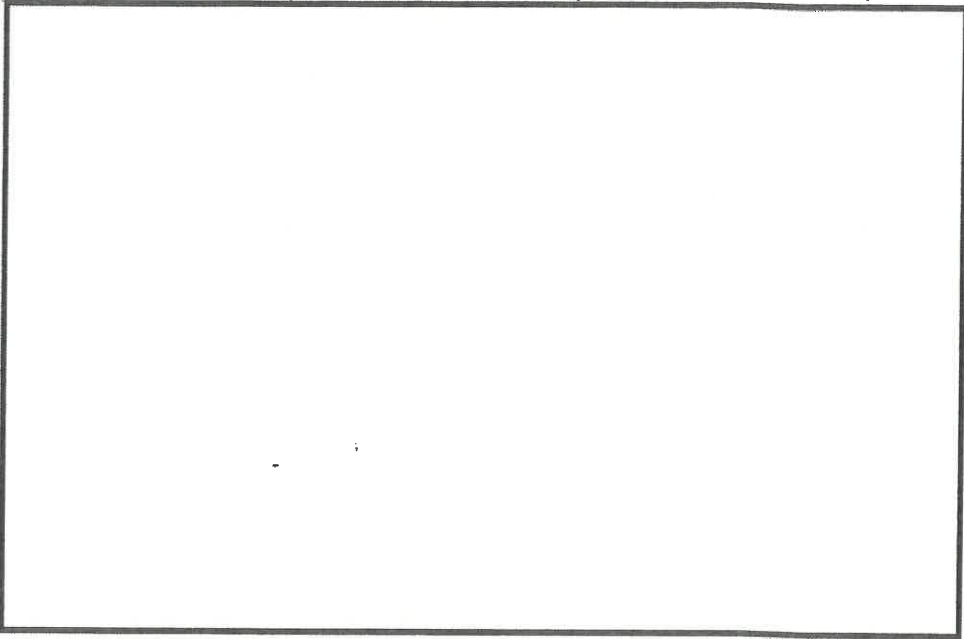
Requests will not be considered unless the street address is clearly displayed on the residence.
Please note that in the week(s) following request submittal, ACC members may visit and review property.

Requested for:

- New construction
- Existing home
- Other

The variance would affect:

- Exterior appearance
- Drainage/Erosion control
- Open space & Lot coverage
- Tree/Vegetation removal
- Setbacks to property line
- Interior living space
- Structure height



Please refer to ACC
Guideline 14.8.12 for
more information.

Give a full description of the request and need for the variance: _____

Request to exceed ACC 14.5.1(a) Property Coverage Rule. The proposed single-family residence and associated improvements are planned to exceed 35% of the lot area. The lot is relatively small (~6,628 SF) and it is necessary to exceed the 35% limit in order for the project to be financially viable. The coverage is proposed to be approximately 42% of the lot area.

The increase of coverage will not increase the risk of on or off-site drainage issues because all stormwater runoff will be captured and managed in accordance with Whatcom County Code (WCC) 20.51.420 Permanent Stormwater Management Facilities for the Lake Whatcom Watershed. The stormwater management facility will be designed by a professional engineer (LDES Inc.) and all treated stormwater will outflow into the existing stormwater ditch that fronts the property.

This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.

Owner Signature: E. Bak Date: 05-11-26

AC Staff Comments: _____

RECEIVED

MAY 05 2026

Sudden Valley Community Association
Fence Request

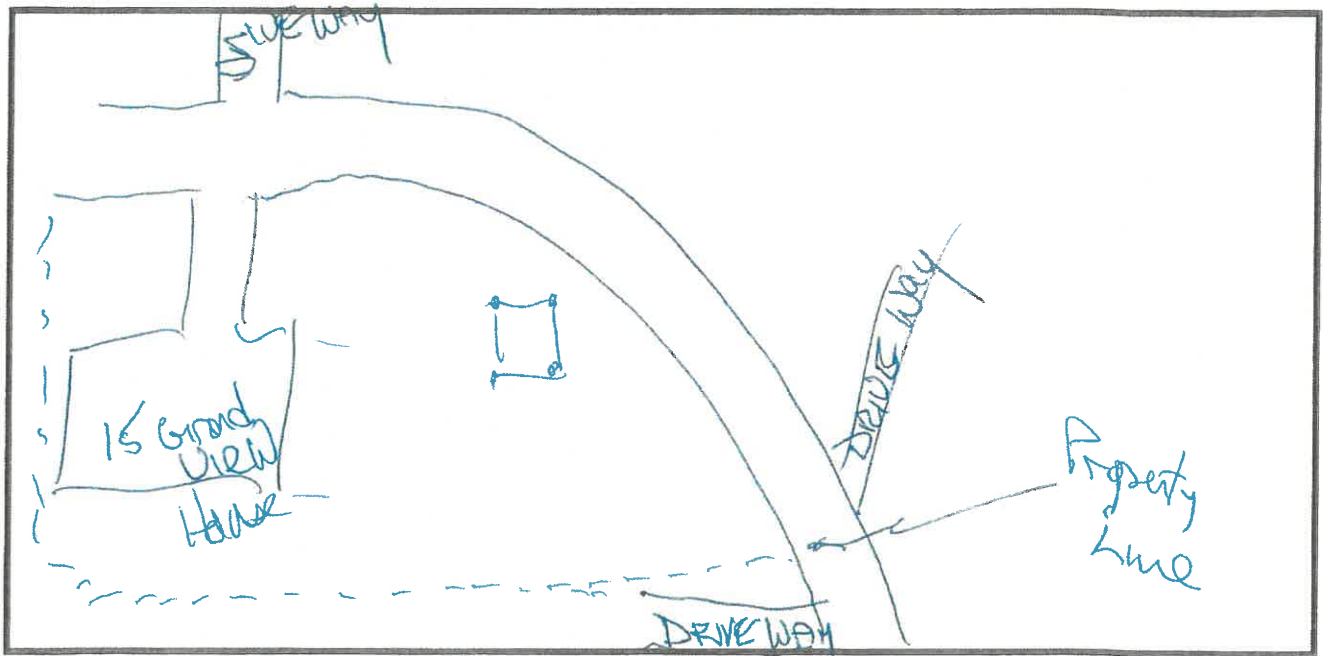
Item 12
Pg 1 of 2
G2

Street Address: 15 Grand View Lane Div 07 Lot 103
Owner: Mitch Waterman
Mailing Address: same
Phone: ~~XXXXXXXXXX~~ Email: ~~XXXXXXXXXX~~

Requests will not be considered unless the street address is clearly displayed on the residence.
Please note that in the week(s) following request submittal, ACC members may visit and review property.

Intended use: Privacy Protection Pet Enclosure
Fence type: Split Rail Wood and Wire Vegetative Hedge Other

On the diagram below, please indicate the road, property line, house, fence outline with dimensions, and any proposed vegetative screening (may attach larger sketch if needed).



Corners of the proposed fence **MUST** be staked prior to submittal.
Please refer to ACC Guideline 14.6.8 for more information.

Give a full description, additional considerations, and attach additional information if needed:
Fence is constructed w/ hog wire & wood. Elevated in sight from street. It surrounds a raised garden bed. Fence is only partially in view of street.

This request form in no way constitutes an approval from ACC. You **MUST** receive written approval before commencing any alterations.

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: [Signature] Date: 5/5/26

AC Staff Comments: Fence is inside a fenced yard.



RECEIVED

MAY 12 2026

Sudden Valley Community Association

Item 13
Pg 1 of 7
G3

Tree/Vegetation Trimming and/or Removal Request

Street Address: 2 HAWKS HILL PL BELLINGHAM Div 02 Lot 138
Owner: AMY TROY O'BRIEN
Mailing Address: 2 HAWKS HILL PL
Phone: ~~XXXXXXXXXX~~ Email: ~~XXXXXXXXXX~~

All trees must be clearly flagged (no spray paint) before applying.

Requests will *not be considered if flagging is missing* OR if street address isn't clearly displayed on residence.

IMPORTANT NOTE: Within an individual's clearly distinguished property boundaries, routine maintenance can be performed and is encouraged **without** ACC permission. This includes the pruning of **dead branches** and those branches that are **6" or less in diameter**. Removal of those branches **may not exceed 30%** of the foliage density of an individual specimen. Small trees, branches and vegetation **10" or less in diameter and within 10' of a residential structure** may be removed without ACC approval.

**** Per Whatcom County Canopy Retention Regulation effective October 22, 2016 any significant tree being removed in Lake Whatcom Watershed requires county permit. Significant is defined as evergreen trees 12" in diameter or greater and deciduous 8" in diameter or greater. Any limbing 25% and under does not require a county permit. If a county permit is required for you proposed tree removal/ limbing request, please attach your approved county permit to this application. ****

____ Number of trees/shrubs
1 # Removal ____ # Limbing

On the diagram below, please indicate the location of the road, property line, house, and each tree (numbered individually).

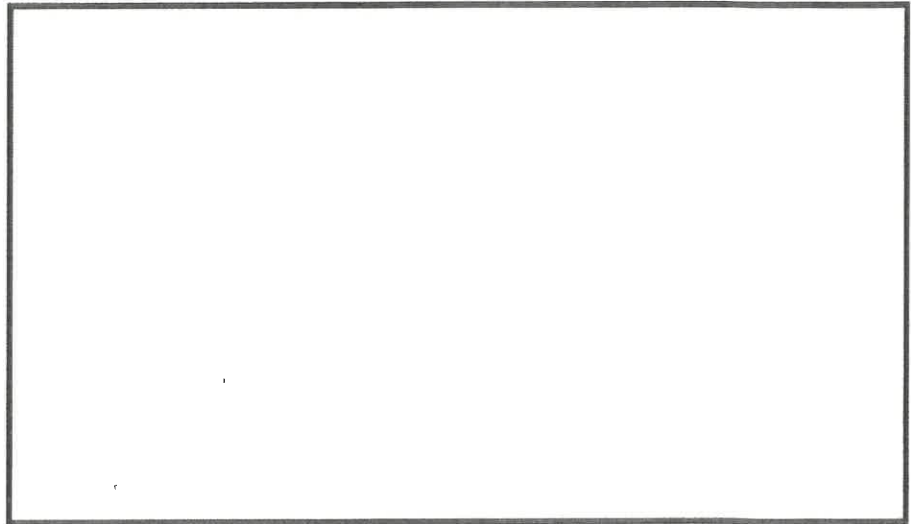
Type:
____ Fir 1 Cedar ____ Hemlock
____ Alder ____ Maple ____ Other

- Check any that apply:**
- 1 Property or personal danger
 - 1 Dead/Diseased
 - ____ Leaning
 - 1 Roots exposed
 - 1 On a slope
 - ____ Creation/maintenance of view

____ Replanting trees/shrubs

____ Located on SVCA property

____ Located on neighbor's property - *For trees that are not on the applicant's property, written permission from the owner is required prior to submittal.*



Please refer to ACC Guideline 14.10 for more information. Please email to: office@suddenvalley.com

Give a full description, the reason for the requested action and diameter on each tree, and attach any additional information if needed:

The tree is hollow & dead. It is 40 inches in diameter. A cavity was found on the NW side of the tree.

This request form in no way constitutes an approval from the ACC or Whatcom County. You MUST receive written approval and an SVCA permit before commencing any work.

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: Amy O'Brien

Date: 5/12/26



Certified Arborist Report

Prepared by John Deacon

International Society Of Arboriculture Certified Arborist

PN 8708A

TRAQ Certified



Tree Risk Assessment

**Report written by request for
Rory and Amy O'Brien
2 Hawks Hill Pl.
Bellingham, WA. 98229
December 27, 2025**

ISA Certified Arborist TRAQ Survey Methodology.

Tree risk assessment (TRA) is a systematic process to evaluate the potential for a tree or its parts to fail, causing harm to people or property. The process involves identifying defects, assessing the likelihood of failure, and determining the consequences of such failure. The precision and detail of a TRA is determined by the level of assessment conducted.

The TRA performed for this report was a LEVEL 2 assessment. A level 2 assessment involves a 360 degree ground based visual inspection examining the overall health of the root flare, lower bole, mainstem, and upper canopy for structural defects that can lead to failures.

Using a matrix developed by the ISA, the structural integrity of

the tree is quantified to understand the tree's relative hazard rating to people and property. The relative hazard rating ranges from Very Low to High. Once the hazard rating has been established, the consequences of that failure are determined ranging from Negligible to Severe.

The tools used during this assessment were; Spencer 50' Diameter Tape, Vortex Optics Crossfire HD 10X42 Binoculars, Suunto PM-5 Clinometer, A rubber sounding mallet, 24" steel probe, and a Nikon Forestry Pro Rangefinder/Hypsometer.



Project map of the property at 2 Hawks Hill Pl. The hazard cedar, directly east of the house, is circled in red.

Our services were contracted by Rory and Amy O'Brien to perform a level 2 Tree Risk Assessment of the trees around their home located at 2 Hawks Hill Pl. in Bellingham, Washington. The level 2 Tree Risk Assessment was conducted on December 12, 2025.

During the Tree Risk Assessment a hazardous tree was identified 42 feet due east from the family home. The tree identified was a 40 inch in diameter at breast height (DBH) 110 feet in total height Western red cedar (*Thuja plicata*).

A cavity was found on the northwest side of the tree. An opening in the mainstem just above ground level was observed. A 24" steel probe was used to determine the extent of the cavity. The cavity extended to a depth beyond the reach of the steel probe.

Using a sounding mallet to determine the extent of the cavity, the hollow area was found to extend to 10 feet above soil level. The hollow was audible on all sides of the tree.

Due to the depth and extent of the hollow area in the lower

mainstem and strong weather events that cause catastrophic windthrow and property damage, it is my professional opinion that the tree should be removed by a qualified professional.

Item 13
Pg 4 of 7

John Deacon
ISA Certified Arborist PN8708A
John The Arborist Tree Service, LLC
1323 Commercial Street Suite 209
Bellingham, WA. 98225
bellinghamarborist@gmail.com
360-355-3149



Hazard Western red cedar and its proximity to the family home.



Cavity located on the northwest side of the tree with 24" probe and sounding mallet .



Cavity with 24" Sounding mallet inserted into the cavity.



A close up photo of the cavity.



WHATCOM COUNTY

WASHINGTON

Planning & Development Services
5280 Northwest Drive
Bellingham, WA 98226
PDS@co.whatcom.wa.us
360-778-5900

Item 13
Pg 6 of 7

Tree Removal Permit Determination

Applicant: John Deacon
Date: March 26, 2026
Location: Address: 2 Hawks Hill Place
APN: 370407457487
Case No: LCP2026-00002

Staff has reviewed the information you submitted with the Tree Removal Permit application and have determined that the proposed work is consistent with all applicable codes. The trees may be removed upon receipt of this determination.

For specific requirement questions, please contact the applicable NR staff person listed below by email or at (360) 778-5900.

Please note: This document and attachments may include appealable decisions pursuant to the applicable regulations. Please contact the reviewing staff person for additional information and associated time limitations.

PDS Stormwater (Title 20) – Michael Kershner - MKershne@co.whatcom.wa.us

Staff Analysis

- The proposed project proposes to remove 1 tree which encompasses ~300 sq. ft. of tree canopy on site.
- Per WCC 20.51.430, applicants are allowed to remove up to 20% of the existing tree canopy. The total amount of tree canopy on site appears to be 4,970 sq. ft. 20% of the existing tree canopy is 994 sq. ft.

Findings

- The proposed project is approved, with the following conditions:

Conditions of Approval

1. Should any soils be exposed as part of this project, adequate Erosion and Sedimentation Control (ESC) measures shall be installed to prevent sediment laden water from entering neighboring properties, surface drainages (i.e. ditches), and critical areas.
2. Activities which expose more than 500 sq. ft. of soil are prohibited from October 1 through May 31.

Wetlands & HCA (WCC 16.16) – Eric Caubo - ECaubo@co.whatcom.wa.us

Findings

- Removal of a single Western red cedar is compliant with the provisions of WCC 16.16. Articles 2, 6, and 7.

Geohazards (WCC 16.16) - Andrew Wiser - AWiser@co.whatcom.wa.us

Staff Analysis

- Moderate slopes at the subject do not meet the definition of a regulated geologically hazardous area.

Findings

- The proposed tree removal is approved in consideration of Article 3 of the Whatcom County Critical Areas Ordinance with no conditions or additional requirements.

Item 13
Pg 7 of 7

Rec'd 05/13/2026
12:03 PM

Sudden Valley Community Association Variance Request

Item 14
Pg of 1
G3

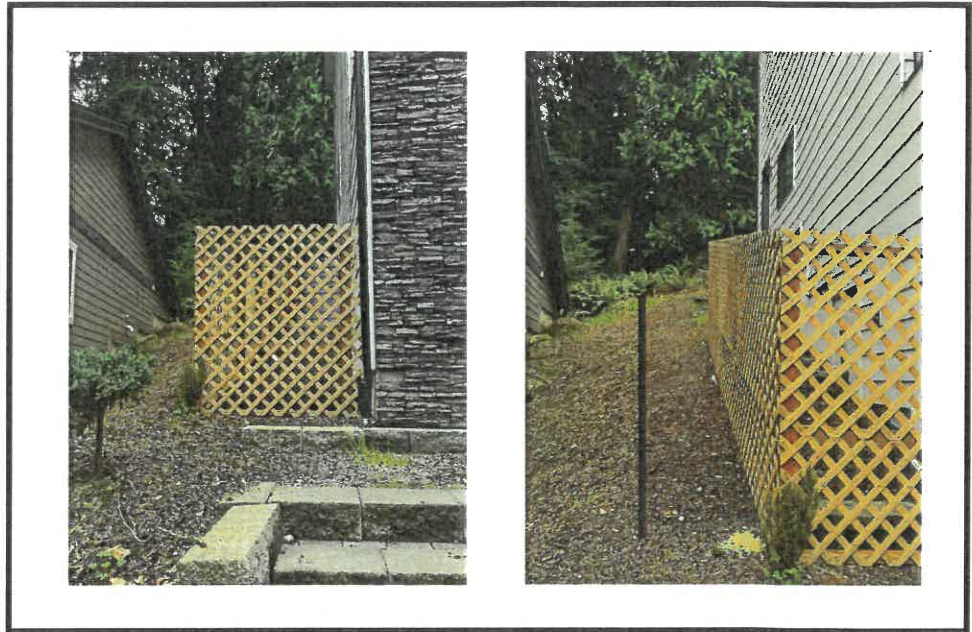
Street Address: 43 Rocky Ridge Dr Bellingham, WA 98229 Div 02 Lot 140
Owner: Felicity Short
Mailing Address: Same as above
Phone: ~~XXXXXXXX~~ Email: ~~XXXXXXXXXXXX~~

**Requests will not be considered unless the street address is clearly displayed on the residence.
Please note that in the week(s) following request submittal, ACC members may visit and review property.**

- Requested for:**
New construction
Existing home
Other

The variance would affect:
Exterior appearance

- Drainage/Erosion control
Open space & Lot coverage
Tree/Vegetation removal
Setbacks to propertyline
Interior living space
Structure height
**Please refer to ACC
Guideline 14.8.12 for
more information.**



Give a full description of the request and need for the variance: _____

Current temp fence sits 2.5' from property line edge. There is not enough room from the house of the property line to create a full 5' difference. Black line in pic two shows approx property line.

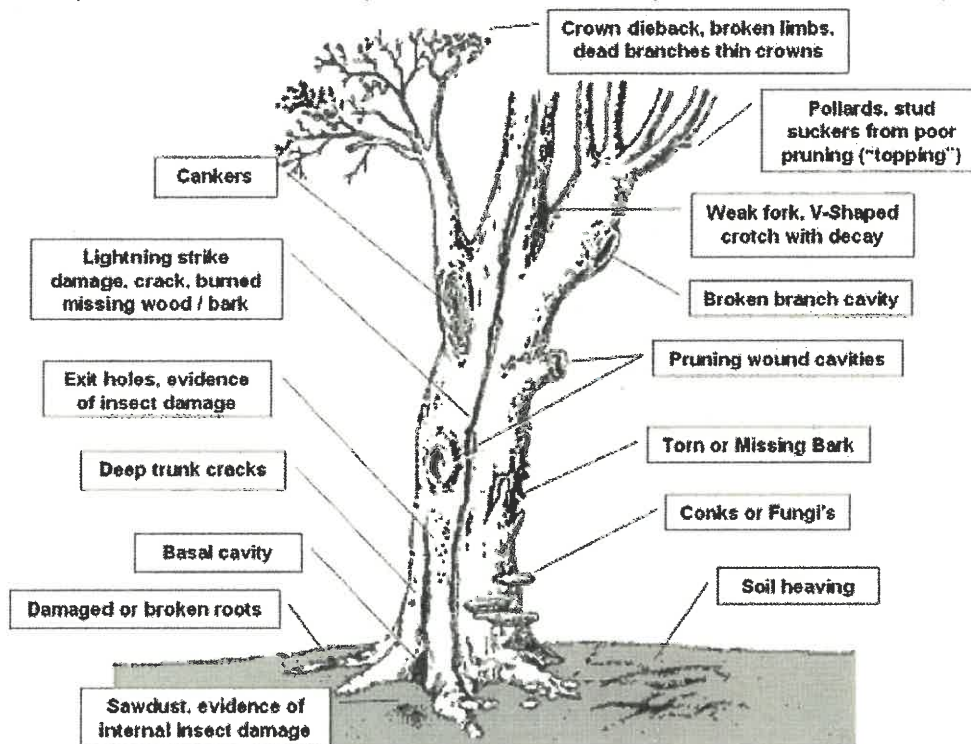
Request to build approved fence 2.5' from property line.

Item – 22	43 Rocky Ridge Dr, G3 Fence (Pet)	Video 02:56:09 – 03:03:37
Comments:	Approved for a 5'. Please submit a Variance for incursion into the set-back.	
Discussion:		
Action:	Approved	Motion: Daniel Unanimous

AC Staff Comments: _____



**Sudden Valley Drive Tree Risk Assessment
Township 37N, Range 4E, Section 8
80 Sudden Valley Drive
Bellingham, WA**



Prepared by:
Tree Guys Incorporated
Patrick J. Sullivan
International Society of Arboriculture
Certified Arborist # PN-7123A
Certified Tree Risk Assessor
Bellingham, WA
(360) 920-6285
April 7, 2026

Consultant
Patrick Sullivan
Tree Guys Inc.
Bellingham, WA 98225

Client
Daniel Stark
80 Sudden Valley Drive
Bellingham, WA 98229

Dear Mr. Stark,

This report is submitted in response to your request for arboriculture consulting services. I have been retained to evaluate the existing standing tree situation and the risk assessment of human safety and personal property damage located at 80 Sudden Valley Drive. The trees to be assessed are located on the south side of the home. Species of interest are Douglas fir and western red cedar.

The objective is to assign a risk rating to individual trees for long-term management purposes. We can accomplish our objective by using the International Society of Arboriculture (ISA) Tree Risk Assessment process, collecting tree heights, DBH (diameter at breast height), observing tree defect and observing orientation of the tree site in relation to private residences and private property. Applied to the environmental influences associated with the local area such as high wind events, saturated soils, adjacent trees and vegetation, and their impacts, we should have good data to make sound decisions for tree management.

If you have any questions concerning the submitted Arborist report, please feel free to contact me. Thank you.

Patrick Sullivan
ISA Certified Arborist #PN-7123A
ISA Certified Tree Risk Assessor
(360) 920-6285



Introduction

This preliminary report is based on my site visits on March 23rd and 30th, 2026. A request has been made by Whatcom County PDS Natural Resources Division to provide initial consulting services to determine the appropriate level of risk evaluation in order to make management decisions regarding 3 mature conifer trees. The 3 mature trees are located on the south side of the residence of 80 Sudden Valley Drive. The overall goal is to preserve elder trees while improving public safety, promoting native species and improving aesthetics for the community.

The tree information contained in this report refers to the condition of the trees at the time of inspection on March 30, 2026. The inspection is limited to visual examination of the subject trees without excavating, probing, dissection, climbing or coring unless explicitly specified. There is no warranty or guarantee that deficiencies or issues of the subject trees may not arise in the future.

Table 1 is the inventory of the trees and their current conditions. Tree identifier number, species, dendrology, health and general condition are noted in the table. Tree data has been collected using a clinometer, laser range finder, binoculars, compass and Spencer's Logger's Tape Measure.

Tree identification will be labeled 80-1 through 80-3. The three trees are arranged in a southwest/northeast orientation between two residential homes. Tree labels are located on the southwest quadrant of the root collar of each tree. Label consists of a metal tag with pink flagging. 80-1 is a Douglas fir, 80-2 and 80-3 is located to the west in numerical order.

Table 2 is the location of homes and infrastructure in relation to the tree measured in distance and orientation. Homes are considered 100% occupancy rate of the target zone. Infrastructure is considered 100% occupancy rate of the target zone. Community activities are considered 50% occupancy rate of the target zone.

Tree quadrant cardinal direction (north, south, east, west) will be utilized to identify tree characteristic locations referring to defects, damage, soil conditions and construction activities at the tree location. A list of definitions has been provided in the last pages of this report for reference.

Methods

Evaluation of tree health and structure has been conducted utilizing the International Society of Arboriculture Visual Tree Assessment (VTA) methods. VTA is the identification of symptoms, which the tree produces in reaction to an area of weakness or an area of mechanical stress. A tree reacts to mechanical and physiological stresses by growing more vigorously to re-enforce weak areas. Using the ISA tree risk assessment method, one can assign potential probability of failure to a tree. This method has been adopted from the U.S. Forest Service risk assessment approach and is currently considered the present standard of care.

Background

Sudden Valley is a community located on the southern shore of Lake Whatcom. Established in the late 1960's, the community has continually grown and expanded over its 6.2 square mile area. The development of the area has produced community living among a mature, fragmented forest that is representative of the Pacific Northwest. Dominant trees consist of Douglas fir, western red cedar, western hemlock and red alder.

Building lots in Sudden Valley have been limited to retain an acceptable percentage of live tree canopy cover for a variety of different reasons. The trees left on site are second-growth residual trees in fragmented patches and continual forests around homes, roads and the golf course.

The residence is located in the heart of Sudden Valley. Lot size is 0.068 of an acre. The topography is relatively flat, with a 0-2% slope. The area contains many larger conifer trees commonly found in the Pacific Northwest forest. A tract of forest land about 13-15 acres in size is located to the

west and surrounded by residential homes. Lake Whatcom is about 1 mile to the east with the Sudden Valley Golf Course adjacent.

Species Profile

The trees to be assessed are Douglas fir (*Pseudotsuga menziesii*) and Western Red Cedar (*Thuja plicata*). Douglas fir is a large, long-lived conifer tree native to western North America, often reaching 125-175 feet tall with a straight, column-like trunk. The needles are flat, soft, linear needles 1.5–4 cm long and may completely encircle the branches. As the trees grow taller in denser forest, they lose their lower branches. Individuals in environments with more light may have branches closer to the ground. The bark on young trees is thin, smooth, gray, and contains numerous resin blisters. On mature trees, usually exceeding 80 years, the bark is thick and corky, growing up to 14 in thick with distinctive, deep vertical fissures caused by the gradual expansion of the growing main stem. The mature bark is brown, while other parts are lighter colored with a cork-like texture; these develop in multiple layers. This thick bark makes the Douglas-fir one of the most fire-resistant tree native to the Pacific Northwest.

Western red cedar is a large, long-lived conifer tree native to western North America, usually found west of the Cascade Mountain range. Red cedars are large trees, often reaching 125-150 feet tall with a straight, column-like trunk. It is known for its distinctive purplish brown vertical peeling bark and needle spray which are small and glossy green on the top side with white marks underneath. Tree canopy structure often contains elongated branching with most green needles located on the tips of the branches, where sunlight can be most utilized.

Existing Conditions on Site

Trees observed on site consist of Douglas fir (*Pseudotsuga menziesii*), western red cedar (*Thuja plicata*), western hemlock (*Tsuga heterophylla*), big leaf maple (*Acer macrophyllum*) and red alder (*Alnus rubra*). Timber composition consists of a mature conifer/hardwood mix of about 90% conifer, 10% hardwood, typical for a second growth stand of trees. Tree heights range from 40 to 144 feet measured, with diameters at breast height range from 8 to 48 inches in the immediate area. The understory consists of Sword fern, and huckleberry.

Some individual mature conifer in the area display damage from wind events. A few individual trees in the area have lost their upper reaches of the main liter of the tree and display response growth in the form of epicormic branching. Epicormic growth extends horizontally and in vertical patterns depending on the tree wound.

Branch failures are evident throughout the stand in the form of damaged branch collars and branches on the forest floor. Failed branch sizes observed range from 0.25-3 inch in diameter. The single-family home has been struck multiple times since the year of construction in 2003. Shingle damage can be observed in the form of existing partially broken shingle material and shingle patch repairs on the roof. The rain gutter in front of the home, over the porch, is dented from a branch strike.

The continual pattern of branch failure is the primary concern. Continual roof damage from branch strikes is considered minor to significant consequences of failure. The spearing effect of branch stabs is evidence of branches falling from 70-80 feet or higher. This is the height of terminal distance where the heaviest portion a falling object is pointed towards the earth, creating significant damage to objects or people.

The second concern is whole tree failure due to impacts to the critical root zone, root collar and main stem defect. The defect to these tree parts is evident and listed in Table 1. The issue is we do not know the extent of the damage of the defect and the overall reduction of stability due to defect. Whole tree failure in this area is most likely to be Significant in the consequences of failure along with a lack of protection of the fall from adjacent trees.

Table 1. Tree Talley and Tree Characteristics.

Tree ID	Species	Height (feet)	Diameter (inches)	Tree Canopy Characteristics
80-1	Douglas fir	102'	16"	<p>-Main Stem Conditions</p> <p>-Tree lean 1 degree to the northwest with corrective growth.</p> <p>-Southwest Quadrant: horizontal wound 15" long and 7" vertical wound, with black decolorization a sign of basal resinosis, a heavy, oxidized flow of pitch associated with severe tree stress, damage, or disease. When the tree is injured or attacked, it releases resin (sap) to seal the wound; this sap turns black as it oxidizes, collects dust, or is colonized by fungi.</p> <p>-Northwest Quadrant: Vertical wound 8" long with similar black decolorization.</p> <p>-Some lower limbs pruned in the past.</p> <p>-71' up main stem contains storm damage. Main stem growth jogs to the west, the remainder of the tree height is reaction growth with an abnormal loss of branching in the lower one third. 30' of reaction growth on defect.</p> <p>-Crown Conditions</p> <p>-Live crown ratio 63%.</p> <p>-Sparse canopy, significant gaps in areas.</p> <p>-Live crown spread 15'.</p> <p>-Live tree canopy vigor is normal.</p> <p>-Tree canopy density is sparse.</p> <p>-Unbalanced crown to the west.</p> <p>-West Quadrant: contains overextending branching patterns.</p> <p>-Branch size ranges from 0.5-3 inches in diameter.</p> <p>-Dead branch size ranges from 0.5 to 2 inches in diameter.</p> <p>-Approximately 20% of branching dead.</p> <p>-Root Zone Conditions</p> <p>-Northwest Quadrant: root collar, no root flare. Fill depths may exceed 9".</p> <p>-Southwest Quadrant: root collar, no root flare. Fill depths may exceed 7".</p> <p>-North Quadrant: root collar, no root flare. Fill depths may exceed 7".</p>
80.2	Red Cedar	97'	35"	<p>-Main Stem Conditions</p> <p>-Tree lean 4 degrees to northwest with corrective growth to the southeast.</p> <p>-Southeast Quadrant: 6' up main stem, spike branch reaction growth, top of vertical compression which runs from the root flare. Slight main stem rot exists under the bark layer, sound tested. Two large ribs of reaction growth, one on each side exists.</p> <p>-North Quadrant: 9" cavity exists. Cavity extends to the center of the tree, most likely associated with the nurse stump that has deteriorated away over time. Potential fraz in cavity, from insect activity or high decomposition of the nurse stump. Old growth nurse stump wood is exposed. A smaller cavity above ties into the base cavity, above the exposed rotting wood.</p> <p>-Southwest Quadrant: Vertical crack exists from root flare to approximately 20' up main stem.</p> <p>-Northeast Quadrant: Vertical crack exists 7' up main stem to approximately 15'.</p> <p>-Crown Conditions</p> <p>-Live crown ratio 93%.</p> <p>-Live crown spread 19'.</p> <p>-Live tree canopy vigor is normal.</p> <p>-Tree canopy density is sparse.</p> <p>-Branch size ranges from .5-3 inches in diameter.</p> <p>-Dead branch size ranges 0.5 to 1.5 in diameter.</p> <p>-Approximately 25% of branching dead.</p> <p>-Branches have been limbed up to approximately 40'.</p> <p>-Root Zone Conditions</p> <p>-West Quadrant: Potentially girdling roots.</p> <p>-Southwest Quadrant: Loss of root flare, extending 1'10" across.</p> <p>-East Quadrant: Root collar buried.</p> <p>-Northeast Quadrant: 13' from main stem, inside critical root zone, 1.5' trench dug for utilities running southwest/northeast in orientation.</p>

Tree ID	Species	Height (feet)	Diameter (inches)	Tree Canopy Characteristics
80-3	Douglas fir	137'	40"	<ul style="list-style-type: none"> -Main Stem Conditions -Tree lean 3-4 degrees to the west by southwest. -Southwest Quadrant: Sap flow approximately 15' up, one initiation point, flow extends from stem wound and widens down to root collar, flow has been occurring for an extended period. -Crown Conditions -Live crown ratio 64%. -Live crown spread 16'. -Live tree canopy vigor is normal. -Tree canopy density is sparse. -Branch size ranges from 0.5-4" in diameter. -Dead branch size ranges from 0.5 to 3" in diameter. -Approximately 25-30% of branching dead or failed with broken nubs. -Epicormic growth associated with branch failures. -Overweight and overextending branching to the east. -Root Zone Conditions -Northeast Quadrant: 13' from main stem, inside critical root zone, 1.5' trench dug for utilities running southwest/northeast in orientation. -Northwest Quadrant: Loss of root collar 8" long. -Southeast Quadrant: Root collar buried. -Southeast Quadrant: 6' to the southeast gravel fill and highly compressed soils in critical root zone. -North Quadrant: Loss of root collar 8" long.

Table 2 is a list of homes within the one- and one-half height circles of trees 80-1 – 80-3. The homes are inhabited by young families with children, older families and elderly. Sudden Valley Drive is a main arterial road for access to many homes. Annual average daily traffic is high for cars, trucks and delivery vehicles. Walkers, joggers and bicycles use the road as well.

Table 2. Target Zone

Tree ID	Target Zone Occupants and Orientation
80-1 DF	76 Sudden Valley Drive – 28' to the southeast 80 Sudden Vally Drive – 12' to the northwest 80 B Sudden Valley Drive – 139' to the west Sudden Valley Drive – 59' to the east
80-2 RC	76 Sudden Valley Drive – 16' to the southeast 80 Sudden Vally Drive – 123' to the northeast 80 B Sudden Valley Drive – 119' to the west Sudden Valley Drive – 90' to the east
80-3 DF	76 Sudden Valley Drive – 16' to the east 80 Sudden Vally Drive – 15' to the northwest 80 B Sudden Valley Drive – 111' to the west Sudden Valley Drive – 90' to the east

Tree Risk Assessment

Identifying individual defects that lead to a high probability of failure and taking the least disruptive action to correct the potential for failure is recommended. It is impossible to maintain trees free from risk. Levels of risk can be quantified through likelihood of failure. Tree risk assessment has four categories for likelihood of failure:

1. Improbable- not likely to fail during normal weather conditions and may not fail in many severe weather conditions.
2. Possible- Failure could occur but is unlikely during normal weather conditions.
3. Probable- Failure may be expected during normal weather conditions.
4. Imminent -Failure has begun and most likely to occur in the near future.

A primary goal of tree risk assessment is to provide information about the level of risk posed by a tree over a specific time period. This is accomplished by two determinations.

1. The likelihood of failure and evaluation of the structural conditions that may lead to failure, the potential loads on the tree and the trees' adaptations to weakness.
2. An evaluation of the likelihood that a tree or branch could strike people or property. Assessing the targets' values and potential damage can assist in creating an estimate of the consequences of failure.

Recommendations

Tree 80-1 contains potentially significant wounds to the main stem with potential fungal activity in two separate areas. These conditions may lead to whole tree failure over time, a heavy load on defect. The storm damaged top 71 feet up the main stem is supporting 30' of reaction growth, a heavy load on defect. Branch failures are evident with a high potential for continual failures.

As of 2026, the likelihood of failure of branch failure is Probable. The likelihood of impact to a target is High. The likelihood of failure and impacting a target is Likely. The consequences of failure is Minor. Therefore, the overall risk rating of branch failure is Moderate. Year 2031 add five years. The likelihood of branch failure is Probable. The likelihood of impact to a target is High. The likelihood of failure and impacting a target is Likely. The consequences of failure is Severe. Therefore, the overall risk rating of branch failure is High.

As of 2026, the likelihood of whole tree failure is Possible. The likelihood of impact to a target is High. The likelihood of failure and impacting a target is Somewhat Likely. The consequences of failure is Severe. Therefore, the overall risk rating of whole tree failure is Moderate. Year 2031 add five years. The likelihood of whole tree failure is Probable. The likelihood of impacting a target is High. The likelihood of failure and impacting a target is Likely. The significance of impact is Severe. Therefore, the overall risk rating of whole tree failure is High.

Considering the irreversible damage of the main stem and root collar loss, it creates potential for whole tree failure overtime, the following options are recommended.

Option 1: Full Tree Removal

-Complete removal of the tree is recommended to eliminate the risk of whole tree failure over time. Tree removal eliminates the hazard entirely, prevents further expenses related to ongoing tree maintenance and facilitates a safe environment of the property. This will remove a tree that is Moderate risk before moving towards High risk to the residence and the general public of the Sudden Valley. Consider leaving a 20' spar wildlife tree.

Option 2: Phased Reduction

-Reduce the tree's height and crown size to minimize wind load and structural stress.

Create a wildlife tree. Reduce the height to below thirty feet and retain a few green limbs. This will mitigate risk without complete removal. It requires continuous maintenance every 3–4 years, increasing long-term costs. This may not address the underlying structural weaknesses caused by deep soil fill and compaction to the CRZ.

Tree 80-2 contains potentially significant wounds to the main stem with the spike branch along with unknown extent of rot. The large ribs, one on each side, are most likely reaction growth under the bark to compartmentalize the wound. These conditions may lead to whole tree failure over time, a heavy load on defect. The critical root zone impacts of the trenching is a concern, the depth is unknown and is located close enough to potentially severe large anchoring roots. The loss of root flare has high potential to lead to whole tree failure in the opposite direction. The amount of root collar loss/damage and time elapsed is unknown. Branch failures are evident with a high potential for continual failures.

As of 2026, the likelihood of failure of branch failure is Probable. The likelihood of impact to a target is High. The likelihood of failure and impacting a target is Likely. The consequences of failure is Minor. Therefore, the overall risk rating of branch failure is Moderate. Year 2031 add five years. The likelihood of branch failure is Probable. The likelihood of impact to a target is High. The likelihood of failure and impacting a target is Likely. The consequences of failure is Severe. Therefore, the overall risk rating of branch failure is High.

As of 2026, the likelihood of whole tree failure is Possible. The likelihood of impact to a target is High. The likelihood of failure and impacting a target is Likely. The consequences of failure is Severe. Therefore, the overall risk rating of whole tree failure is Moderate. Year 2031 add five years. The likelihood of whole tree failure is Probable. The likelihood of impacting a target is High. The likelihood of failure and impacting a target is Likely. The significance of impact is Severe. Therefore, the overall risk rating of whole tree failure is High.

Considering the irreversible damage to the main stem and the critical root zone and potential for whole tree failure overtime, the following options are recommended.

Option 1: Full Tree Removal

-Complete removal of the tree is recommended to eliminate the risk of whole tree failure over time. Tree removal eliminates the hazard entirely, prevents further expenses related to ongoing tree damage maintenance and facilitates a safe environment of the property. This will remove a tree that is Moderate risk before moving towards High risk to the residence and the general public of Sudden Valley.

Tree 80-3 contains a potentially significant wound to the main stem with a high volume of sap flow. The trenching activity in the critical root zone is a concern, the depth is unknown and is located close enough to potentially severe large anchoring roots. The loss of root flare has high potential to lead to whole tree failure in the opposite direction. The amount of root collar loss/damage and time elapsed is unknown. Branch failures are evident with a high potential for continual failures. Branch failures are evident with a high potential for continual failures.

As of 2026, the likelihood of failure of branch failure is Probable. The likelihood of impact to a target is High. The likelihood of failure and impacting a target is Likely. The consequences of failure is Minor. Therefore, the overall risk rating of branch failure is Moderate. Year 2031 add five years. The likelihood of branch failure is Probable. The likelihood of impact to a target is High. The likelihood of failure and impacting a target is Likely. The consequences of failure is Severe. Therefore, the overall risk rating of branch failure is High.

As of 2026, the likelihood of whole tree failure is Possible. The likelihood of impact to a target is High. The likelihood of failure and impacting a target is Likely. The consequences of failure is Severe. Therefore, the overall risk rating of whole tree failure is Moderate. Year 2031 add five years. The

likelihood of whole tree failure is Probable. The likelihood of impacting a target is High. The likelihood of failure and impacting a target is Likely. The significance of impact is Severe. Therefore, the overall risk rating of whole tree failure is High.

Considering the irreversible damage to the root collar and the critical root zone and potential for whole tree failure overtime, the following options are recommended.

Option 1: Full Tree Removal

-Complete removal of the tree is recommended to eliminate the risk of whole tree failure over time. Tree removal eliminates the hazard entirely, prevents further expenses related to ongoing tree damage maintenance and facilitates a safe environment of the property. This will remove a tree that is Moderate risk before moving towards High risk to the residence and the general public of Sudden Valley.

Option 2: Phased Reduction

-Reduce the tree's height and crown size to minimize wind load and structural stress. Create a wildlife tree. Reduce the height to below thirty feet and retain a few green limbs. This will mitigate risk without complete removal. It requires continuous maintenance every 3-4 years, increasing long-term costs. This may not address the underlying structural weaknesses caused by the trenching impacts to the CRZ.

The tree recommendations are made addressing individual trees over many growing seasons. The lowest portions of the tree removal of conifer trees should be considered for wildlife spars. Tree spar heights may vary considering location of tree and the homes. Leaving the spars will assist in erosion control and provide potential habitat for forest animals.

After careful removal of the main stems, it is recommended that native plants and trees be planted in their place. Suggested trees and shrubs to be planted in place of the removed trees range in height at maturity from ten to sixty five feet and are listed below.

- Western Crabapple (*Malus fusca*) 9-40' tall
- Redoiser Dogwood (*Cornus stolonifera*) 6-20'
- Twinberry Honeysuckle (*Lonicera involucrate*) 3-10' tall
- Flowering Dogwood (*Cornus florida*) 15-40' tall
- Oregon Ash (*Fraxinus latifolia*) 30-65' tall

Terms and Conditions

1. Care has been taken to obtain all information from reliable sources. The consultant can neither guarantee nor be responsible for the accuracy of information provided by others.
2. Consultant shall not be required to give testimony or to attend court by reason of any report unless subsequent contractual arrangements are made, including payment of additional fees.
3. Any legal description provided to the consultant will be assumed to be correct. No responsibility will be assumed for matters legal in character.
4. Missing pages or alteration of any report invalidates entire report.
5. Possession of a report does not imply right of publication without the prior expressed written or verbal consent of the consultant.
6. Sketches, diagrams, graphs and photographs in this report, being intended as visual aids, are not necessarily to scale and should not be construed as engineering or architectural reports or surveys.
7. This report expressed herein represent the opinion of the consultant and the consultant's fee is in no way contingent upon the reporting of a specified value, a stipulated result, the occurrence of a subsequent event, nor upon and findings to be reported.
8. Unless expressed otherwise, the information contained in this report covers only those items that were examined and reflects the condition of those items at the time of inspection.
9. Inspection is limited to visual examination of accessible items on this property without dissection, excavation, or probing.

Patrick Sullivan
ISA Certified Arborist PN-7123A



Tree Defect Definitions

Adventitious branches – Can also be considered epicormic shoots or watersprouts, which are produced after storm damage or topping. The union of these branch attachments is weaker due to their lack of holding wood that has formed. Epicormic branching adjacent to any decay that is developing will further reduce the strength of the attachment.

Co-dominant stems – When a diameter of a branch and its parent limb are similar, the union may be weak. Weight distribution, stem orientation and branch arrangement will affect the branch union, making it more likely or less likely to fail.

Tree Compartmentalization—also known as Compartmentalization of Decay in Trees (CODIT), is a process where trees wall off damaged or diseased tissue to prevent further spread of decay. Instead of repairing damaged tissue, trees use a defense mechanism by creating barriers around the damaged area, allowing the tree to grow around and over the compromised tissue.

Included bark – Branch unions with acute angles create bark that is embedded between the branch and its parent limb or between two co-dominant stems. This union can capture soil, moisture and organic material which all promote decay. Likelihood of failure is largely dependent on orientation of the tree canopy, wind and snow loads. For many species of trees, included bark is considered to bring probable to imminent failure.

Live crown ratio (LCR) -is a measurement of a tree's vigor that indicates the percentage of its height that has foliage. It is calculated by dividing the length of the tree's live crown by its total height and multiplying by 100.

Live Crown Spread – is a measure of the length of the longest branches of the tree, from main stem to the tip of the branch. If conditions allow, root systems typically grow beyond the live crown spread.

Overextended branching – Extending outside the normal crown area, branches experience higher loads during wind, freezing rain and snow events. They are more likely to fail during these events. Horizontal branches tend to be stronger than upward angled branching.

Root System Damage—No organ is more vital to a healthy tree than roots. Roots expand laterally beyond the tree crown, but do not extend to depths equal to the tree height. Feeder roots, which are responsible for water and nutrient absorption, occur primarily within the upper six to eight inches of soil. When roots are severed, decayed, undermined or restricted they may provide less anchorage, lowering tree stability.

Tree Architecture – Growth and branching characteristics can affect the distribution of the load of the crown, wind and snow loads and the structural integrity of the tree. There are many characteristics to consider.

Tree lean - The angle of the trunk measured from vertical. Soil conditions and root system movement should be considered. The likelihood of failure of a recently leaning tree is often probable to imminent. Corrected leans are considered to have a possibility of failure from improbable to possible.

Unbalanced canopy – Trees with evenly distributed branching patterns distribute loads evenly along the main stem, reducing the probability of failure. Asymmetric crowns can contribute to failure when other defects are present.

References

ANSI A300 (Part 1)- 2008 American National Standards Institute. American National Standard for Tree Care Operations: Tree, Shrub, and Other Woody Plant Maintenance: Standard Practices (Pruning). New York: Tree Care Industry Association, 2008.

Dunster, Julian. Tree Risk Assessment Manual. Champaign, IL; The International Society of Arboriculture, 2013

Lilly, Sharon. Arborists' Certification Study Guild. Champaign, IL: The International Society of Arboriculture, 2001.

Mattheck, Claus and Helge Breloer. The Body Language of Trees: A Handbook for Failure Analysis. London: HMSO, 1994.

Pirone, P., Hartman, J., Sall, M. Tree Maintenance Sixth Edition. New York, 1988.

RECEIVED

MAY 14 2026

Resubmission from the ACC Mtg of 05/07/2026

Item 16
Pg 1 of 8
G3

Sudden Valley Community Association Exterior Alteration Request

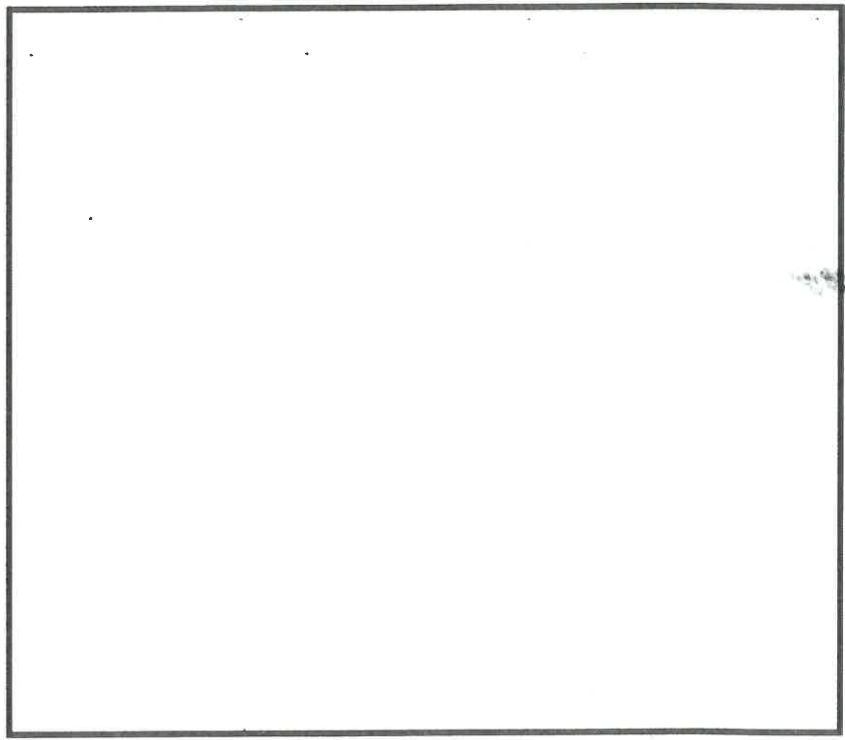
Street Address: 26 BASIN VIEW CIRCLE Div 10 Lot 44
Owner: JEFF & SUZANNE MILDNER
Mailing Address: 28 BASIN VIEW CIRCLE
Phone: ~~XXXXXXXXXX~~ Email: ~~XXXXXXXXXXXXXXXXXXXX~~

Requests will not be considered unless the street address is clearly displayed on the residence.
Please note that in the week(s) following request submittal, ACC members may visit and review property.

- Requested for:**
 Existing home
 New construction
ADDITION.

- The change would affect:**
 Exterior appearance
 Drainage/Erosion control
 Open space & Lot coverage
 Setbacks to property line
 Structure height

Please refer to ACC Guidelines 14.2 and 14.11 and for more information.



Give a full description of the request and attach any additional information if needed:
SEE ATTACHED WRITE-UP - REVISED PLAN FOR ADDITION

Item - 26	26 Basin View Cir, G3, Ext Alt (Detached Garage) <i>In Concept</i>	Video 00:45:20 - 00:59:29
Comments:	Detached structure should have a breezeway.	
Discussion:		
Action:	Denied	Motion: Dan

commencing any alterations.
Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: [Signature] Date: 5/14/20

Revised Preliminary Concept Plan
For Division 10 Lot 44 - Jeff and Suzanne Mildner
May 14, 2026

Item 16
Pg 2 of 8

Prior to submitting formal plans with Whatcom County and Sudden Valley, we're looking for conceptual approval to construct a garage on one of our adjacent lots, Division 10, Lot 44 as previously submitted and reviewed at the May ACC meeting—permission was denied.

We have revised the plan to include a breezeway, thus connecting the two structures as requested by the ACC during the May meeting. Lot 44 currently has a ULID, but we will not connect to Water District 10 since there will not be a bathroom or kitchen in the proposed structure. We **WILL** erase the existing lot line between Division 10 Lot 44 and Division 10 Lot 45.

Note: For reference and established precedent, there is a house (with a garage) at 349 Sudden Valley Drive (in Gate 3, turn left and proceed until the bridge, the house is on the left) that also has a detached garage about 75' away—see photos. We are asking for the same consideration in building a detached (though connected via a breezeway) garage.

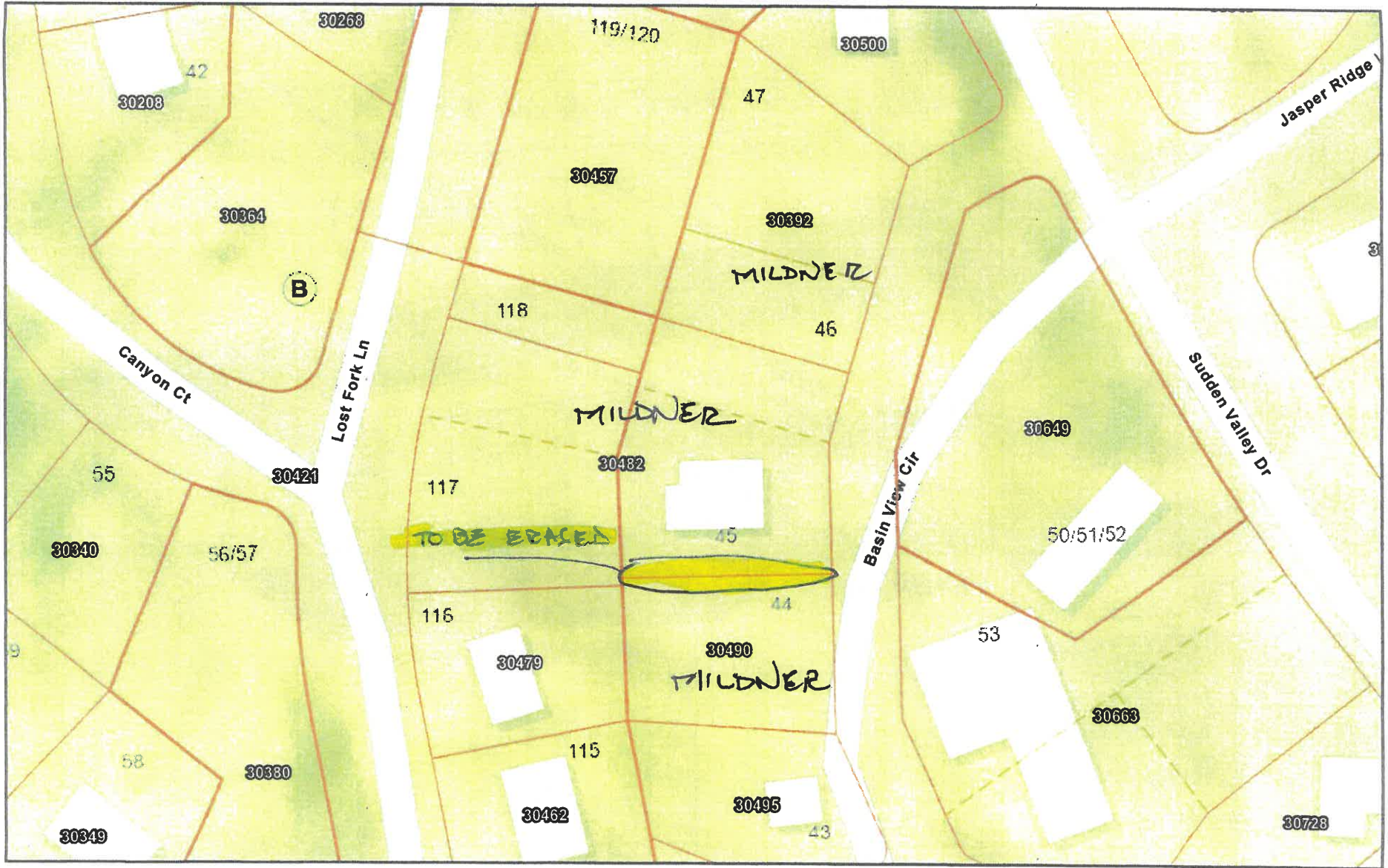
Another house on Canyon Court less than 500 feet away also has a detached garage and additional structure.

Jeff & Suzanne Mildner

28 Basin View Circle

~~309-309-309~~

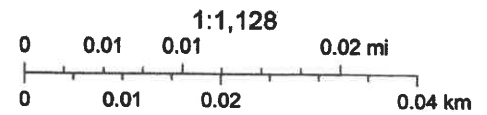
Whatcom Tax Parcel Map



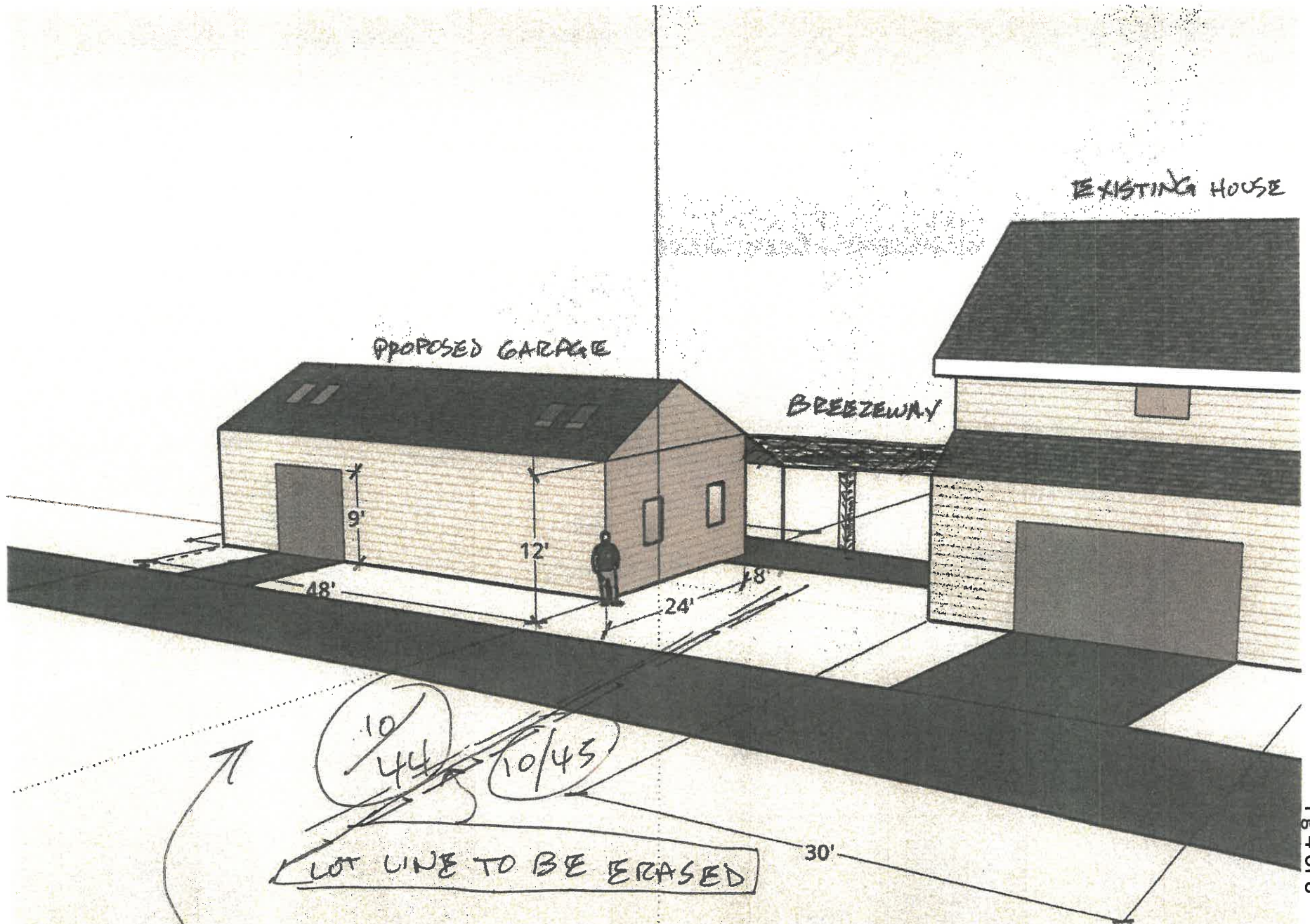
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- Subdivisions
- Tax Parcels
- Lots
- Quarter Sections
- Sections
- Encumbrances

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Whatcom County, Whatcom County Assessor, Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS



EXISTING HOUSE

PROPOSED GARAGE

BREEZEWAY

LOT LINE TO BE ERASED

10/44
10/45

Item 16
Pg 4 of 8

DIV 10 - LOT 44 JEFF & SUZANNE MILDNER
 GARAGE ADDITION 360-303-3503 JEFF_MILDNER@ICLOUD.COM



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Pg 5 of 8

349 SODDEN VALLEY DRIVE



349 S.W. DRIVE

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Item
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16

CALHOUN COURT



Hem. 16
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CANYON COURT



Rec'd 05/13/2026
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APPLICATION FOR NEW CONSTRUCTION

Item 17
Pg 1 of 18
G3

Circle Type:	Home Construction	Remodel	Addition	Other (Describe):
Street Address:	3 Maple Ct Bellingham Wa			Div/Lot 10 / 132
Owner(s) Name(s):	Dennis and Anna Pavliuk			
Mailing Address:	6212 Old Guild Rd Bellingham Wa 98225			
Email Address:	[Redacted]	Cell Phone:	[Redacted]	Work Phone: [Redacted]

CONTRACTOR: AC Inspector MUST BE contacted for inspection 24 hours prior to all inspections by completing an ACC Inspection Request form. Required inspections are:

- Installation of **erosion** control measures
- **Setbacks** prior to pouring of any concrete for either slab or foundation/forms
- Installation of **driveway** and/or apron
- **Completion** of work and occupancy of home

I have read and understand the Sudden Valley Community Association Architectural Control Policies.

X

Contractor Signature:	Date:	
Company Name:	License:	
Mailing Address:		
Email Address:	Cell Phone:	Office Phone:

X

Bank or Loan Agency:			
Valuation of Structure: \$	Square Footage:		
Use: (Circle)	Permanent Residence	Vacation/Weekend	Rental
Variance Request (Circle):	Yes	No	If Yes, must attach Variance Request form

The following items must be submitted at time of application:

- SVCA Construction Application and Checklist (**must be signed by property owner**).
- Application fee (per AC Policies 14.8.8).
- Copy of survey by a licensed surveyor including topography, trees, and square footage.
- Two (2) sets of construction plans (including floor plan, elevations, and finished grade).
- Two (2) copies of site plan @ 1"=10' scale (see AC Policies Appendix I for sample)
- Two (2) copies of landscaping plan @ 1"=10' scale
- Driveway cross-section, showing road edge to garage slab
- One (1) copy of specification sheet including paint chips, roof color, and lighting sample
- **Proof of insurance** (see Item 10 above)
- One (1) copy of water/sewer availability
- Property and building corners must be staked and strung
- ALL trees requested for removal must be clearly ribboned and indicated on site plan.
- Written application for variance, if any
- Refundable Completion Deposit (due during permit meeting per AC Policies section 14.8.8)



New Construction Checklist & Application Packet

I agree to construct and maintain the above described single family dwelling in accordance with the plans and specifications submitted as the same may be approved by the ACC and further agree not to allow said single family dwelling to be used as a multiple family dwelling or duplex or to be used in any way which violates the Restrictive Covenants, Rules, and Regulations or Architectural Control Committee Policies.

I hereby acknowledge that the ACC, according to the Restrictive Covenants, is in no way responsible for any defects, of whatever nature, in the plans and specifications submitted. I agree to undertake full responsibility to accurately ascertain the lot lines delineating the boundaries of my property. I understand that the ACC, in approving my plans and specifications, including site plan, is in no way warranting or representing the actual location of the lot lines delineating the boundaries of my property. I also understand that an infringement onto adjoining properties due to lot clearing or excavation shall be rectified prior to the framing of the structure.

Application

Submitted by (Print): Chad Schmitt

Circle One: Owner

Contractor

Other Representative

X Signature of Owner(s): _____

Printed Name

of Owner: Denis and Anna Pavliuk

Date 4 / 14 / 2026

Item 17
Pg 2 of 18

ACC Inspector Report 3 Maple Ct

Lot size: 7,176 sf

Property coverage: 33.6

Open Space: 61.4%

Front setback: 20' 5"

Rear setback: 15' 3"

Side setback: 13' 10"

Side setback: 10'

Driveway grade: 14.75%

Height: 19' 10"

Definition 2

ACC Inspector Notes

Driveway grade is within a reasonable margin of error for going over the 15% slope.
Remediation may be required under AC Policies.

Utility connection will require an easement.

The large unfinished basement may lead to an ADU/Duplex situation in the future. No current risk as proposed.










SPECIFICATION SHEET

Street Address: 3 Maple Ct. Bellingham, Wa 98229	Div/Lot 10 /132
Owner(s)/Contractor) Name(s): Denis and Anna Pavliuk	

Siding Type: 7" Lap Siding - Hardy
Trim Type: Hardy
Gable Type: Lap Siding - Hardy
Roof Type: Asphalt Roofing
Lighting Type: Frosted Glass Carage Lights
Retaining Wall Materials:
Other Finish Materials: Accent Wall - Bat-n-Board Hardy

Samples

SIDING/BODY COLOR	TRIM COLOR	ACCENT COLOR
Lap Siding: SW 7048 Urbane Bronze 	Trim: SW 7568 Natural Ground 	Garage Door: SW 7048 Urbane Bronze  Front Door: SW 7048 Urbane Bronze  Other (Specify Locations):
ROOF COLOR	RETAINING WALL SAMPLE	LIGHTING SAMPLE
IKO: Glacier 		 Garage & Back under Back Deck 

APPENDIX F
Exterior Lighting Specifications

Item 17
Pg 5 of 18

1. Suggested styles of lighting fixtures that are down directed and where the bulb itself is shielded from view.

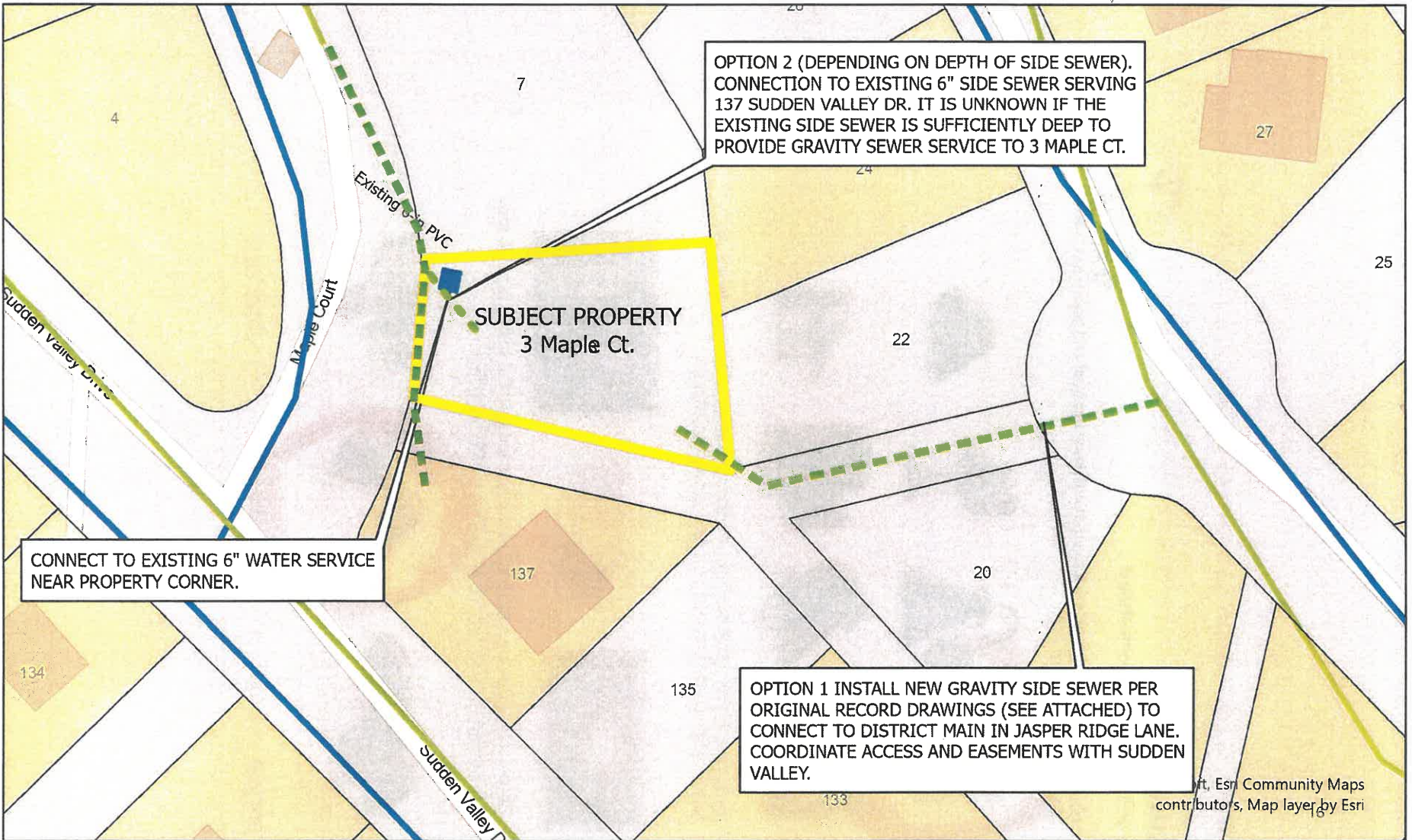


2. Recessed canister lights built into the eaves or canopy of a house, garage, or other building is the first choice of lighting building exteriors.



3. Flood or spot lights must be direct downward and shielded so that the bulb itself is not visible from anywhere other than the owner's property.





OPTION 2 (DEPENDING ON DEPTH OF SIDE SEWER), CONNECTION TO EXISTING 6" SIDE SEWER SERVING 137 SUDDEN VALLEY DR. IT IS UNKNOWN IF THE EXISTING SIDE SEWER IS SUFFICIENTLY DEEP TO PROVIDE GRAVITY SEWER SERVICE TO 3 MAPLE CT.

CONNECT TO EXISTING 6" WATER SERVICE NEAR PROPERTY CORNER.

OPTION 1 INSTALL NEW GRAVITY SIDE SEWER PER ORIGINAL RECORD DRAWINGS (SEE ATTACHED) TO CONNECT TO DISTRICT MAIN IN JASPER RIDGE LANE. COORDINATE ACCESS AND EASEMENTS WITH SUDDEN VALLEY.

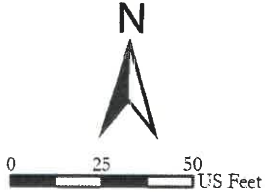
Map by Esri Community Maps contributors, Map layer by Esri



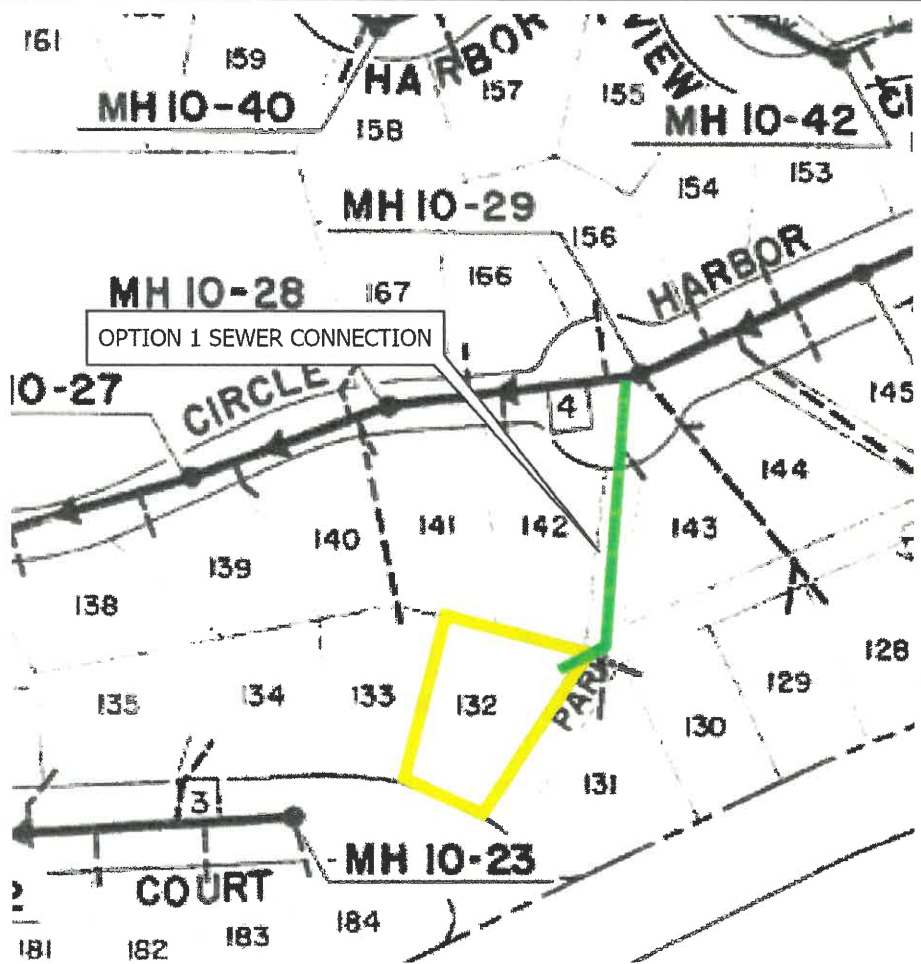
**3 Maple Court - Sudden Valley Div 10 Lot 132
Parcel #370406-2543720000**

<p>WATER AND SEWER CONNECTION INFORMATION</p> <p>Connection information shown is approximate. Other utility locations are not shown. All work shall be done in accordance with the District's Design & Construction Standards.</p>	<p>KH 12/12/23</p>
	<p>1 of 2</p>

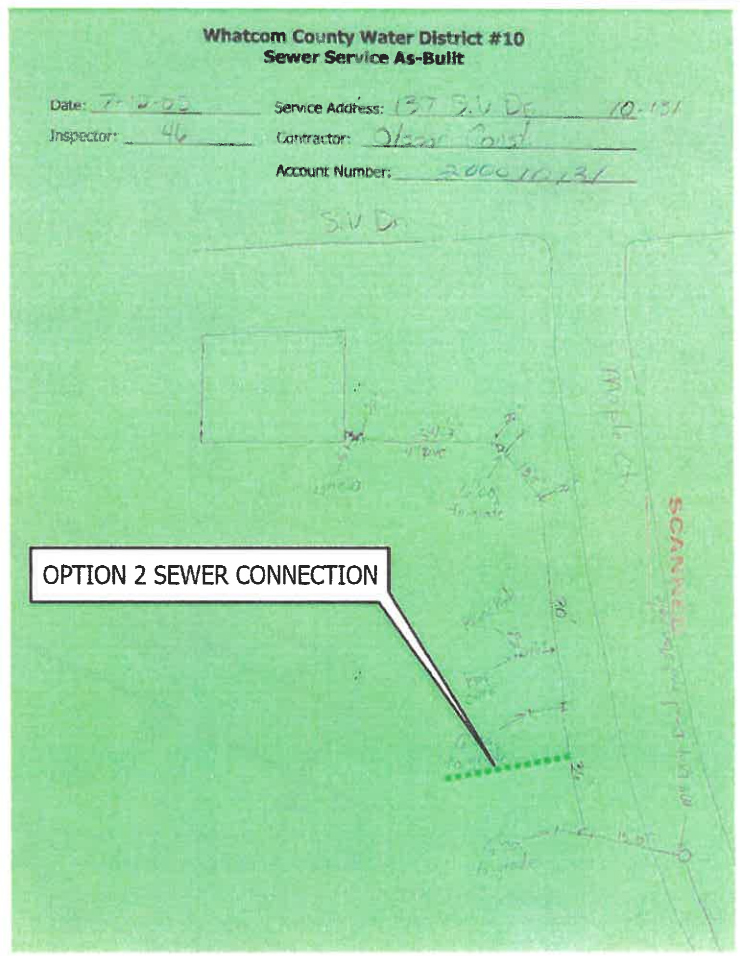
Lake Whatcom Water & Sewer District | 1220 Lakeway Drive | Bellingham, WA 98229 | (360) 734-9224



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Item 17



OPTION #1 SEWER SERVICE CONNECTION



OPTION #2 SEWER SERVICE CONNECTION

Whatcom County Water District #10
Sewer Service As-Built

Date: 7-12-05 Service Address: 137 S.V. Dr 10-131
 Inspector: 46 Contractor: Olson Const
 Account Number: 200010131



3 Maple Court - Sudden Valley Div 10 Lot 132
Parcel #370406-2543720000

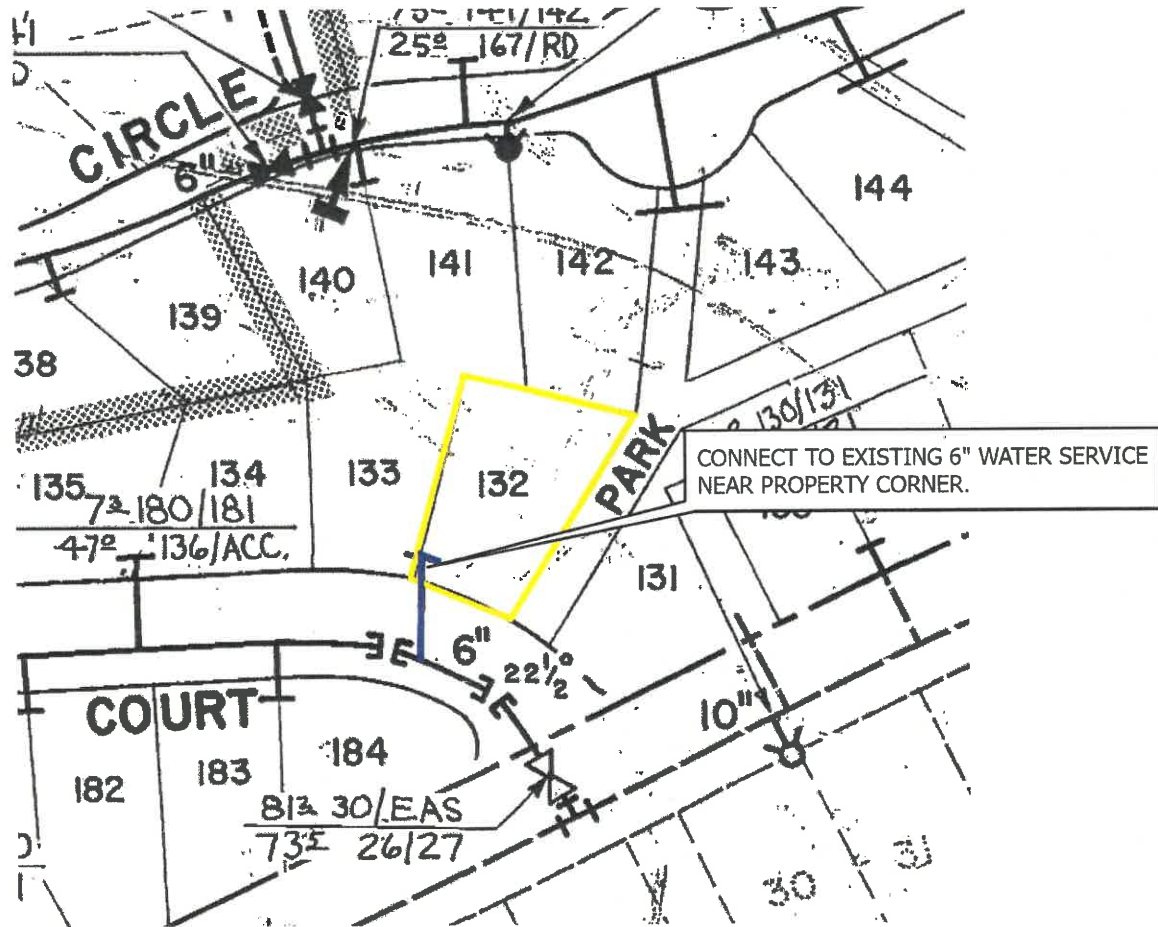
WATER AND SEWER CONNECTION INFORMATION
 Connection information shown is approximate. Other utility locations are not shown.
 All work shall be done in accordance with the District's Design & Construction Standards.

KH
12/12/23
2 of 2



Pg 7 of 18

Item 17



RECORD DRAWING -
WATER SERVICE CONNECTION

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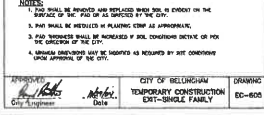
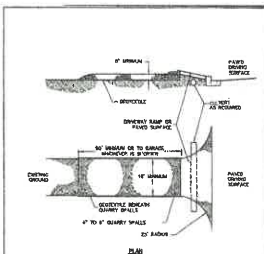
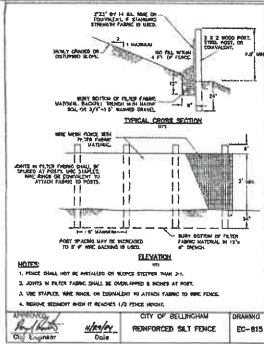
3 Maple Court - Sudden Valley Div 10 Lot 132
Parcel #370406-2543720000

WATER AND SEWER CONNECTION INFORMATION
Connection information shown is approximate. Other utility locations are not shown.
All work shall be done in accordance with the District's Design & Construction Standards.

KH
12/12/23

2 of 2





EMP 15.13: TYPICAL CONSTRUCTION SOIL QUALITY AND DEPTH
THE PROPOSED CONSTRUCTION LIMITS

Purpose and Definition
 This drawing illustrates the typical construction soil quality and depth for the proposed construction limits. The drawing shows the relationship between the existing ground surface, the proposed construction limits, and the soil quality and depth. The drawing is intended to provide a clear understanding of the soil conditions and the construction requirements for the proposed project.

Applications and Limitations
 This drawing is intended to be used in conjunction with the other drawings and specifications for the proposed project. It is not intended to be used as a standalone document. The drawing is subject to change without notice and is not to be used for any other purpose without the written consent of the author.

Notes

1. THESE SHALL BE INSTALLED AS SHOWN UNLESS OTHERWISE NOTED.
2. THE FENCE SHALL BE DEVELOPED IN ACCORDANCE WITH THE CITY OF BELLINGHAM REINFORCED SALT FENCE ORD-815.
3. THE FENCE SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF BELLINGHAM REINFORCED SALT FENCE ORD-815.
4. THE FENCE SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF BELLINGHAM REINFORCED SALT FENCE ORD-815.

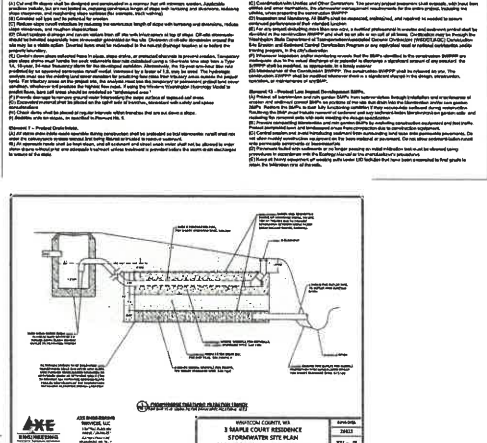
Notes

1. THE FENCE SHALL BE INSTALLED AS SHOWN UNLESS OTHERWISE NOTED.
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4. THE FENCE SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF BELLINGHAM REINFORCED SALT FENCE ORD-815.

CONSTRUCTION EQUIPMENT POLLUTION PREVENTION PLAN MANAGING

1. Purpose and Definition
 This drawing illustrates the typical construction soil quality and depth for the proposed construction limits. The drawing shows the relationship between the existing ground surface, the proposed construction limits, and the soil quality and depth. The drawing is intended to provide a clear understanding of the soil conditions and the construction requirements for the proposed project.

2. Applications and Limitations
 This drawing is intended to be used in conjunction with the other drawings and specifications for the proposed project. It is not intended to be used as a standalone document. The drawing is subject to change without notice and is not to be used for any other purpose without the written consent of the author.



LABEL	TITLE	PAGE	COMMENTS
P-1	COVER SHEET		
P-2	SITE PLAN		
P-3	SV LANDSCAPE PLAN		
A-1	FOUNDATION/BASEMENT PLAN		
A-2	FLOOR PLANS		
A-3	ROOF PLAN		
E-1	EXTERIOR ELEVATIONS		
E-2	EXTERIOR ELEVATIONS		
E-3	EXTERIOR ELEVATIONS		
D-1	DETAILS PAGE 1		
D-3	WSEC SHEET		

Notes

1. THE FENCE SHALL BE INSTALLED AS SHOWN UNLESS OTHERWISE NOTED.
2. THE FENCE SHALL BE DEVELOPED IN ACCORDANCE WITH THE CITY OF BELLINGHAM REINFORCED SALT FENCE ORD-815.
3. THE FENCE SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF BELLINGHAM REINFORCED SALT FENCE ORD-815.
4. THE FENCE SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF BELLINGHAM REINFORCED SALT FENCE ORD-815.

Notes

Legal Description:
 Lot 132, Sudden Valley Division #10

Area	Area (Sq Ft)	Notes
House	1,209 Sq Ft	Uncovered HS
Un-Finished Basement	471.5 Sq Ft	
1st Floor	1,104.5 Sq Ft	
2nd Floor	1,594.5 Sq Ft	
Total Living	2,709 Sq Ft	
Garage	491.5 Sq Ft	
Front Walkway	131.5 Sq Ft	103.5 Sq Ft
Front Deck	35.5 Sq Ft	
Back Lower Deck	330.5 Sq Ft	265.5 Sq Ft
Building coverage	1,622 Sq Ft	
Total % of Building	22.5%	
Roof Coverage	1,493 Sq Ft	
Total % of Roof	27.1%	
Driveway	450 Sq Ft	Uncovered HS
Total Hard Surface	450 Sq Ft	420 Sq Ft
Total Roof & Driveway lot Coverage	2,373 Sq Ft	
Total % Lot Coverage	32.4%	
Total Lot Coverage	2,741 Sq Ft	
Total % Lot Coverage	36.1%	
Total Open Space %	63.9%	

Owner/Client Info
 Denis and Anna Pavluk
 6212 Old Guild Rd
 Bellingham WA 98225

Notes

Excavation:

- Erosion control
- Installation of all fence for erosion control
- All exposed material to covered with plastic and/or straw
- Est of Export material = 150 Yards
- To be back hauled to approved dump site
- Remaining dirt to remain on site for Back fill and landscaping
- Est Structural material Imported = 150 yard
- drain rock for perimeter Footing/Storm pipe
- Garage fill material
- Structural for Driveway
- Fill for porches

Storm Info:

- footing and downslope to connect to onsite storm system.

CORNERSTONE
 SOCIAL, COMMERCIAL & CONSTRUCTION SERVICES, LP

Job Location:
 3 Maple Ct
 Bellingham Wa
 J-5V-3 Maple Ct

Plans for New SFR
 Site Plan
 Parcel #S104062548720000

DRAWINGS PROVIDED BY:
 Cornerstone - DCS, LLP
 2024 Kermack PINE
 Renton, WA 98056
 360-420-6501

DATE:
 5/13/2026

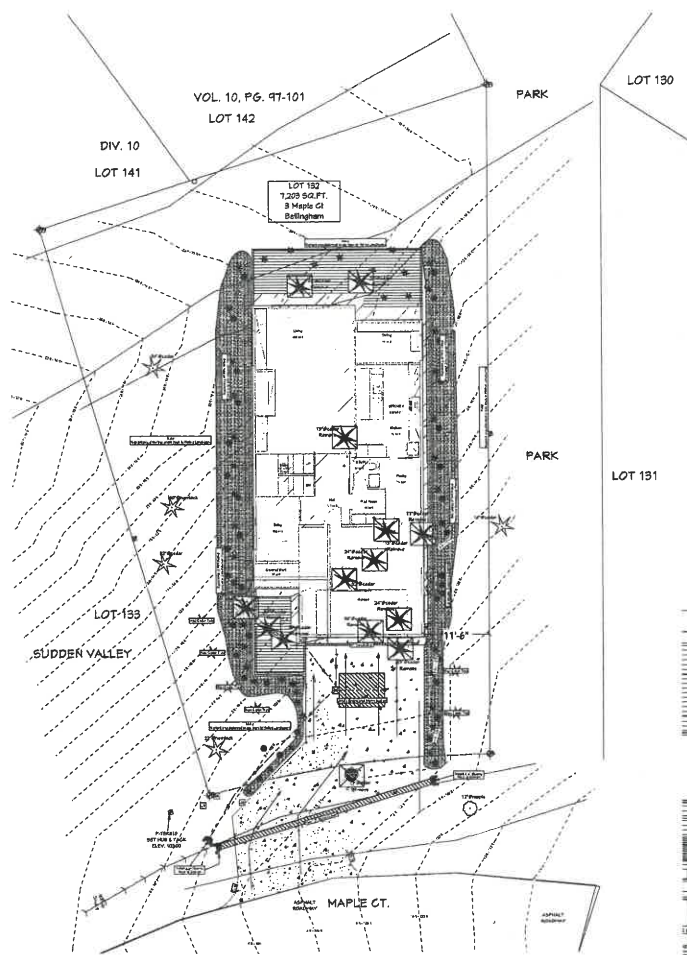
SCALE:
 1" = 10'

SHEET:
 P-2

Item 7
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Notes

-  New Cedar Tree
-  New Ferns
-  New NW Ground Coverage Plans
-  Tree to be Removed
-  Native Landscaping plants w/ thick Mulch/Hog Fuel



LAYOUT PAGE TABLE		
LABEL	TITLE	COMMENTS
P-1	COVER SHEET	
P-2	SITE PLAN	
P-3	SV-LANDSCAPE PLAN	
A-1	FOUNDATION/BASEMENT PLAN	
A-2	FLOOR PLANS	
A-3	FLOOR PLANS	
A-4	ROOF PLAN	
E-1	EXTERIOR ELEVATIONS	
E-2	EXTERIOR ELEVATIONS	
E-3	EXTERIOR ELEVATIONS	
D-1	DETAILS PAGE 1	
D-3	WSEC SHEET	

CORNERSTONE
 Job Location:
 5 Maple Ct
 Bellingham WA
 J-9V-3 Maple Ct

CORNERSTONE
 DESIGN, CONSTRUCTION & CONSTRUCTION SERVICES

Plans for New SFR
 SV-Landscape Plan
 Parcel #83704062543720000

Owner/Client Info

Denis and Anna Pavliuk
 6212 Old Guild Rd
 Bellingham WA 98225

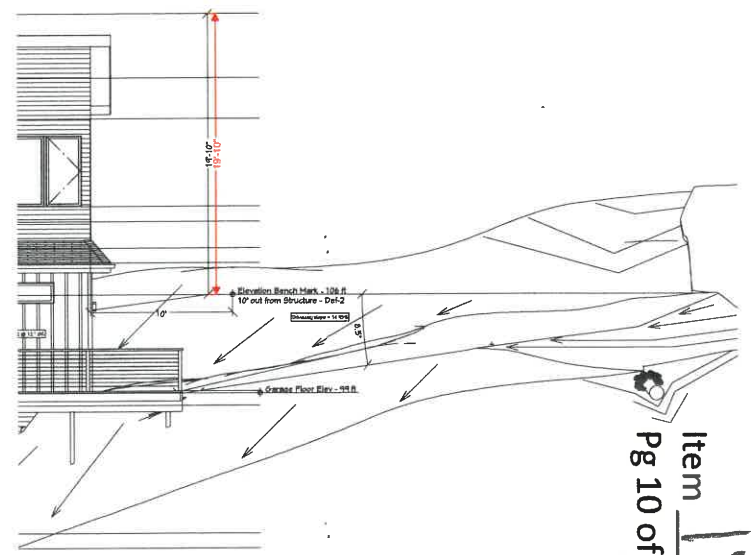
Notes

Legal Description:
 Lot 132, Sudden Valley Division #10

Lot	Area	Notes
House	7,203 Sq Ft	Uncovered H5
- Un-Finished Basement	477 Sq Ft	
- 1st Floor	1,104 Sq Ft	
- 2nd Floor	1,549 Sq Ft	
Total Living	2,709 Sq Ft	
Garage	437 Sq Ft	
Front Walkway	131.5 Sq Ft	103 Sq Ft
Front Deck	35 Sq Ft	
Back Lower Deck	330 Sq Ft	265 Sq Ft
Building coverage	1,622 Sq Ft	
Total % of Building	22.5%	
Roof Coverage	1,495 Sq Ft*	
Total % of Roof	21.1%	
Driveway	450 Sq Ft	Uncovered H5
Back Lower Deck	330 Sq Ft	
Total Hard Surface	450 Sq Ft	420 Sq Ft*
Total Roof & Driveway lot Coverage	2,373 Sq Ft*	
Total % Lot Coverage	32.4%	
Total Lot Coverage	2,741 Sq Ft	
Total % Lot Coverage	38.1%	
Total Open Space %	61.9%	

Notes

- Excavation:**
- Erosion control
 - Installation of silt fence for erosion control
 - All exposed material to be covered with plastic and/or straw
 - Est of Export material = 150 Yards
 - To be back hauled to approved dump site
 - Remaining Dirt to remain on site for Back fill and landscaping
 - Est Structural material Imported = 150 yard
 - drain rock for perimeter Footing/Storm pipe
 - Garage fill material
 - Structural for Driveway
 - Fill for porches
- Storm Info:**
- Footing and downspout to connect to onsite storm system.



Driveway CC Section - Scale 1/4" = 1'

Item 17
 Pg 10 of 18

DRAWINGS PROVIDED BY:
 Cornerstone - DCCS LLP
 2023 Karmelick Pt NE
 Redmond WA 98076
 509-420-6394

DATE:
 5/13/2026
 SCALE:
 1" = 10'
 SHEET:
 P-3

Construction to meet Current IRC-2018 Building codes and Current MA Energy specifications.

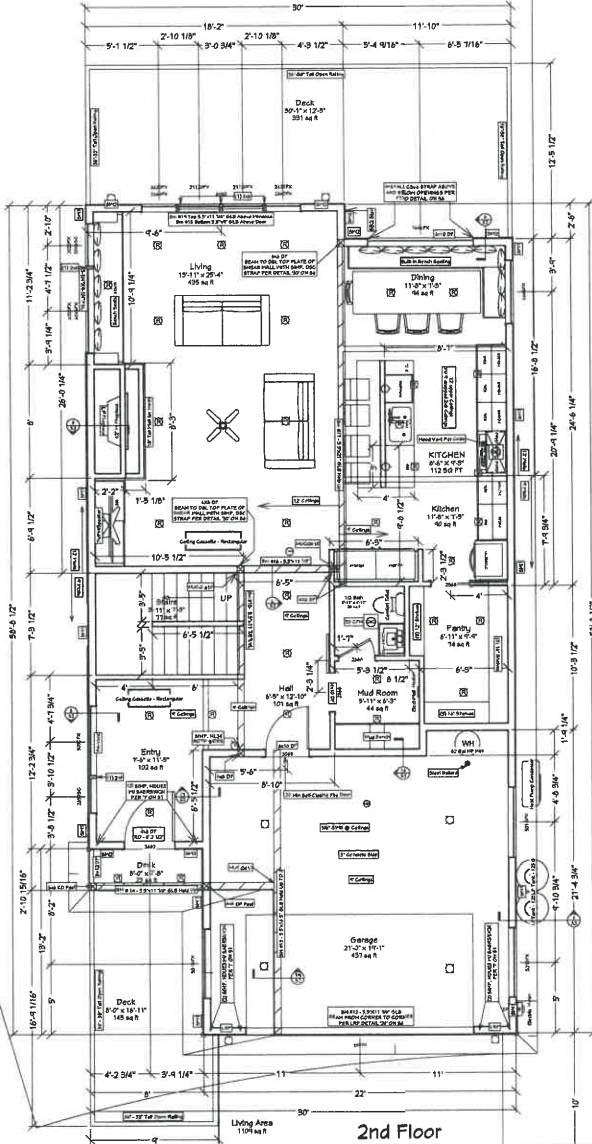
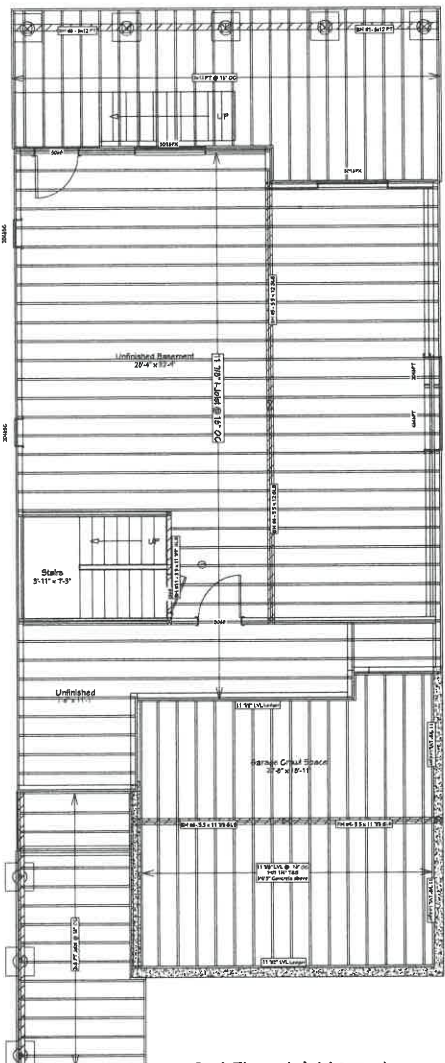
Wind Load = 25 SFF
Wind Loads = 55 MPH gust
Seismic Design = Cat D
Frost Depth = 18"

Building Specs
- 4 bed/3 bath 2 story 2 Car Attached Garage

WOOD SHEATHED SHEAR WALL TABLE - REF. 2021 SDPWS SECTION 4.3

SHEAR WALL	PANEL SHEATHING	SHEATHING ON ONE OR BOTH SIDES OF WALL	DOES BLOCKER OR UNBLOCKED	WALL SIZE	EDGE / FIELD WALLING DISTANCE	LOAD TRANSFER	MIN. THICKNESS OF EDGE MEMBERS & BLS PLATE	DIAPHRAGM WALLING	DESIGN ALLOWABLE UNIT SHEAR CAPACITY (K/FT)
SW1	1/2" OSB OR 5/8" GYPSUM BOARD	ONE	BLOCKED	0.131 X 8-1/2"	8" / 14" O.C.	YES	2X (MINIMUM)	YES	332
SW2	1/2" OSB OR 5/8" GYPSUM BOARD	ONE	BLOCKED	0.131 X 8-1/2"	8" / 14" O.C.	YES	2X (MINIMUM)	YES	470

PANEL SHEATHING MATERIAL SHALL BE STRUCTURAL WOOD STRUCTURAL PANELS, TYP. WIND WALLS SHALL BE COMBRI OR UNBLOCKED BLS. LINE WOODS OTHERWISE.
FOR WALLS DESIGNED TO HAVE LOADS TRANSMITTED AROUND THE WINDOW OPENINGS, DOUBLE STUDS MUST BE PLACED ON EITHER SIDE OF EACH WINDOW WITH EDGE WALLS ON ONE SIDE ONLY.
ALL CONNECTIONS NOT SHOWN ABOVE SHALL CONFORM TO IRC TABLE 601.3.



DESIGN CRITERIA

DESIGN PARAMETER	VALUE	SOURCE
Seismic Design Category	D-F	IBC 1813.2.2(1)
Wind Category	IV	IBC Table 1601.6
Wind Exposure Category	B	IBC 1609.4.3
Basic Wind Speed (3 second gust)	110 MPH	ASCE W16.4-2010
Design Wind Load	10 PSF	ASCE 7.10.3(1)

LOAD SOURCE	LOAD VALUE	DEAD LOAD
Roofs	20 psf	13 psf
Floors	40 psf	12 psf
Decks & Balconies	60 psf	12 psf
Ground Snow Load	25 psf	12 psf
Exterior Wall	-	10 psf
Interior Wall	-	8 psf
Interior Partition	-	8 psf

Minimum uniform live loads come from 2021 IRC Table R601.5

DEFLECTION LIMITS

STRUCTURAL MEMBER	LIVE+DEAD
Roof (with flexible ceiling)	L/240
Floor (with brittle ceiling)	L/360
Trimmer with slopes greater than 3:12 without ceiling	L/180
Joist Members	L/500
Horizontal Deflection (with flexible finish)	L/500
All other structural members	L/240

The above maximum deflection limits are required by 2021 IRC Table R601.7. Higher limits (less deflection) may be used at the engineer's discretion.

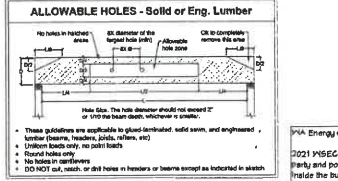
ALLOWABLE HOLES - Joists & Rafter

Minimum Allowable Hole Size: 1 1/2" for joists, 1 1/4" for rafters. Maximum Hole Size: 1 1/2" for joists, 1 1/4" for rafters.

Member	Round Hole Size	Rectangular Hole Size
2x8 Joist	1 1/2"	1 1/2" x 1 1/2"
2x10 Joist	1 1/2"	1 1/2" x 1 1/2"
2x12 Joist	1 1/2"	1 1/2" x 1 1/2"
2x10 Rafter	1 1/2"	1 1/2" x 1 1/2"
2x12 Rafter	1 1/2"	1 1/2" x 1 1/2"

JOIST CONVERSION CHART

Timber	Species	Wood	Grade	Thickness	Span	LP
2x8	Pine	1600	1600	1600	1600	1600
2x10	Pine	1600	1600	1600	1600	1600
2x12	Pine	1600	1600	1600	1600	1600



LAYOUT PAGE TABLE

LABEL	TITLE	COMMENTS
P-1	COVER SHEET	
P-2	SITE PLAN	
P-3	SYNOPSIS PLAN	
A-1	FOUNDATION/BASEMENT PLAN	
A-2	FLOOR PLANS	
A-3	FLOOR PLANS	
A-4	ROOF PLANS	
E-1	EXTERIOR ELEVATIONS	
E-2	EXTERIOR ELEVATIONS	
E-3	EXTERIOR ELEVATIONS	
D-1	DETAILS PAGE 1	
D-3	WSEC SHEET	

ADDITIONAL ENGINEERING REQUIREMENTS

Roofs, floors, walls, and other structural members shall be designed to resist the effects of wind and seismic loads in accordance with the applicable provisions of the International Building Code (IBC) and the International Residential Code (IRC). The engineer shall provide a design for the wind and seismic loads in accordance with the applicable provisions of the IBC and the IRC.

TABLE A-3 ENERGY EFFICIENCY CHECKS

Item	Description	Pass/Fail
1	Insulation in exterior walls	Pass
2	Insulation in roof/ceiling	Pass
3	Insulation in floor	Pass
4	Window U-value	Pass
5	Window air leakage	Pass
6	Door U-value	Pass
7	Door air leakage	Pass
8	Blower Door Test	Pass

TABLE A-4 ENERGY EFFICIENCY CHECKS

Item	Description	Pass/Fail
1	Water Heating System	Pass
2	Water Heating Distribution	Pass
3	Water Heating Controls	Pass
4	Water Heating Ventilation	Pass
5	Water Heating Efficiency	Pass
6	Water Heating Safety	Pass
7	Water Heating Installation	Pass
8	Water Heating Maintenance	Pass

TABLE A-5 ENERGY EFFICIENCY CHECKS

Item	Description	Pass/Fail
1	Energy Star Appliances	Pass
2	Energy Star Windows	Pass
3	Energy Star Doors	Pass
4	Energy Star HVAC	Pass
5	Energy Star Water Heating	Pass
6	Energy Star Lighting	Pass
7	Energy Star Electrical	Pass
8	Energy Star Mechanical	Pass

MA Energy Code-OP-4.3 (2.1.1) 3.1-2.1.5.5-2 = 8 Points
2021 IMBEC Residential Energy Compliance certificate shall be completed by the builder or other approved party and posted on a wall in the space where the furnace is located, a utility room, or an approved location inside the building. When located on an electrical panel, the certificate shall not cover or obstruct the visibility of the circuit directory label, service disconnect label, or other required labels.
R402.1.1 Installation and commissioning. The building thermal envelope shall meet the requirements of Table R402.1.1 based on the climate zone specified in Chapter 3.
Blower Door Test Result and results posted.

Prospective Requirements Table R402.1.1 (2021 IMBEC = 0 Points)
- Minimum total Glazing to average .30
- 25% Max Glazing
- Glazing = Vertical - .30 / Over head - .50

Insulation Requirements Table R402.1.1
- Ceilings = R-41 / Vaulted - R-30 Bat
- Above Wall = R-21 BIB or Bat
- Sub Floor = R-30
- Below Grade = R-101/521 Int + 5TB
- Slab on Grade = R-10 - 2"

Heating Ventilation/ Water Heating:
Heating System =
- Option 4 Heat Pump = (2021 IMBEC 3.0 Energy Points)
- 3.1 - Ductless split system heat pumps with no electric resistance heating in the primary living areas. A ductless heat pump system with a minimum SEER of 14 (SEER of 10) shall be sized and installed to provide heat to the dwelling unit at the design outdoor air temperature. (2021 IMBEC 1.0 Energy Points)

Ventilation Exhaust System =
- 2.1 - Compliance based on Section R402.4.1.2. Reduce the tested air leakage to 2.0 air changes per hour maximum at 50 Pascals, or for R-2 Occurrences, optional compliance based on Section R402.4.1.2. Reduce the tested air leakage to 0.25 air changes maximum at 50 Pascals.
All whole house ventilation requirements as determined by Section M1503.3 of the International Residential Code or Section 409.6 of the International Mechanical Code shall be met with a heat recovery ventilation system with minimum sensible heat recovery efficiency of 0.55. (2021 IMBEC 1.0 Energy Points)
- Blower Door Test Result and results posted.
- M1503.4 Whole-house mechanical ventilation system. The whole-house mechanical ventilation systems shall be designed in accordance with Sections M1505.1 through M1505.4.
- M1505.1.6 Testing. Whole-house mechanical ventilation systems shall be tested, balanced and verified to provide a flow rate not less than the minimum required by Sections M1505.4.3 and M1505.4.4.
- 5.6 - Water heating system shall include = Electric heat pump water heater meeting the standards for Tier 1a of NEEA's advanced water heating specification (2021 IMBEC = 2.0 Energy Points). 40 Gal



Job Location:
3 Maple Ct
Bellingham WA
J-SV-3 Maple Ct



Plans for New SFR
Floor Plans
Parcel #3704062543720000

DRAWINGS PROVIDED BY:
Comcast - DCCS LLP
2024 Kenneluck Pl NE
Renton, WA 98056
360-420-6991

DATE:
5/13/2026
SCALE:
1/4"=1'
SHEET:
A-2

Item 17
Pg 12 of 18

Actual Truss layout and Engineering
Provided by Manufacture

LAYOUT PAGE TABLE		
LABEL	TITLE	COMMENTS
P-1	COVER SHEET	
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E-3	EXTERIOR ELEVATIONS	
D-1	DETAILS PAGE 1	
D-3	WSEC SHEET	



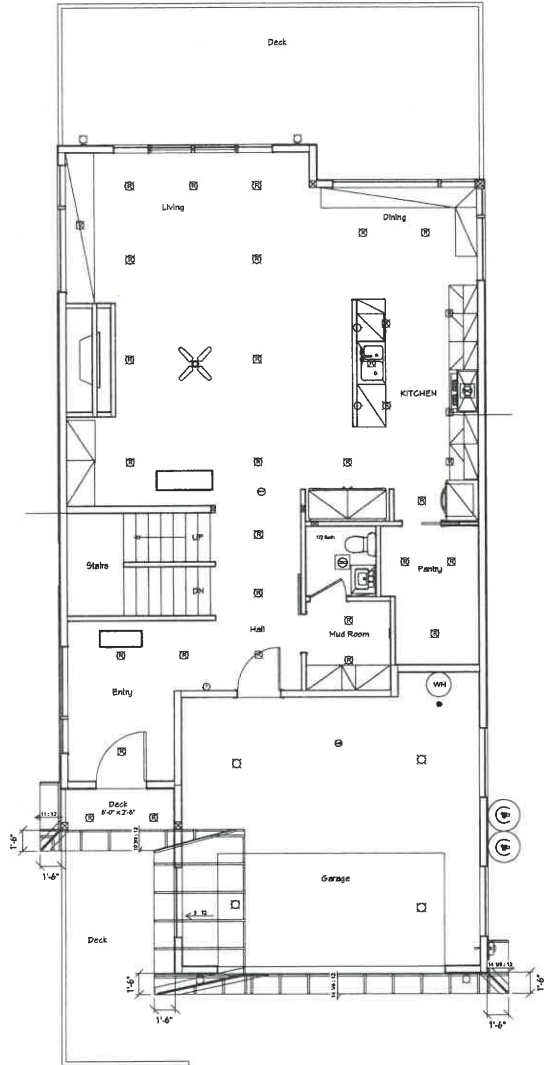
Job Location:
3 Maple Ct
Bellingham Ma
J-5V-3 Maple Ct



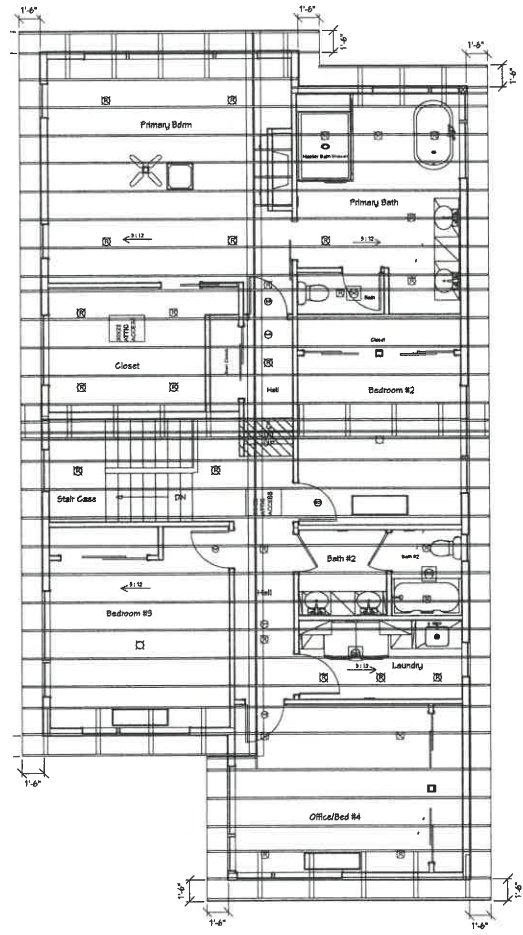
Plans for New SFR
Roof Plan
Parcel #3704062543720000

DRAWINGS PROVIDED BY:
Cornerstone - DCCS LLP
2024 Kenniluck Pt NE
Renton, WA 98056
360-420-6394

DATE:
5/13/2026
SCALE:
1/4"=1'
SHEET:
A-4



2nd Floor Roof Layout



3rd Floor Roof Layout

Item 17
Pg 14 of 18

LAYOUT PAGE TABLE		
LABEL	TITLE	COMMENTS
P-1	COVER SHEET	
P-2	SITE PLAN	
P-3	SV-LANDSCAPE PLAN	
A-1	FOUNDATION/BASEMENT PLAN	
A-2	FLOOR PLANS	
A-3	FLOOR PLANS	
A-4	ROOF PLAN	
E-1	EXTERIOR ELEVATIONS	
E-2	EXTERIOR ELEVATIONS	
E-3	EXTERIOR ELEVATIONS	
D-1	DETAILS PAGE 1	
D-3	WSEC SHEET	



Job Location:
 3 Maple Ct
 Bellingham MA
 J-5V-3 Maple Ct

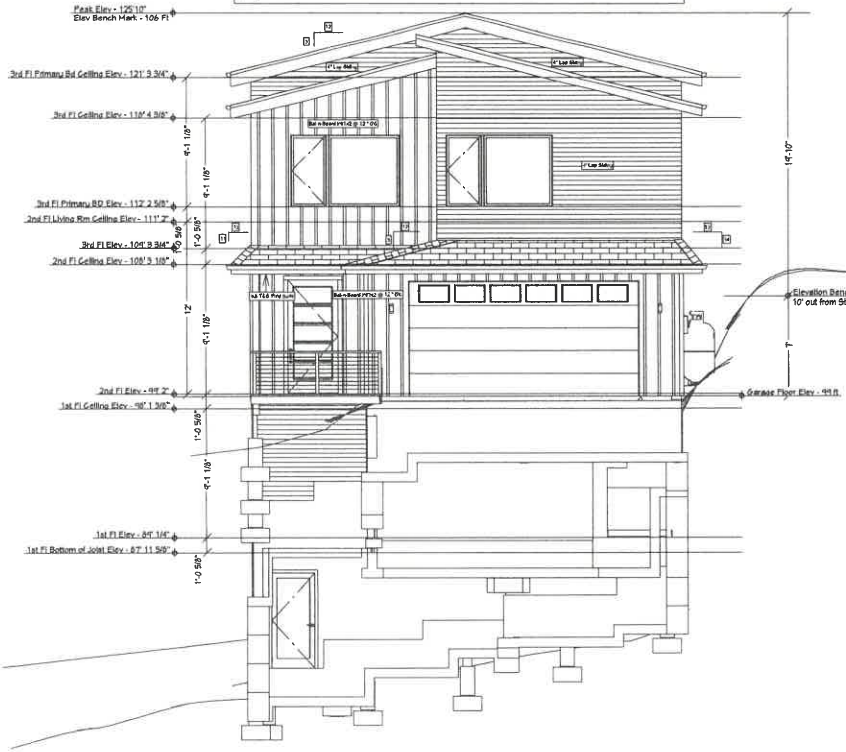


Plans for New SFR
 Exterior Elevations
 Parcel #370-062543720000

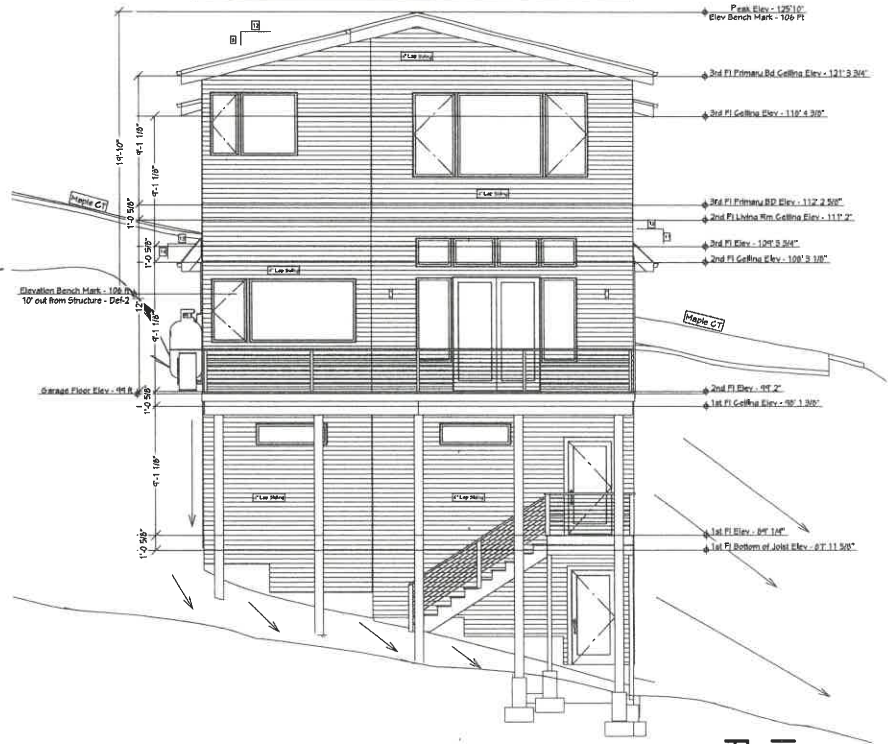
DRAWINGS PROVIDED BY:
 Cornerstone - DCCS LLP
 2024 Kennelick Pkine
 Renton, WA 98056
 360-320-6584

DATE:
 5/13/2026
 SCALE:
 1/4" = 1'
 SHEET:
 E-1

West / Front Elevation Scale = 1/4" = 1'



East / Back Elevation Scale = 1/4" = 1'



Item 17
 Pg 15 of 18

LAYOUT PAGE TABLE		
LABEL	TITLE	COMMENTS
P-1	COVER SHEET	
P-2	SITE PLAN	
P-3	SV-LANDSCAPE PLAN	
A-1	FOUNDATION/BASEMENT PLAN	
A-2	FLOOR PLANS	
A-3	FLOOR PLANS	
A-4	ROOF PLAN	
E-1	EXTERIOR ELEVATIONS	
E-2	EXTERIOR ELEVATIONS	
E-3	EXTERIOR ELEVATIONS	
D-1	DETAILS PAGE 1	
D-3	WSEC SHEET	



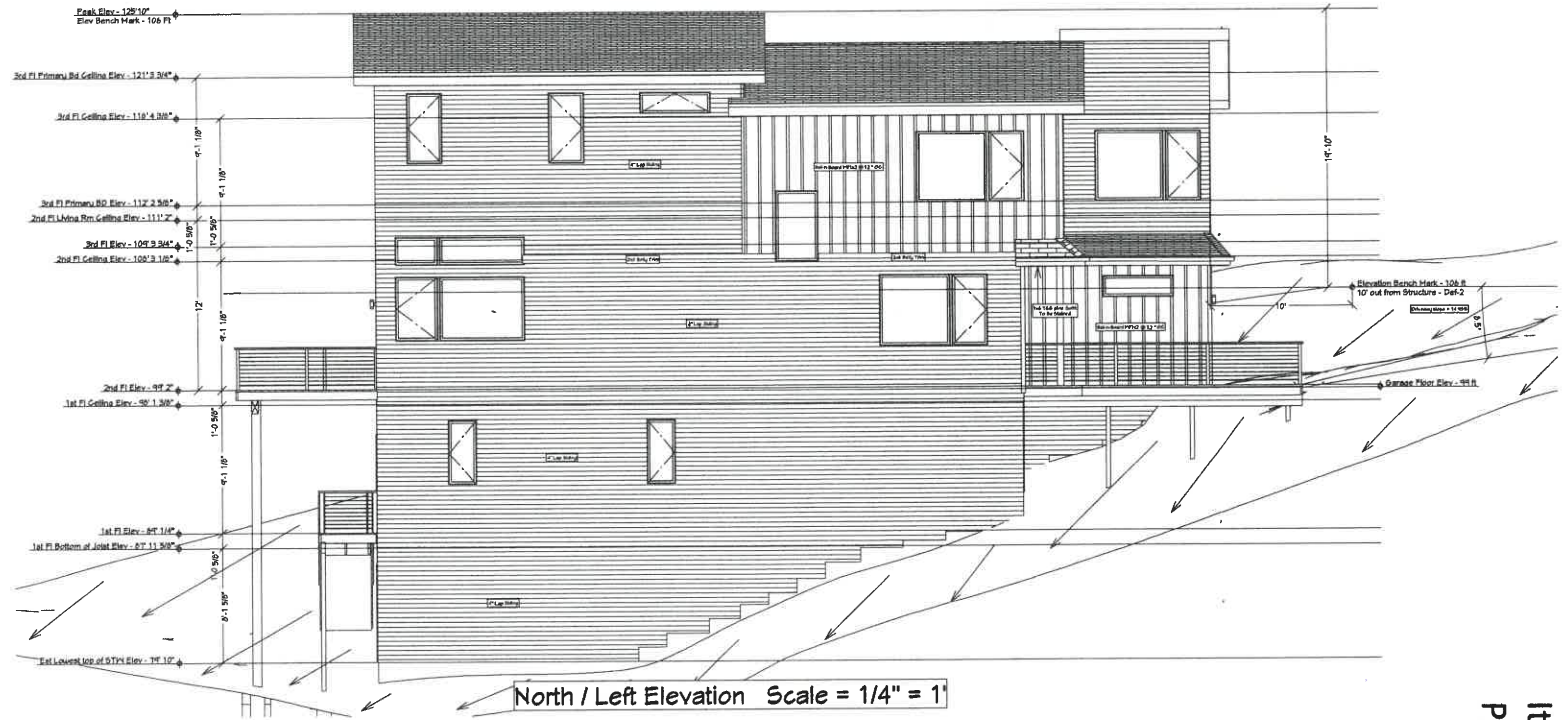
Job Location:
 3 Maple Ct
 Bellingham Wa
 J-SV-3 Maple Ct



Plans for New 3FR
 Exterior Elevations
 Parcel 183704062543720000

DRAWINGS PROVIDED BY:
 Cornerstone - LLC
 2000 1st Ave NE
 Renton, WA 98056
 360-320-6884

DATE:
 5/13/2026
 SCALE:
 1/4"=1'
 SHEET:
 E-2



North / Left Elevation Scale = 1/4" = 1'

Item 17
 Pg 16 of 18

RECEIVED
MAY 11 2026

Sudden Valley Community Association Exterior Alteration Request

Item 18
Pg 1 of 4
G3

Street Address: 4 DEER RUN LANE Div 16 Lot 111
Owner: ERIC LOVELL + TRAVIS HINTON
Mailing Address: 4 DEER RUN LANE BELLINGHAM WA 98229
Phone: ~~206 877 1111~~ Email: ~~ericlovell@acc.suddenvalley.com~~

Requests will not be considered unless the street address is clearly displayed on the residence.
Please note that in the week(s) following request submittal, ACC members may visit and review property.

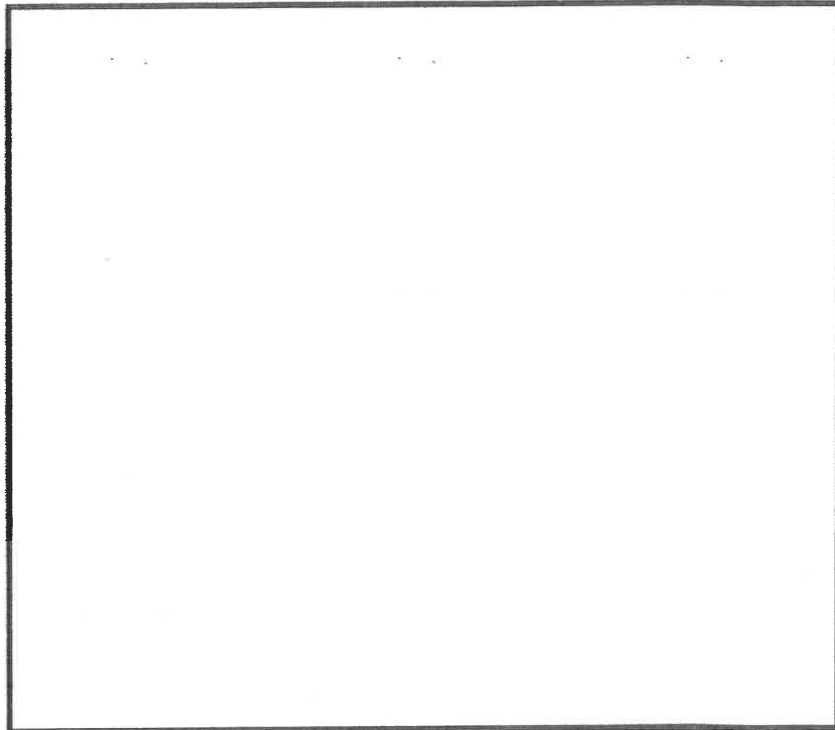
Requested for:

- Existing home
- New construction

The change would affect:

- Exterior appearance
- Drainage/Erosion control
- Open space & Lot coverage
- Setbacks to property line
- Structure height

Please refer to ACC Guidelines
14.2 and 14.11 and for more
information.



Give a full description of the request and attach any additional information if needed:

THIS REQUEST IS FOR A LANDSCAPING IMPROVEMENT
PROJECT TO CONSTRUCT RETAINING WALLS TO CONTROL
EROSION IN OUR FRONT YARD. PLEASE SEE THE
ATTACHED PROJECT DESCRIPTION + EMAIL WITH SKETCH
TO SEE WHAT IS BEING PROPOSED.

This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature:

Date: 5/11/26

PROJECT DESCRIPTION

Item 18
Pg 2 of 4

Eric Lovell

4 Deer Run Lane, Bellingham, WA 98229

Project Overview

Green Earth Landscapes will be completing a professionally designed retaining wall and erosion control landscape improvement project at the above property. The primary goal of this project is to prevent ongoing erosion, protect the property from future land movement, improve structural stability, and enhance the overall appearance of the landscape while maintaining a natural, cohesive design.

Scope of Work

Left Side of Property (Facing the House):

- Installation of a 3-tier lakeside rock retaining wall system designed to stabilize the slope and prevent further erosion.
- Each tier will be carefully constructed to provide both structural support and an attractive, natural appearance.
- Low-maintenance ferns and carefully selected plants will be installed between tiers to enhance aesthetics without creating excessive pressure on the retaining walls. Planting density will be intentionally moderate to preserve wall integrity while providing a clean, beautiful landscape design.
- Installation of access steps leading to the upper tier for safe and practical use of the area.
- Placement of additional lakeside rock near the upper deck area to further reduce erosion currently occurring near the top slope.
- Construction of an additional retaining wall adjacent to the existing stairway to improve slope support and reduce visibility of the under-space beneath the home.
- Installation of hedges within the planting beds of the stairway retaining wall to create natural visual screening, improve appearance, and further reduce visibility beneath the home while maintaining a polished landscape design.

Driveway Enhancements:

- Installation of cobble rock borders along both sides of the driveway to improve drainage control, reduce erosion, and create a polished landscape border.

PROJECT DESCRIPTION

Item 18
Pg 3 of 4

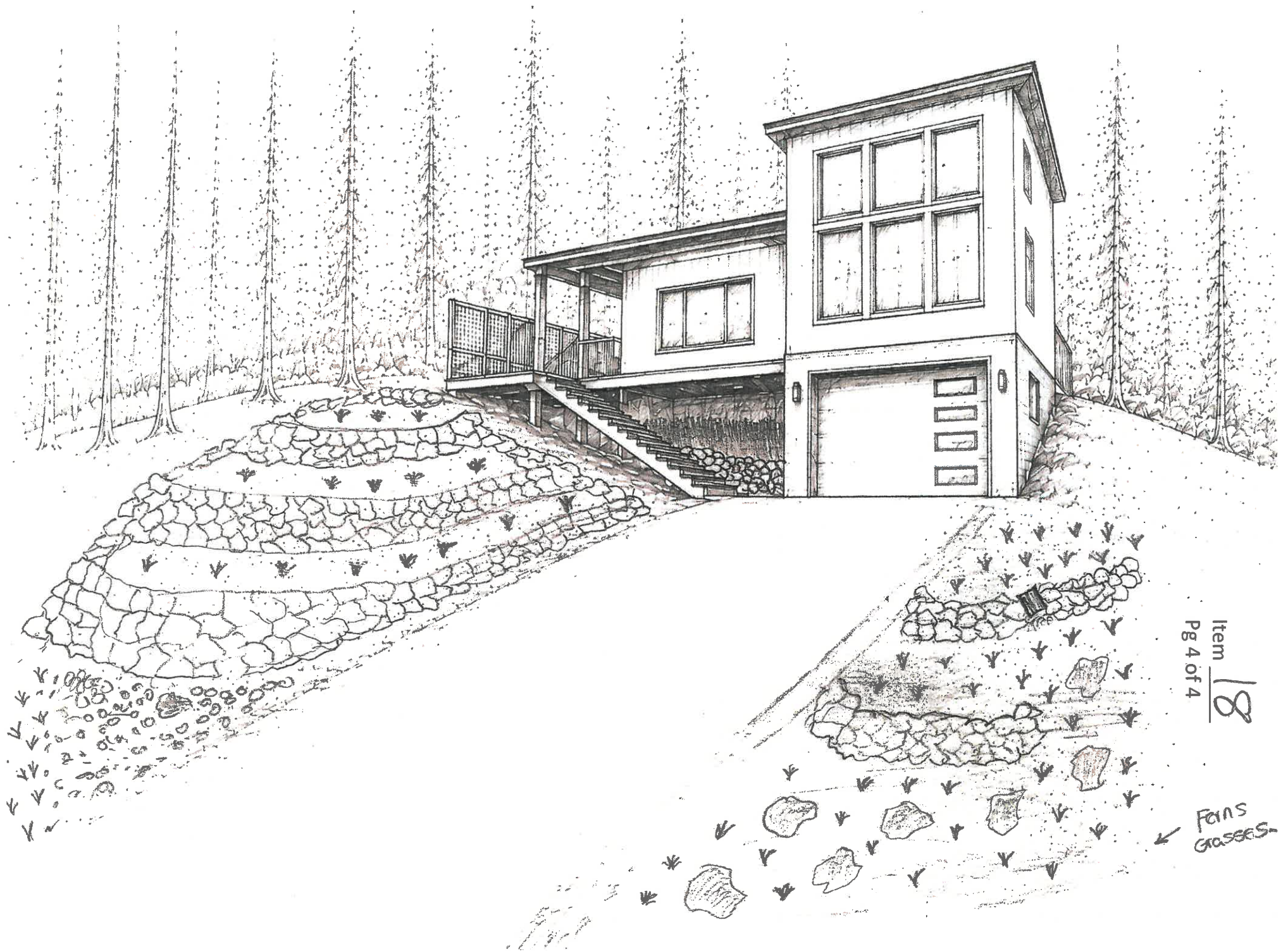
Right Side of Property (Facing the House):

- Installation of two smaller retaining walls:
 - One wall consisting of approximately two layers of rock
 - One wall consisting of approximately one layer of rock
- These retaining walls will provide additional erosion support while complementing the overall property design.
- Installation of low-maintenance ferns and plants in these sections, along with strategically placed boulders, to create a natural, visually appealing landscape while minimizing future maintenance.

Project Purpose

This project is specifically designed to:

- Prevent and reduce erosion
- Protect the property and surrounding structures
- Improve slope stability
- Enhance curb appeal and overall landscape aesthetics
- Incorporate practical drainage and long-term land preservation solutions



Item
Pg 4 of 4

18

Ferns
Grasses

Rec'd 05/11/2026
12:12 PM

Resubmission from the ACC Meeting on 05/07/2026

Sudden Valley Community Association Fence Request


Item 19
Pg 1 of 3
G3

Street Address: 29 Maple Ct Div 22 Lot 188
Owner: Katrina Munsterman
Mailing Address: 29 Maple Ct Bellingham WA 98229
Phone: [REDACTED] Email: [REDACTED]

Requests will not be considered unless the street address is clearly displayed on the residence.
Please note that in the week(s) following request submittal, ACC members may visit and review property.

Intended use: Privacy Protection Pet Enclosure
Fence type: Split Rail Wood and Wire Vegetative Hedge Other

On the diagram below, please indicate the road, property line, house, fence outline with dimensions, and any proposed vegetative screening (may attach larger sketch if needed).



This is a resubmission to add 3 gates to keep my dog contained on my property:

2 gates in the back of the house connected to a 7' tall retaining wall to create a dog run.

1 gate at the front of the house on the top deck to allow my dog to be on the deck (photo here on left shows temporary baby gate, and my dog Jasper)

**Corners of the proposed fence MUST be staked prior to submittal.
Please refer to ACC Guideline 14.6.8 for more information.**

Give a full description, additional considerations, and attach additional information if needed:
5' ft tall gates on either side of the back of the house (attached to retaining wall) to secure dog run.

Gates constructed of 4x4" hog wire panel fence with cedar trim and 4x4" posts

Gate at top stairs of deck, 3' tall with white trim and cable railing to match deck

This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: Katrina Munsterman Date: 4/30/2026

AC Staff Comments: _____

Item 19
Pg 2 of 3



This is the right side of house (from street) to completely enclose the backyard dog run.



This is the left side of house (from street), gate will be connected to retaining wall.



MAPLE CT ROAD

Approx. Property Line in Red
Retaining Wall in Blue

THREE GATES IN WHITE

Minutes of the 5/7 ACC Mtg.

Item – 31	29 Maple Ct, G3, Fence (Pet)	Video 00:12:02 – 00:20:33
Comments:	Resubmit with alternate suggestions.	
Discussion:		
Action:	Denied	Motion: Patric Unanimous

RECEIVED

MAY 12 2026

Sudden Valley Community Association Fence Request

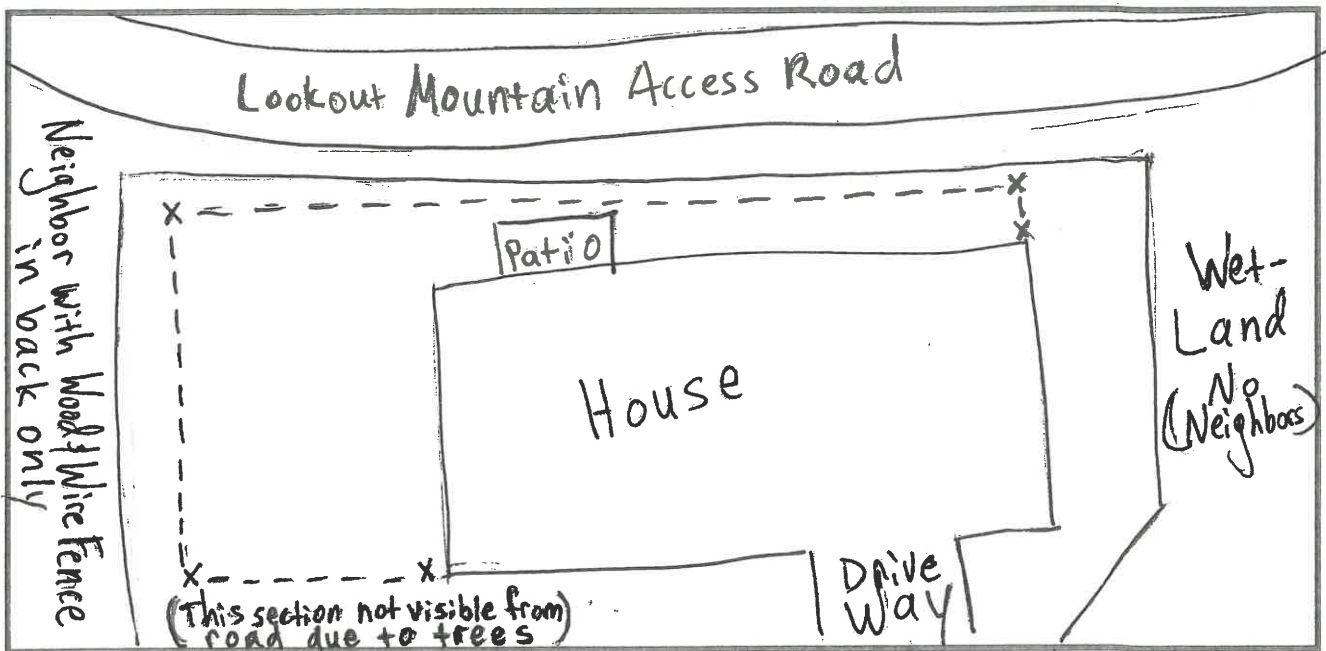
Item 20
Pg 1 of 2
G5

Street Address: 8 Shetland Court Div 24 Lot 94
Owner: Megan and William Trumper
Mailing Address: Same as above
Phone: ~~XXXXXXXXXX~~ Email: ~~XXXXXXXXXXXXXXXXXXXX~~

Requests will not be considered unless the street address is clearly displayed on the residence.
Please note that in the week(s) following request submittal, ACC members may visit and review property.

Intended use: Privacy Protection Pet Enclosure
Fence type: Split Rail Wood and Wire Vegetative Hedge Other

On the diagram below, please indicate the road, property line, house, fence outline with dimensions, and any proposed vegetative screening (may attach larger sketch if needed).



Corners of the proposed fence MUST be staked prior to submittal.
Please refer to ACC Guideline 14.6.8 for more information.

Dead End
(Trail Access) →

Give a full description, additional considerations, and attach additional information if needed:

Due to the fact that this parcel shares a property line with the County Park, my goal is twofold: keep dogs from accessing trail to minimize impact to hikers/bikers & wildlife, while making fence as invisible as possible to →

This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations. Cont. on back.

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: [Signature] Date: 05/11/2026

AC Staff Comments: _____

maintain the viewshed for those recreating in the park. To fulfill both of these goals, with the added benefit of discouraging hikers/bikers from accessing the property, I plan to build a wire fence without wood framing and planting a hedge around the entire exterior perimeter of the fence using native plants only. This will create a physical barrier that blends seamlessly with the surrounding forest. As a naturalist and environmental educator by trade, my desire is to minimize my impact to the local ecosystem as much as possible.

Item 20
Pg 2 of 2

Rec'd 05/14/2026
10:09 AM

Sudden Valley Community Association Fence Request

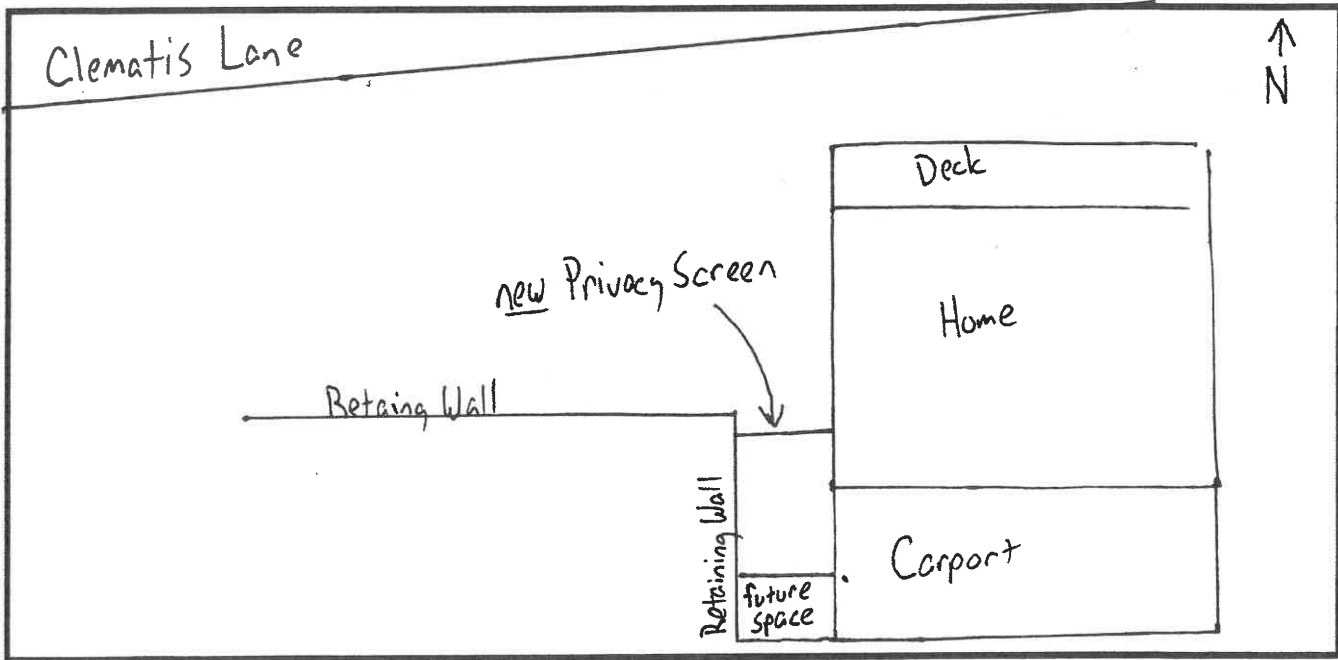
Item 21
Pg 1 of 2
G5

Street Address: 18 Clematis Lane Div 25 Lot 95
Owner: Adam Moore
Mailing Address: 18 Clematis Lane, Bellingham, WA 98229
Phone: 425-200-5060 Email: ekammake@gmail.com

Requests will not be considered unless the street address is clearly displayed on the residence.
Please note that in the week(s) following request submittal, ACC members may visit and review property.

Intended use: Privacy Protection Pet Enclosure
Fence type: Split Rail Wood and Wire Vegetative Hedge Other/Privacy Screen

On the diagram below, please indicate the road, property line, house, fence outline with dimensions, and any proposed vegetative screening (may attach larger sketch if needed).



**Corners of the proposed fence MUST be staked prior to submittal.
Please refer to ACC Guideline 14.6.9 for more information.**

Give a full description, additional considerations, and attach additional information if needed:

I would like to add a Privacy Screen as indicated in drawing. The width would span from the existing retaining wall to the house; which is 68". The height would be 6' or less. I plan to turn that nook & "future space" into a more functional area (i.e bbq). I would like the screen → to function like a gate.

This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: [Signature] Date: 5/14/26

AC Staff Comments: _____



Item _____
Pg 2 of 2

Rec'd 05/14/2026
10:04 AM

Sudden Valley Community Association Exterior Alteration Request

Item **23**
Pg 1 of 1
G9

Street Address: 28 Honeycomb Lane Div 13 Lot 15
Owner: Brad Edwards / Kevin Kinn
Mailing Address: same as above
Phone: ~~408 229 1111~~ Email: ~~bradedwards@svcc.com~~

Requests will not be considered unless the street address is clearly displayed on the residence.
Please note that in the week(s) following request submittal, ACC members may visit and review property.

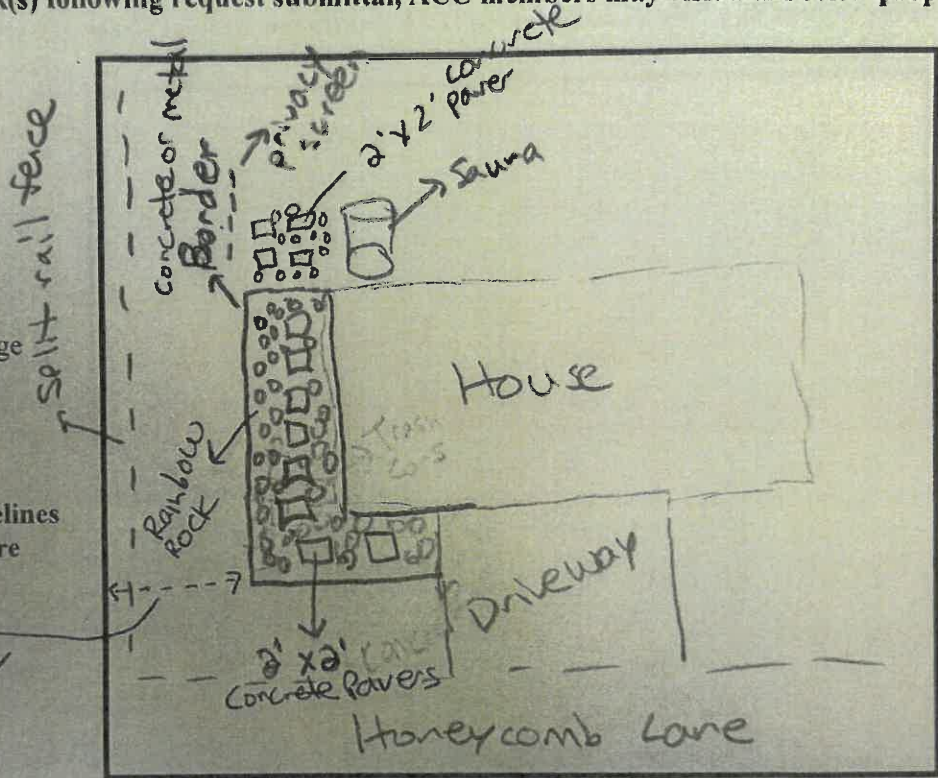
Requested for:

- Existing home
- New construction

The change would affect:

- Exterior appearance
- Drainage/Erosion control
- Open space & Lot coverage
- Setbacks to property line
- Structure height

Please refer to ACC Guidelines 14.2 and 14.11 and for more information.



Give a full description of the request and attach any additional information if needed:

Hi. We already had approval to put in a sauna and a privacy screen in our backyard. This request is for the final touches of a path from the driveway that leads down the side of the house to the sauna in the backyard. The path will be 7 feet of rainbow rock with a concrete or wood/metal border and 2'x2' concrete pavers down the middle. The whole path and border will be well within all setbacks.

This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: *Brad Edwards*

Date: 5/14/26

RECEIVED

MAY 08 2026

Sudden Valley Community Association Exterior Alteration Request

Item 24
Pg 1 of 2
G9

Street Address: 23 Cold Spring Lane Div 13 Lot 033
Owner: June G Kerr
Mailing Address: 23 Cold Spring Lane Bellingham, WA 98229
Phone: ~~360-100-1411~~ Email: ~~jkerr@jgkerr.com~~

Requests will not be considered unless the street address is clearly displayed on the residence.
Please note that in the week(s) following request submittal, ACC members may visit and review property.

Requested for:

- Existing home
- New construction

The change would affect:

- Exterior appearance
- Drainage/Erosion control
- Open space & Lot coverage
- Setbacks to property line
- Structure height

Please refer to ACC Guidelines 14.2 and 14.11 and for more information.



SW 7568
Neutral Ground

261-C5

Give a full description of the request and attach any additional information if needed:

I ask approval of taking care of defered maintenance on my new home

1) trim ^{change} color from present dark to you approved "SW 7568 Neutral Ground" to better fit in with environment.

2) re finish deck and railings also to better relate to rest of house

a) tiger wood deck remove peeling paint & finish with UV B: C ^{near by} recommended

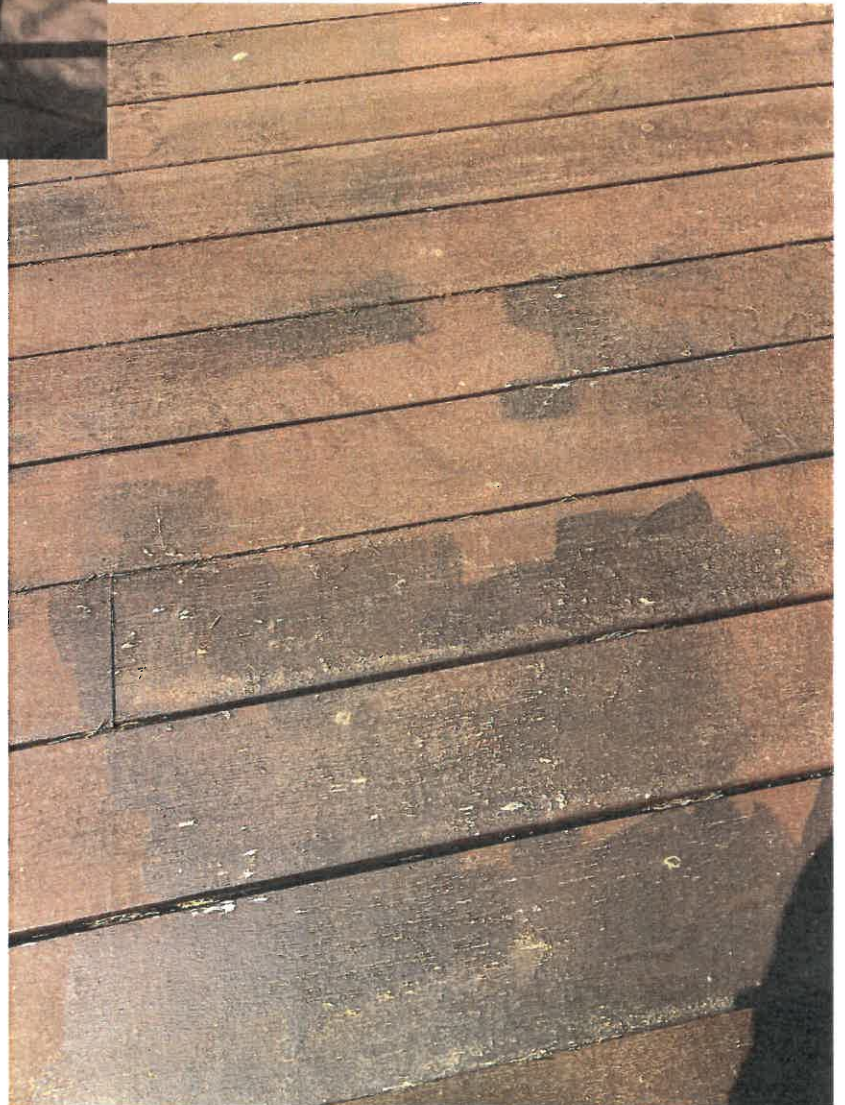
b) railings now part brown part black. comment to all black bowsheen rails & frame

This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: June G Kerr

Date: 5/8/2026



Rec'd 04/22/2026
3:28 PM

Sudden Valley Community Association Exterior Alteration Request

Item 25
Pg 1 of 2
G9

Street Address: 2 Cold Spring Ln Div 13 Lot 40/41
Owner: Jason & Elizaebeth Naylor
Mailing Address: 2 Cold Spring Ln Bellingham WA, 98229
Phone: ~~360-306-4927~~ Email: ~~jlnaylor@gmail.com~~

Requests will not be considered unless the street address is clearly displayed on the residence.
Please note that in the week(s) following request submittal, ACC members may visit and review property.

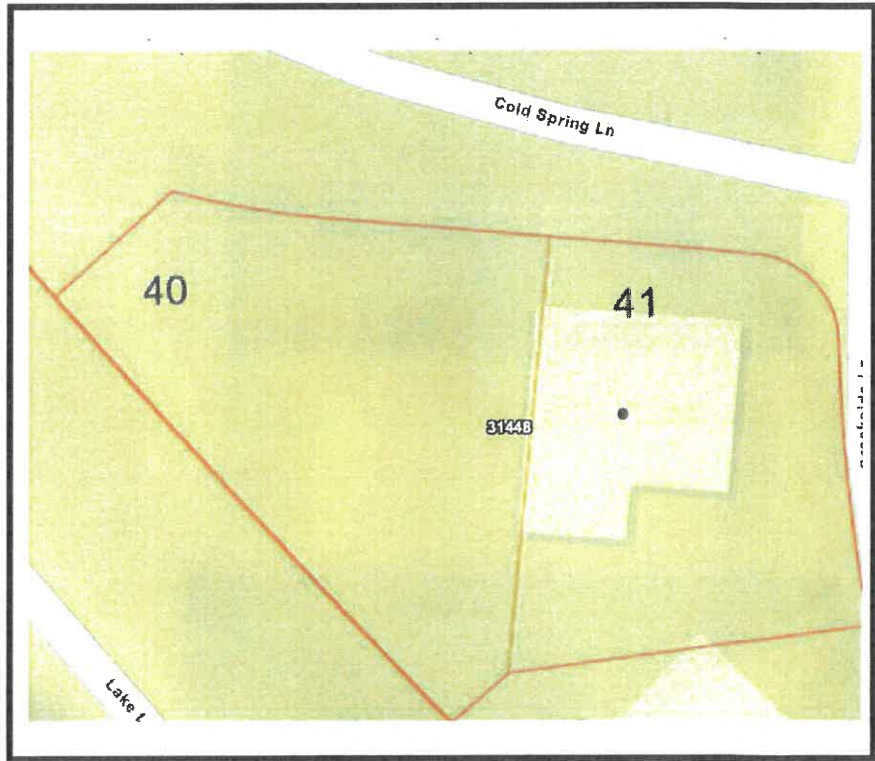
Requested for:

- Existing home
- New construction

The change would affect:

- Exterior appearance
- Drainage/Erosion control
- Open space & Lot coverage
- Setbacks to property line
- Structure height

Please refer to ACC Guidelines 14.2 and 14.11 and for more information.



Give a full description of the request and attach any additional information if needed:

Full Re-Roof on Residence. This includes new plywood (where Needed) and a "Like in Kind" *** shingle replacement. (see attached for shingle color) We are also having the roofing company replace outdated (Qty 1 2x4, & Qty 2 2x2) "like in Kind" Skylights, Along with new "Like in Kind" *** Gutters & downspouts on residence

This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: Jason Naylor Digitally signed by Jason Naylor
DN: C=US, E=jlnaylor@gmail.com, CN=Jason Naylor Date: 2026.04.22 14:39:56-07'00' Date: ~~4/22/2026~~ 5/14/2026

*** See new request

GAF TimberlineHDZ[®]
High Definition[®] Lifetime[®] Shingles

Nationally Available. Hi



Rec'd 05/04/2026
3:15 PM

Sudden Valley Community Association Extension and Re-Approval Request

Item 26
Pg 1 of 1
G13

Street Address: 10 Shooting Star Ct. Bellingham WA 98229 Div 9 Lot 41
Owner: ilya & svetlana shportko
Mailing Address: 6292 Fernridge Dr. Ferndale WA 98248
Phone: [REDACTED] Email: [REDACTED]

**Requests will not be considered unless the street address is clearly displayed on the residence.
Please note that in the week(s) following request submittal, ACC members may visit and review property.**

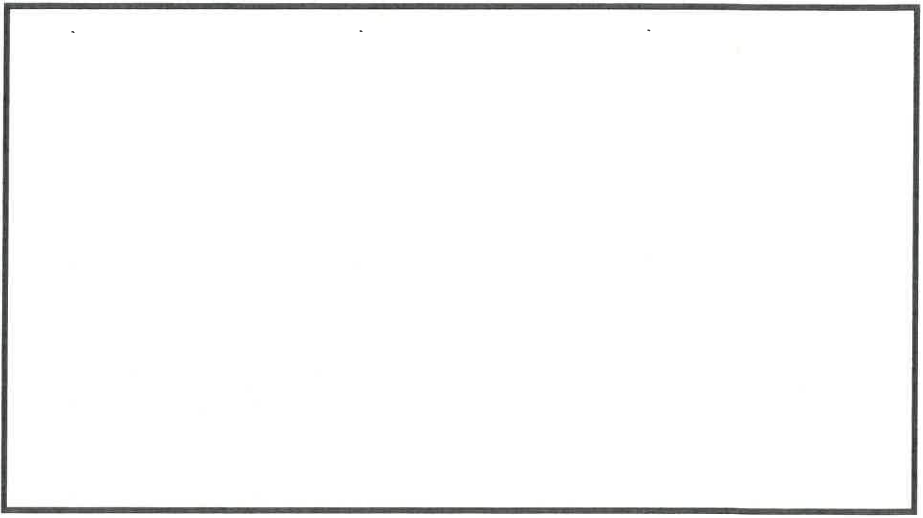
Requested for:

- Extension
- Re-approval

The change would affect:

- Start date
- Completion date

**Please refer to ACC Guideline
14.8 for more information.**



Give a full description of the request, a detailed timeline, and attach any additional information if needed: I would like to extend my completion date for one month.

This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.

Owner Signature: ILYA SHPORKO  Date: 05/04/2026

AC Staff Comments: _____

Rec'd 05/14/2026
9:59 AM

Sudden Valley Community Association Exterior Alteration Request

Item 27
Pg 1 of 1
G13

Street Address: 8 shooting star ct, Bellingham, WA 98229 Div 9 Lot 42
 Owner: Vyacheslav Shportko
 Mailing Address: 996 W smith rd, Bellingham, WA 98226
 Phone: [REDACTED] Email: [REDACTED]

Requests will not be considered unless the street address is clearly displayed on the residence.
 Please note that in the week(s) following request submittal, ACC members may visit and review property.

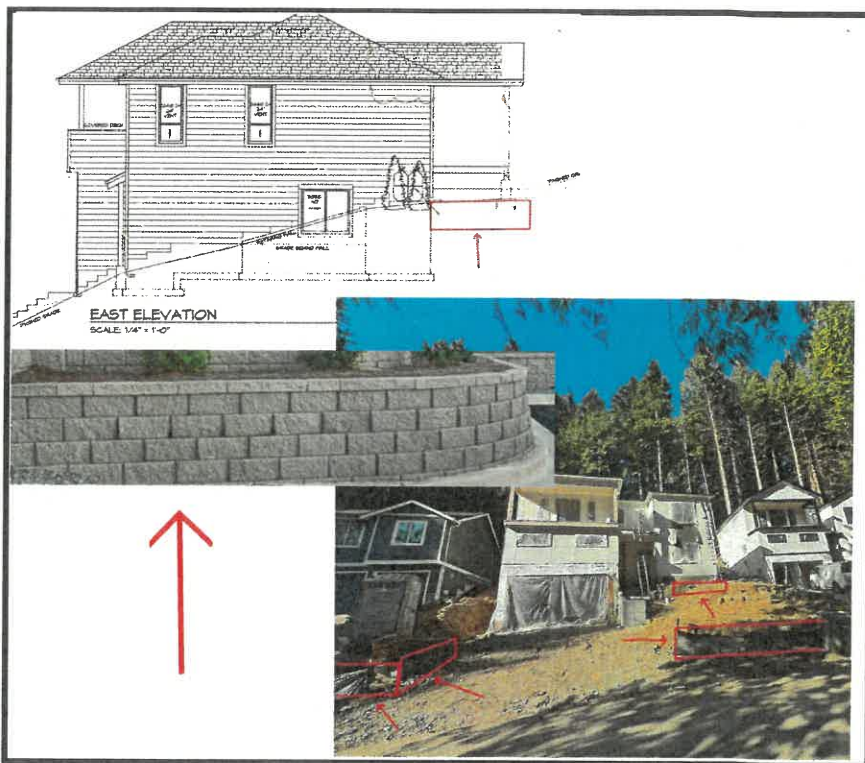
Requested for:

- Existing home
- New construction

The change would affect:

- Exterior appearance
- Drainage/Erosion control
- Open space & Lot coverage
- Setbacks to property line
- Structure height

Please refer to ACC Guidelines 14.2 and 14.11 and for more information.



Give a full description of the request and attach any additional information if needed:

We are asking for approval to build retaining walls on the property because the land is very steep.

16" tall wall on the left side of house & right side in front of home. Each block is 8 inch x 18 inch.

24" tall in the front by the road. Will have 4" tall caps. Will use 2" drain pipe for the retaining walls.

Item - 40	8 Shooting Star Ct, G13, Const Change (Retaining Walls)	Video 02:22:22 - 02:31:27
Comments:	Provide a more detailed landscape plan describing the retaining wall (i.e., placement, height, width,	
Discussion:	Draining plans, etc.)	
Action:	Denied	Motion: Dan Unanimous

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: Vyacheslav Shportko

Date: 5/14/2026