



# Sudden Valley Community Association Architectural Control Committee

Date 06/04/2026

Time 9:00 AM

Location - Zoom

## Agenda

Type of meeting: Request and Plan Review

Facilitator: Daniel Rodriguez, Chair

Committee Attendees:

Excused Absence:

Attendees:

Observers:

Item – 1	Approval of 06/04/2026 ACC Meeting Agenda
Item – 2	Property Owner Comments
Item – 3	Consent Agenda – Approval of the 05/21/2026 ACC Meeting Minutes
Item – 4	10 Inlet Cir, G1, Const Change (Move path, Add pad)
Item – 5	5 Spinnaker Ln, G1, Const Change (Fence, Deck Stairs, Gravel Pad)
Item – 6	11A Par Ln, G1, Ext Alt (Retaining Wall)
Item – 7	8 Lake Louise Dr, G2, Const Change (D/W Slope)
Item – 8	30 Lake Louise Dr, G2, Ext Alt (Deck)
Item – 9	30 Lake Louise Dr, G2, Variance (Set-back & Coverage)
Item – 10	32 Lake Louise Dr, G2, New Construction, <b>Resubmission</b>
Item – 11	10 Lookout Mt Ln, G3, Variance
Item – 12	14 Deer Run Ln, G3, Const Change (D/W, Retaining Wall, Paint)
Item – 13	1 Green Hill Rd, G3, Ext Alt (Free Library) <b>Resubmission</b>
Item – 14	122 Harbor View Dr, G3, Ext Alt (Greenhouse)
Item – 15	8 Shetland Ct, G5, Fence (Pet) <b>Resubmission</b>
Item – 16	4 Arabian Way, G5, Ext Alt (Retaining Wall)
Item – 17	312 Sudden Valley Dr, G9, Const Change (Siding Color & Style)
Item – 18	142 Harbor View Dr, G13, Tree (Remove 1)
Item – 19	1 Dawn Break Ct, G13, Ext Alt (Paint)

**Meeting Called to Order 00:00 AM**

<b>Item – 1</b>	Approval of 06/04/2026 ACC Meeting Agenda	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

<b>Item – 2</b>	Property Owners Comments	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

<b>Item – 3</b>	Consent Agenda – Approval of the 05/21/2026 ACC Meeting Minutes	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

<b>Item – 4</b>	10 Inlet Cir, G1, Const Change (Move path, Add pad)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

<b>Item – 5</b>	5 Spinnaker Ln, G1, Const Change (Fence, Deck Stairs, Gravel Pad)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

<b>Item – 6</b>	11A Par Ln, G1, Ext Alt (Retaining Wall)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

<b>Item – 7</b>	8 Lake Louise Dr, G2, Const Change (D/W Slope)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

<b>Item – 8</b>	30 Lake Louise Dr, G2, Ext Alt (Deck)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

<b>Item – 9</b>	30 Lake Louise Dr, G2, Variance (Set-back & Coverage)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

<b>Item – 10</b>	32 Lake Louise Dr, G2, New Construction, <i>Resubmission</i>	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

<b>Item – 11</b>	10 Lookout Mt Ln, G3, Variance	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

<b>Item – 12</b>	14 Deer Run Ln, G3, Const Change (D/W, Retaining Wall, Paint)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

<b>Item – 13</b>	1 Green Hill Rd, G3, Ext Alt (Free Library) <i>Resubmission</i>	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

<b>Item – 14</b>	122 Harbor View Dr, G3, Ext Alt (Greenhouse)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

<b>Item – 15</b>	8 Shetland Ct, G5, Fence (Pet) <i>Resubmission</i>	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

<b>Item – 16</b>	4 Arabian Way, G5, Ext Alt (Retaining Wall)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

<b>Item – 17</b>	312 Sudden Valley Dr, G9, Const Change (Siding Color & Style)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

<b>Item – 18</b>	142 Harbor View Dr, G13, Tree (Remove 1)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

<b>Item – 19</b>	1 Dawn Break Ct, G13, Ext Alt (Paint)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

**Meeting Adjourned at 00:00 AM**



# Sudden Valley Community Association Architectural Control Committee

Date 05/21/2026

Time 5:00 PM

Location - Multi-Purpose Room "A"

## Minutes

<b>Type of meeting:</b>	Request and Plan Review
<b>Facilitator:</b>	Daniel Rodriguez
<b>Committee Attendees:</b>	Jo Jean Kos, Patric Zwolenski, Dan Vink, Terry Niblack
<b>Excused Absence:</b>	
<b>Attendees:</b>	Jerry Gangle, Allen Helvajian
<b>Observers:</b>	Parker Sutton (Items 5, 6 & 7), Amy O'Brien (Item 13), Danny Stark (Item 15), Jeffrey & Suzanne Mildner (Item 16), Chad Schmitt & Denis Pavliuk (Item 17), Slav Shportko (Item 27), Mark Chernomoret (312 Sudden Valley Drive), Liz Stambaugh

Item – 1	Approval of 05/21/2026 ACC Meeting Agenda
Item – 2	Property Owner Comments
Item – 3	Consent Agenda – Approval of the 05/07/2026 ACC Meeting Minutes
Item – 4	6 Caddie Ln, G1, Ext Alt (Paint)
Item – 5	12 Par Ln, G1, Fence (Protection)
Item – 6	12 Par Ln, G1, Variance (Height)
Item – 7	12 Par Ln, G1, Variance (Set-back)
Item – 8	16 Valley View Cir, G2, Ext Alt (Parking & Siding)
Item – 9	16 Valley View Cir, G2, Ext Alt (Tiered Remodel)
Item – 10	9 Marigold Dr, G2, New Construction
Item – 11	9 Marigold Dr, G2, Variance (Property Coverage)
Item – 12	15 Grand View Ln, G2, Fence (Protection & Pet)
Item – 13	2 Hawks Hill Pl, G3, Tree (Remove 1)
Item – 14	43 Rocky Ridge Dr, G3 Variance (Pet Fence)
Item – 15	80 Sudden Valley Dr, G3, Tree (Remove 6 3)
Item – 16	26 Basin View Cir, G3, Ext Alt (Detached Garage) <i>In Concept Resubmission</i>
Item – 17	3 Maple Ct, G3, New Construction
Item – 18	4 Deer Run Ln, G3, Ext Alt (Landscaping & Retaining Wall)
Item – 19	29 Maple Ct, G3, Fence (Pet) <i>Resubmission</i>
Item – 20	8 Shetland Ct, G5, Fence (Pet)
Item – 21	18 Clematis Ln, G5, Fence (Privacy)
Item – 22	22 Berry Wood Pl, G9, Fence (Pet)



<b>Item – 23</b>	28 Honeycomb Ln, G9, Ext Alt (Pathway)
<b>Item – 24</b>	23 Cold Spring Ln, G9, Ext Alt (Paint, Refinish Deck & Railing)
<b>Item – 25</b>	2 Cold Spring Ln, G9, Ext Alt (Replace Roof & Skylights)
<b>Item – 26</b>	10 Shooting Star Ct, G13, 1st Extension (New Home) <b>Six Months</b>
<b>Item – 27</b>	8 Shooting Star Ct, G13, Const Change (Ret Walls) <b>Resubmission</b>

**Meeting Called to Order 5:00 PM**

<b>Item – 1</b>	Approval of 05/21/2026 ACC Meeting Agenda	Video 00:00:17 – 00:00:34	
Comments:			
Discussion:			
Action:	Approved	Motion: Patric	Unanimous

<b>Item – 2</b>	Property Owner Comments	Video 00:01:06 – 00:01:20	
Comments:	N/A		
Discussion:			
Action:		Motion:	

<b>Item – 3</b>	Consent Agenda – Approval of the 05/07/2026 ACC Meeting Minutes	Video 00:01:24 – 00:01:43	
Comments:			
Discussion:			
Action:	Approved	Motion: Jo Jean	Unanimous

<b>Item – 4</b>	6 Caddie Ln, G1, Ext Alt (Paint)	Video 01:13:23 – 01:14:30	
Comments:			
Discussion:			
Action:	Approved	Motion: Patric	Unanimous

<b>Item – 5</b>	12 Par Ln, G1, Fence (Protection)	Video 00:05:05 – 00:22:22	
Comments:	Please resubmit with a new plan for the fence.		
Discussion:			
Action:	Denied	Motion: Dan	Unanimous

<b>Item – 6</b>	12 Par Ln, G1, Variance (Height)	Video 00:05:05 – 00:22:22	
Comments:			
Discussion:			
Action:	Denied	Motion: Dan	Unanimous

<b>Item – 7</b>	12 Par Ln, G1, Variance (Set-back)	Video 00:05:05 – 00:22:22	
Comments:			
Discussion:			
Action:	Denied	Motion: Dan	Unanimous



<b>Item – 8</b>	16 Valley View Cir, G2, Ext Alt (Parking & Siding)	Video 01:14:33 – 01:19:06	
Comments:	Remove the temporary parking at the conclusion of the project and restore the area to pre-construction		
Discussion:	conditions.		
Action:	Approved	Motion: Daniel	Unanimous

<b>Item – 9</b>	16 Valley View Cir, G2, Ext Alt (Tiered Remodel)	Video 01:19:20 – 01:23:20	
Comments:			
Discussion:			
Action:	Approved	Motion: Daniel	Unanimous

<b>Item – 10</b>	9 Marigold Dr, G2, New Construction	Video 01:23:23 – 01:29:20	
Comments:	When resubmitting, please include a Landscape Plan, an Arborist Report and more detailed engineering		
Discussion:	information about the retaining wall. ACC has concerns about the retaining wall and lot coverage number.		
Action:	Denied	Motion: Dan	Unanimous

<b>Item – 11</b>	9 Marigold Dr, G2, Variance (Property Coverage)	Video 01:23:23 – 01:29:20	
Comments:			
Discussion:			
Action:	Denied	Motion: Dan	Unanimous

<b>Item – 12</b>	15 Grand View Ln, G2, Fence (Protection & Pet)	Video 01:30:03 – 01:33:38	
Comments:	ACC recommends that the outer fence be replaced with an approved style when it's time to replace it.		
Discussion:			
Action:	Approved	Motion: Patric	Majority (One abstain and one denial)

<b>Item – 13</b>	2 Hawks Hill Pl, G3, Tree (Remove 1)	Video 00:01:56 – 00:02:30	
Comments:			
Discussion:			
Action:	Approved	Motion: Patric	Unanimous

<b>Item – 14</b>	43 Rocky Ridge Dr, G3 Variance (Pet Fence)	Video 01:33:54 – 01:35:18	
Comments:			
Discussion:			
Action:	Approved	Motion: Patric	Unanimous



<b>Item – 15</b>	80 Sudden Valley Dr, G3, Tree (Remove 6 3)		Video 00:23:24 – 00:28:53
Comments:	Tree designated as A-2 is approved to be removed. Trees A-1 and A-3 are approved to be cut down		
Discussion:	leaving 30' each as environmental nature snags.		
Action:	Approved	Motion: Terry	Unanimous

<b>Item – 16</b>	26 Basin View Cir, G3, Ext Alt (Detached Garage) <i>In Concept Resubmission</i>		Video 00:30:23 – 00:47:54
Comments:	Denied as submitted. Please resubmit design to help the ACC share and better understand your design		
Discussion:	vision (please include the lot line erasure as part of the approval request).		
Action:	Denied	Motion: Dan	Unanimous

<b>Item – 17</b>	3 Maple Ct, G3, New Construction		Video 00:48:38 – 01:02:15
Comments:			
Discussion:			
Action:	Approved	Motion: Patric	Unanimous

<b>Item – 18</b>	4 Deer Run Ln, G3, Ext Alt (Landscaping & Retaining Wall)		Video 01:35:30 – 01:36:30
Comments:			
Discussion:			
Action:	Approved	Motion: Patric	Unanimous

<b>Item – 19</b>	29 Maple Ct, G3, Fence (Pet) <i>Resubmission</i>		Video 01:36:33 – 01:38:47
Comments:			
Discussion:			
Action:	Approved	Motion: Daniel	Unanimous

<b>Item – 20</b>	8 Shetland Ct, G5, Fence (Pet)		Video 01:38:58 – 01:51:00
Comments:	Please reconsider the design with Wood & Wire fencing across the front and left sides.		
Discussion:			
Action:	Denied	Motion: Terry	Unanimous

<b>Item – 21</b>	18 Clematis Ln, G5, Fence (Privacy)		Video 01:51:03 – 01:52:03
Comments:			
Discussion:			
Action:	Approved	Motion: Patric	Unanimous



<b>Item – 22</b>	22 Berry Wood Pl, G9, Fence (Pet)	Video 01:52:05 – 01:52:34
Comments:		
Discussion:		
Action:	Denied	Motion: Terry Unanimous

**Zoom dropped and had to restart the recording. The below discussions are in recording 2 of 2.**

<b>Item – 23</b>	28 Honeycomb Ln, G9, Ext Alt (Pathway)	Video 00:00:07 – 00:00:27
Comments:		
Discussion:		
Action:	Approved	Motion: Patric Unanimous

<b>Item – 24</b>	23 Cold Spring Ln, G9, Ext Alt (Paint, Refinish Deck & Railing)	Video 00:00:46 – 00:01:14
Comments:		
Discussion:		
Action:	Approved	Motion: Dan Unanimous

<b>Item – 25</b>	2 Cold Spring Ln, G9, Ext Alt (Replace Roof & Skylights)	Video 00:01:19 – 00:01:48
Comments:		
Discussion:		
Action:	Approved	Motion: Dan Unanimous

<b>Item – 26</b>	10 Shooting Star Ct, G13, 1st Extension (New Home) <i>Six Months</i>	Video 00:02:00 – 00:02:07
Comments:		
Discussion:		
Action:	Approved	Motion: Terry Unanimous

<b>Item – 27</b>	8 Shooting Star Ct, G13, Const Change (Ret Walls) <i>Resubmission</i>	Video 01:02:33 – 01:12:24
Comments:	Please provide a site plan showing the placement of the retaining walls in relation to the property lines	
Discussion:	and the set-backs.	
Action:	Approved	Motion: Dan Unanimous

**Meeting Adjourned at 7:00 PM**

Rec'd 05/28/2026  
8:02 AM

# Sudden Valley Community Association Construction Change Request

Item 4  
Pg 1 of 3  
G1

Street Address: 10 Inlet Circle Bellingham WA 98229 Div #21 Lot #45  
Owner: William S JR & Suzanne C Davis  
Mailing Address: 1050 Larrabee Ave Suite 104 PMB 760  
Phone: [REDACTED] Email: [REDACTED]

Requests will not be considered unless the street address is clearly displayed on the residence.  
Please note that in the week(s) following request submittal, ACC members may visit and review property.

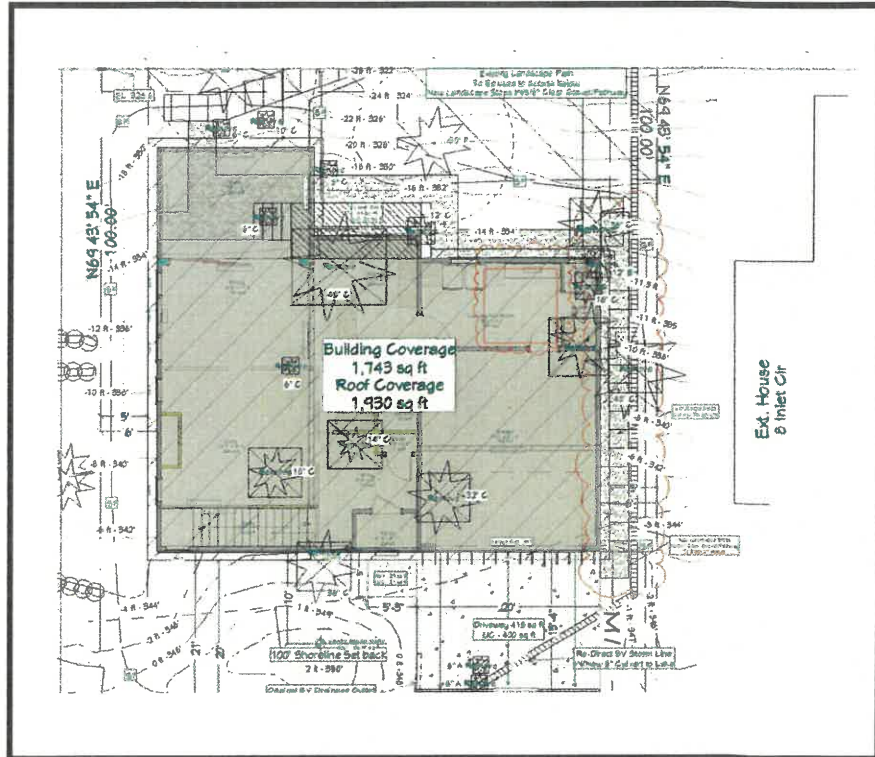
**Requested for:**

- Existing home
- New construction

**The change would affect:**

- Exterior appearance
- Drainage/Erosion control
- Open space & Lot coverage
- Setbacks to property line
- Structure height

Please refer to ACC Guidelines 14.2 and 14.11 and for more information.



Give a full description of the request and attach any additional information if needed:

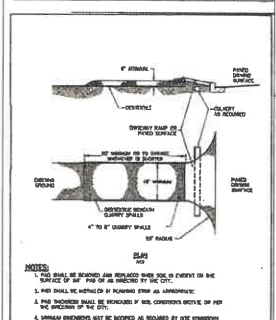
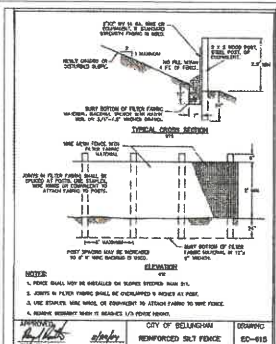
10 Inlet Circle is currently under construction and is approved for a gravel path with landscape stairs to go down the left side of the property. Based on the topography, we discovered creating a path down the left hand side is not feasible. We would therefore like to move the path to the right hand side. I have attached the original site plan as reference.

We would also like to add an 8x8 jacuzzi pad that would be entirely located underneath the overhang of the second story. This pad is outlined in red on the updated site plan.

*This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.*

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: William Davis Date: 5/27/2026



**BMP 75.13 "POST CONSTRUCTION SOIL QUALITY AND DEPTH"**  
 IN THE SUBSTITUTIONAL MANAGEMENT MANUAL FOR SUBSTITUTIONAL MANAGEMENT

**Purpose and Definition**  
 This BMP is designed to ensure that the soil quality and depth of the post-construction site is maintained or improved to the level of the pre-construction site. The purpose of this BMP is to ensure that the soil quality and depth of the post-construction site is maintained or improved to the level of the pre-construction site.

**1) A post-construction site is defined as any area of land that has been disturbed by construction activities and is currently or will be used for a purpose other than agriculture, forestry, or open space.**

**2) The purpose of this BMP is to ensure that the soil quality and depth of the post-construction site is maintained or improved to the level of the pre-construction site.**

**3) The purpose of this BMP is to ensure that the soil quality and depth of the post-construction site is maintained or improved to the level of the pre-construction site.**

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**24) The purpose of this BMP is to ensure that the soil quality and depth of the post-construction site is maintained or improved to the level of the pre-construction site.**

**25) The purpose of this BMP is to ensure that the soil quality and depth of the post-construction site is maintained or improved to the level of the pre-construction site.**

**26) The purpose of this BMP is to ensure that the soil quality and depth of the post-construction site is maintained or improved to the level of the pre-construction site.**

**Notes**

**Legal Description:**  
**SUDDEN VALLEY DIV 21 LOT 45**

Lot House	6,000 Sq Ft
Basement	986 Sq Ft
1st Floor	1,232 Sq Ft
2nd Floor	1,234 Sq Ft
Total Living	2,466 Sq Ft
Garage	423 Sq Ft
Cov. Front Porch	21 Sq Ft
Cov. Back Deck	0 Sq Ft
Open Lower Deck	34 Sq Ft
Building coverage	1,743 Sq Ft
Total % of Building	29%
Existing Stnd PG	
Roof Coverage	1,480 Sq Ft
Total % of Roof	32.2%
Un-Covered	
26 Sq Ft	
126 Sq Ft	
W/Shed 2,056 Sq Ft	
W/Shed 34.3%	
Un-Covered	
21 Sq Ft	
400 Sq Ft	
421 Sq Ft	
140 Sq Ft	
Slidewalk	25 Sq Ft
Driveway	415 Sq Ft
Total Hard Surface	443 Sq Ft
Landscape Pathway	386 Sq Ft
Total lot Coverage	2,541 Sq Ft
Total % Lot Coverage	42.5%
Total Open Landscape Space	57.1%

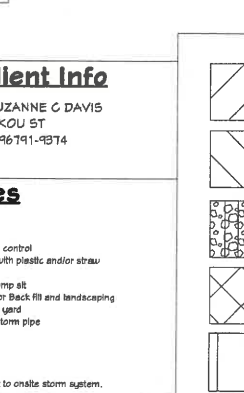
**Owner/Client Info**

**WILLIAM S JR & SUZANNE C DAVIS**  
 68-415 KIKOU ST  
 WAIALUA HI 96791-9374

**Notes**

Excavation:  
 - Erosion control  
 - Installation of all fence for erosion control  
 - All exposed material to covered with plastic and/or straw  
 - Est of Exposed material = 150 Yards  
 - To be back hauled to approved dump site  
 - Remaining DM to remain on site for Back Fill and landscaping  
 - Est Structural material Imported = 150 yd  
 - drain rock for perimeter Footing/Storm pipe  
 - Garage fill material  
 - Structural for Driveway  
 - Fill for porches

Storm Info:  
 - footing and downspout to connect to onsite storm system.



**Notes**

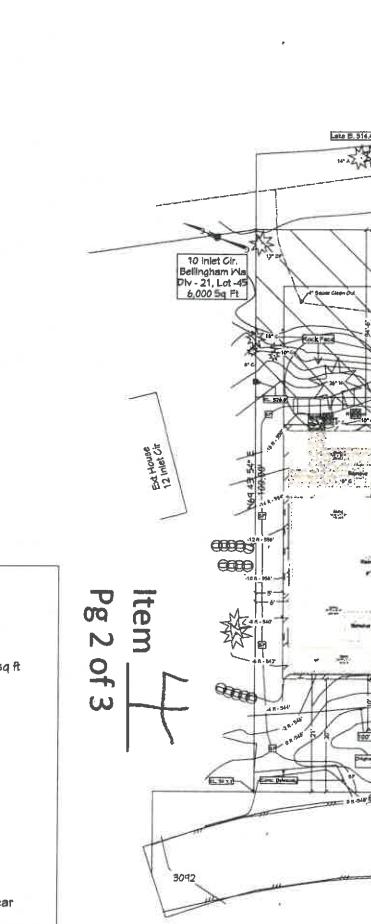
**Roof Coverage**

Landscape Mitigation Area 2,011 sq ft  
 50' From HW Mark  
 (WCC 23.50.070.M), WCC  
 23.40.060.B.3

**New Landscape Steps**  
 W5/8" Clear Gravel/Pathway

**4' wide Pervious Pathway to the Lake**

Existing Landscape Path  
 To Be used to access below  
 New Landscape Steps W5/8" Clear Gravel/Pathway



**LAYOUT PAGE TABLE**

TABLE	TITLE	COMMENTS
P-1	SITE PLAN	
P-2	SURVEY	
L-1	SV LANDSCAPE PLAN	
L-2	FOUNDATION PLAN	
A-2	MITIGATION PLAN	
A-3	1ST FLOOR PLAN	
L-4	2ND FLOOR PLAN	
A-5	ROOF PLAN	
E-1	EXTERIOR ELEVATIONS	
E-2	EXTERIOR ELEVATIONS	
D-1	DETAILS PAGE 1	
D-2	IWSEC SHEET	

**Job Location:**  
 10 Inlet Cir  
 Bellingham WA  
 J-SV-10 Inlet-Davis

**Plans for New SFR**

**Site Plan**

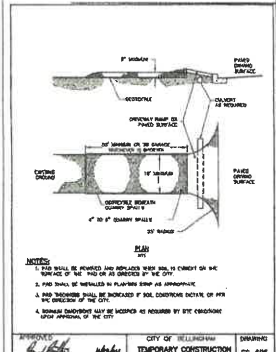
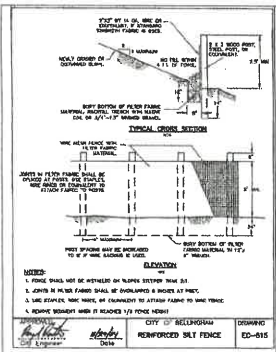
Parcel #: 31704051232490000

**DRAWINGS PROVIDED BY:**  
 Rubicon Homes  
 1050 Larrabee Ave S-104 PNB 760  
 Bellingham WA 98225  
 360-420-6394

**DATE:**  
 5/21/2026

**SCALE:**  
 1"=10'

**SHEET:**  
 P-1



**IMPACT 73 "POST CONSTRUCTION SOIL QUALITY AND DEPTH" AT THE SUBMITTAL MANAGEMENT PLAN FOR WESTERLY MANAGEMENT**

**Purpose and Definition:**  
 The purpose of this document is to provide a clear and concise definition of the terms used in the Submittal Management Plan (SMP) for Westerly Management. The definitions are intended to ensure that all parties involved in the project have a common understanding of the terms used in the SMP.

**Applications and Limitations:**  
 The definitions in this document apply to all documents and drawings submitted in connection with the project. The definitions are intended to be used as a guide and are not intended to be used as a substitute for the definitions in the SMP or other project documents.

**Notes**

1. FENCE SHALL BE INSTALLED ON NORTH SIDE OF LOT 45.

2. DRIVE IN REINFORCED SHALL BE INSTALLED IN NORTH SIDE OF LOT 45.

3. SIDE DRIVE, SIDE WALK, OR CONCRETE TO DRIVE SHALL BE INSTALLED IN NORTH SIDE OF LOT 45.

4. REINFORCED CONCRETE SHALL BE INSTALLED IN NORTH SIDE OF LOT 45.

**Notes**

1. FENCE SHALL BE INSTALLED ON NORTH SIDE OF LOT 45.

2. DRIVE IN REINFORCED SHALL BE INSTALLED IN NORTH SIDE OF LOT 45.

3. SIDE DRIVE, SIDE WALK, OR CONCRETE TO DRIVE SHALL BE INSTALLED IN NORTH SIDE OF LOT 45.

4. REINFORCED CONCRETE SHALL BE INSTALLED IN NORTH SIDE OF LOT 45.

**Whatcom County Accepted Codes**  
 15.04.010 Addition of referenced codes.  
 Pre-Construction Meeting Req'd Prior to Construction

All inspection requests submit through online portal prior to 5pm the day before Approved Plans On Site  
 Approved plans and specifications shall be kept on the site of building or work at all times per R106.3.1

ANY DEVIATION IN CONSTRUCTION FROM APPROVED PLANS REQUIRES PRIOR REVIEW AND APPROVAL.

Costs of Occupancy requests per IRC 502.10 (Local rules may vary from the referenced code)

Addresses shall be placed on all new and existing buildings and shall be plainly visible from the street or road per IRC 505.1

Revised for code compliance subject to field inspections, corrections and revisions of plan review

**Notes**

1. Excavation:  
 - Erosion control  
 - Installation of all fence for erosion control  
 - All exposed material to be covered with plastic and/or straw  
 - Erosion control material = 150 Yards  
 - To be back hauled to approved dump site  
 - Remaining dirt to remain on site for back fill and landscaping  
 - Erosion control material Imported = 150 yard  
 - drain rock for perimeter Footing/Storm pipe  
 - Gravel fill material  
 - Structural for Driveway  
 - Fill for porches

Storm Info:  
 - footing and downspout to connect to onsite storm system.

**Notes**

Roof Coverage  
 Landscape Mitigation Area 2,011 sq ft  
 50' From H/N Mark  
 (NCC 23.50.070.M), NCC  
 23.40.060.B.3

New Landscape Steps  
 1/15/8" Clear Gravel/Pathway

4' wide Pervious Pathway to the Lake

Existing Landscape Path  
 To be used to access below New Landscape Steps 1/15/8" Clear Gravel/Pathway

**Notes**

1. Excavation:  
 - Erosion control  
 - Installation of all fence for erosion control  
 - All exposed material to be covered with plastic and/or straw  
 - Erosion control material = 150 Yards  
 - To be back hauled to approved dump site  
 - Remaining dirt to remain on site for back fill and landscaping  
 - Erosion control material Imported = 150 yard  
 - drain rock for perimeter Footing/Storm pipe  
 - Gravel fill material  
 - Structural for Driveway  
 - Fill for porches

Storm Info:  
 - footing and downspout to connect to onsite storm system.

**Notes**

**Legal Description:**  
**SUDDEN VALLEY DIV 21 LOT 45**

Lot	6,000 Sq Ft	Un-Covered
House		
- Basement	466 Sq Ft	
- 1st Floor	1,014 Sq Ft	
- 2nd Floor	1,434 Sq Ft	
Total Living	3,414 Sq Ft	
Garage	422 Sq Ft	
Gov. Front Porch	21 Sq Ft	
Gov. Back Deck	230 Sq Ft	
Open Lower Deck	84 Sq Ft	
Building coverage	1,145 Sq Ft	
Total % of Building	24%	
Existing Shred RC		
Roof Coverage	1,430 Sq Ft	
Total % of Roof	32.2%	
Un-Covered		
Sidewalk	25 Sq Ft	
Driveway	418 Sq Ft	
Total Hard Surface	443 Sq Ft	
Landscape Pathway	386 Sq Ft	
Total lot Coverage	2,541 Sq Ft	
Total % Lot Coverage	42.3%	
Total Open/Landscape Space	51.7%	

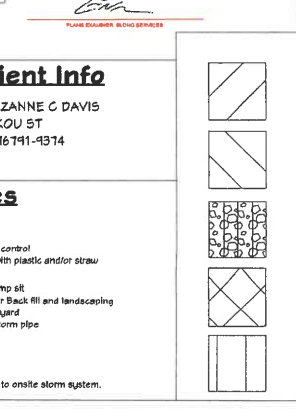
**Owner/Client Info**

WILLIAM S JR & SUZANNE C DAVIS  
 68-415 KIKOU ST  
 WAIALUA HI 96741-4374

**Notes**

Excavation:  
 - Erosion control  
 - Installation of all fence for erosion control  
 - All exposed material to be covered with plastic and/or straw  
 - Erosion control material = 150 Yards  
 - To be back hauled to approved dump site  
 - Remaining dirt to remain on site for back fill and landscaping  
 - Erosion control material Imported = 150 yard  
 - drain rock for perimeter Footing/Storm pipe  
 - Gravel fill material  
 - Structural for Driveway  
 - Fill for porches

Storm Info:  
 - footing and downspout to connect to onsite storm system.



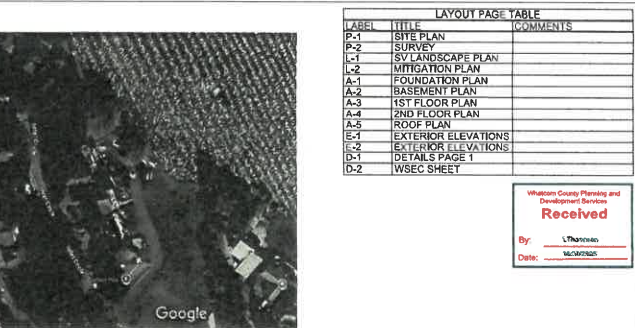
**Notes**

Roof Coverage  
 Landscape Mitigation Area 2,011 sq ft  
 50' From H/N Mark  
 (NCC 23.50.070.M), NCC  
 23.40.060.B.3

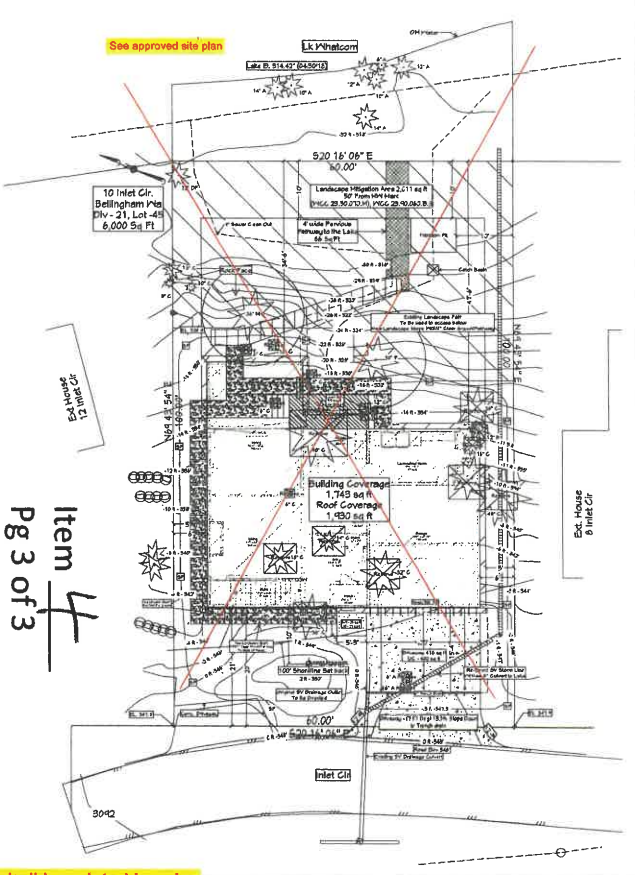
New Landscape Steps  
 1/15/8" Clear Gravel/Pathway

4' wide Pervious Pathway to the Lake

Existing Landscape Path  
 To be used to access below New Landscape Steps 1/15/8" Clear Gravel/Pathway



Pre-Construction meeting required prior to any work starting



Plans shall be printed in color

LAYOUT PAGE TABLE

LABEL	TITLE	COMMENTS
P-1	SITE PLAN	
P-2	SURVEY	
L-1	SV LANDSCAPE PLAN	
L-2	MITIGATION PLAN	
A-1	FOUNDATION PLAN	
A-2	BASEMENT PLAN	
A-3	1ST FLOOR PLAN	
A-4	2ND FLOOR PLAN	
A-5	ROOF PLAN	
E-1	EXTERIOR ELEVATIONS	
E-2	EXTERIOR ELEVATIONS	
D-1	DETAILS PAGE 1	
D-2	WSEC SHEET	

Whatcom County Planning and Development Services  
**Received**  
 By: [Signature]  
 Date: 6/11/2025

**Job Location:**  
 10 Inlet Cr  
 Bellingham Wa  
 J-5V-10 Inlet-Davis

**Rubicon Homes**  
 A DIVISION OF THE TRUSS

**Site Plan**

Plans for New 5FR  
 Parcel # 3104051252490000

DRAWINGS PROVIDED BY:  
 Rubicon Homes  
 1050 Lamaze Ave S-104 PMB 160  
 Bellingham WA 98225  
 360-420-6394

DATE:  
 6/11/2025

SCALE:  
 1"=10'

SHEET:  
 P-1

Rec'd 05/28/2026  
8:02 AM

# Sudden Valley Community Association Construction Change Request

Item 5  
Pg 1 of 4  
G1

Street Address: 5 Spinnaker Ln, Bellingham WA 98229 Div 21 Lot 72  
Owner: Rubicon IDC L.L.C  
Mailing Address: 1050 Larrabee Ave Suite 104 PMB 760  
Phone: ~~360 440 1221~~ Email: ~~mlynch@rubicon.com~~

Requests will not be considered unless the street address is clearly displayed on the residence.  
Please note that in the week(s) following request submittal, ACC members may visit and review property.

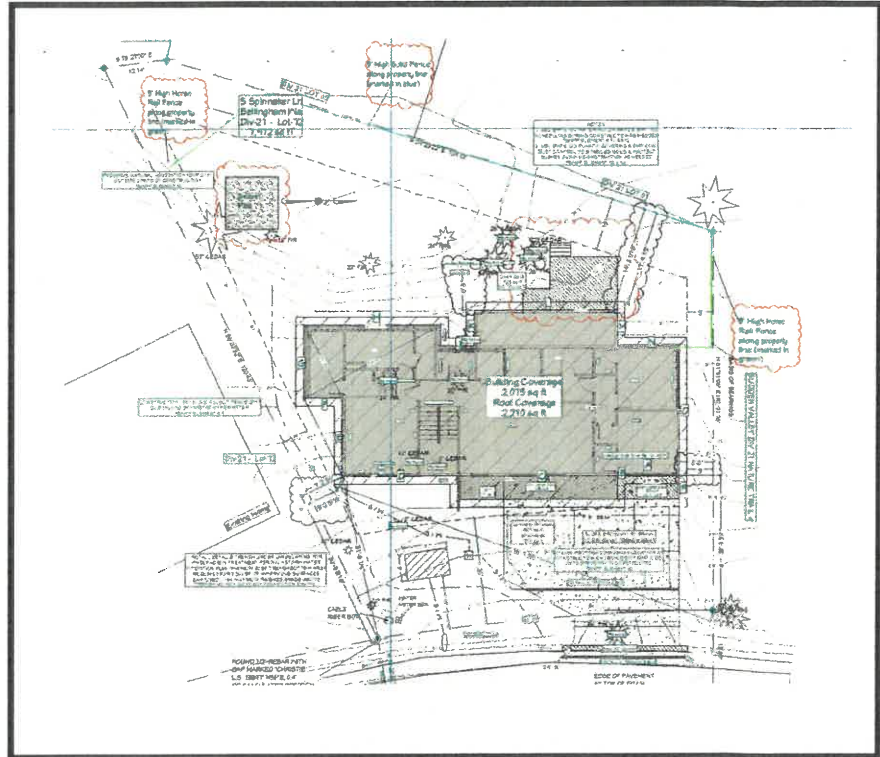
**Requested for:**

- Existing home
- New construction

**The change would affect:**

- Exterior appearance
- Drainage/Erosion control
- Open space & Lot coverage
- Setbacks to property line
- Structure height

Please refer to ACC Guidelines  
14.2 and 14.11 and for more  
information.



Give a full description of the request and attach any additional information if needed:

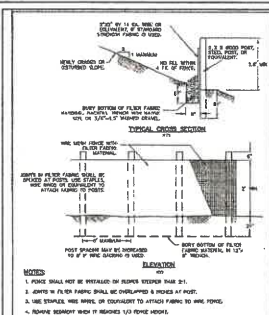
5 Spinnaker is under construction and we are looking to make three exterior changes. The first change we would like to make is adding a fence along the back yard. The fence's intended use is to provide a secure area for their dogs and to provide privacy for the neighbors and owners. The backyard of 5 Spinnaker backs up to the backyards of several other homes, so a fence would provide privacy for everyone. The site plan shows that the sides of the property, which is marked in green, would be a 5' high horse rail fence. The areas where the backyards are connected is marked in blue and shows that it would be a 5' solid fence that is neighbor friendly as it looks the same on both sides. The last change we would like to make is the orientation of the deck/stair location. We are making this change to protect the root ball of an existing tree. The second change we would like to make is adding a gravel observation pad on the flat section of the back yard. I have attached images of the two different fences as well as the modified site plan and the original site plan.

***This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.***

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: Matthew Lynch

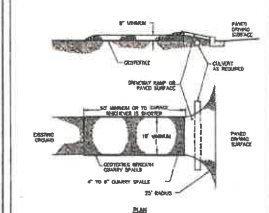
Date: 5/27/2026



**NOTES**

1. FOUNDATION SHALL NOT BE REINFORCED BY REBAR EXCEPT AS SHOWN.
2. ALL REBAR SHALL BE EPOXY COATED UNLESS OTHERWISE NOTED.
3. ALL REBAR SHALL BE EPOXY COATED UNLESS OTHERWISE NOTED.
4. ALL REBAR SHALL BE EPOXY COATED UNLESS OTHERWISE NOTED.

CITY OF BELLINGHAM  
REINFORCED SILT FENCE  
DATE: 05/21/2026  
DRAWING NO: EC-016



**NOTES**

1. THE SILT FENCE SHALL BE REINFORCED WITH #4 BARS AT 48\"/>

CITY OF BELLINGHAM  
TEMPORARY CONSTRUCTION  
CITY-SINGLE FAMILY  
DATE: 05/21/2026  
DRAWING NO: EC-005

### BMP #13 - POST CONSTRUCTION SOIL QUALITY AND DEPTH

**Purpose and Intent:**  
This BMP is intended to ensure that the soil quality and depth of the site is maintained after construction. It is designed to prevent soil erosion and sedimentation, and to ensure that the soil is suitable for the intended use of the site.

**Soil Quality and Depth:**  
The soil quality and depth of the site shall be maintained after construction. This shall be achieved by the following measures:

1. Erosion control measures shall be implemented to prevent soil erosion and sedimentation.
2. Sedimentation control measures shall be implemented to prevent sediment from entering the site.
3. Soil erosion control measures shall be implemented to prevent soil erosion and sedimentation.
4. Sedimentation control measures shall be implemented to prevent sediment from entering the site.

### BMP #14 - EROSION CONTROL PLAN

**Purpose and Intent:**  
This BMP is intended to ensure that the site is protected from erosion during construction. It is designed to prevent soil erosion and sedimentation, and to ensure that the site is suitable for the intended use of the site.

**Erosion Control Measures:**  
The following measures shall be implemented to prevent soil erosion and sedimentation:

1. Erosion control measures shall be implemented to prevent soil erosion and sedimentation.
2. Sedimentation control measures shall be implemented to prevent sediment from entering the site.
3. Soil erosion control measures shall be implemented to prevent soil erosion and sedimentation.
4. Sedimentation control measures shall be implemented to prevent sediment from entering the site.

### CONSTRUCTION EROSION CONTROL PLAN (CECP) - BELLINGHAM, WA

**Purpose and Intent:**  
This CECP is intended to ensure that the site is protected from erosion during construction. It is designed to prevent soil erosion and sedimentation, and to ensure that the site is suitable for the intended use of the site.

**Erosion Control Measures:**  
The following measures shall be implemented to prevent soil erosion and sedimentation:

1. Erosion control measures shall be implemented to prevent soil erosion and sedimentation.
2. Sedimentation control measures shall be implemented to prevent sediment from entering the site.
3. Soil erosion control measures shall be implemented to prevent soil erosion and sedimentation.
4. Sedimentation control measures shall be implemented to prevent sediment from entering the site.

5 Spinneraker SHL-Average Elevation Calc				Date: 06/05/2023
L/W	Point/Location	Elevation Proposed	Elevation Existing	
A	Front RH Garage door Wall	56	60	
B	RH Garage Wall	56	60	
C	Front Garage Door Wall	56	60	
D	Front LH Wall	60	60	
E	LH Wall	64	63	
F	LH Wall Middle	65	66	
G	LH Wall Back	67	66	
H	Back LH Wall	71	71	
I	Back RH Wall	71	71	
J	Back Wall	70	71	
K	Back LH Side Wall	71	70	
L	Back Wall	70	69	
M	Back RH Side Wall	68	68	
N	Back Wall	66	65	
O	RH Side Of Garage	63.5	66	
P	RH Retaining wall	59	62	
Average Elevation		64.29	64.50	
Peak Elevations		68.69	68.69	
Total Height		29.80	38.90	
Total Height In Feet		29' 10.34"	38' 11.78"	

### Notes

**Legal Description:**  
SUDDEN VALLEY DIV 21 LOT 72

Lot	1,412 Sq Ft
House	Un-Covered
- Basement Floor	626 Sq Ft
- 1st floor	1,830 Sq Ft
- 2nd floor	1,331 Sq Ft
Total Living	3,587 Sq Ft
Garage	188 Sq Ft
Front Porch	82-84 Sq Ft
Open Back Deck	135-84 Sq Ft
Cov. Upper Deck	55 Sq Ft
Open Upper Deck	55 Sq Ft
Building coverage	2,075 Sq Ft
Total % of Building	26.5%
Roof Coverage	2,210 Sq Ft
Total % of Roof	22.5%
Sidewalk	31 Sq Ft
Driveway	824 Sq Ft
Total Hard Surface	855 Sq Ft
Total lot Coverage	3,185 Sq Ft
Total % Lot Coverage	40%
Total Open/Landscape Space	60%

### Owner/Client Info

Rubicon IDC LLC  
1050 Larrabee Ave Suite 104 PMB 160  
Bellingham WA 98225

### Notes

**Excavation:**

- Erosion control
- Installation of all fence for erosion control
- All excavated material to be covered with plastic and/or straw
- Est of Excavated material = 150 Yards
- To be back hauled to approved dump site
- Remaining dirt to remain on site for Back fill and landscaping
- Est Structural material Imported = 150 yard
- drain rock for perimeter Footing/Storm pipe
- Garage fill material
- Structural for Driveway
- Fill for porches

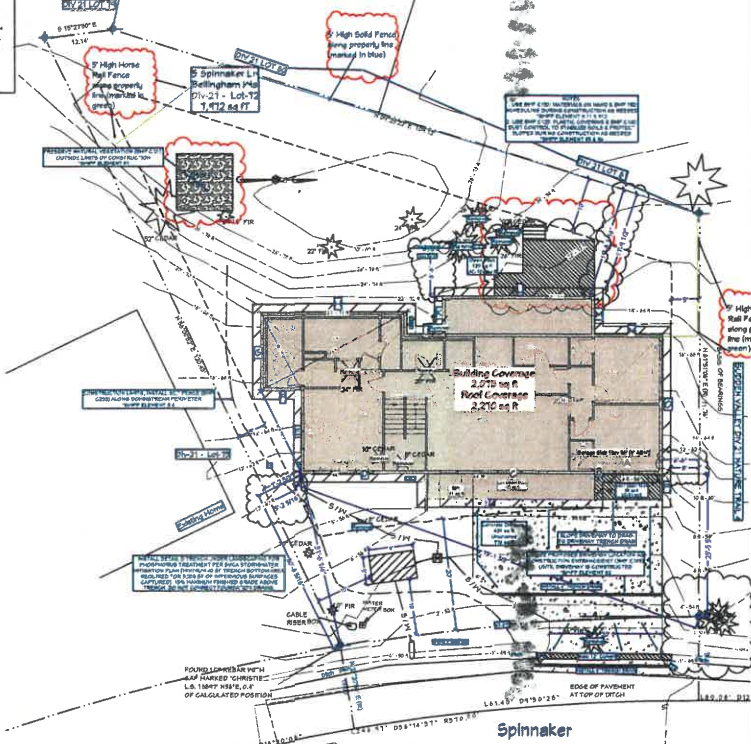
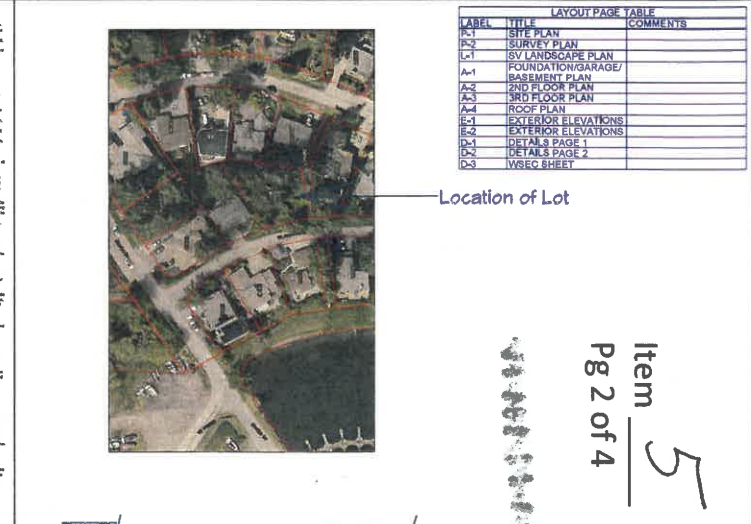
**Storm Info:**

- Footing and downspout to connect to onsite storm system.

**Section 1 - General Information:**  
This CECP is intended to ensure that the site is protected from erosion during construction. It is designed to prevent soil erosion and sedimentation, and to ensure that the site is suitable for the intended use of the site.

**Section 2 - Erosion Control Measures:**  
The following measures shall be implemented to prevent soil erosion and sedimentation:

1. Erosion control measures shall be implemented to prevent soil erosion and sedimentation.
2. Sedimentation control measures shall be implemented to prevent sediment from entering the site.
3. Soil erosion control measures shall be implemented to prevent soil erosion and sedimentation.
4. Sedimentation control measures shall be implemented to prevent sediment from entering the site.



**Job Location:**  
5 Spinneraker  
Bellingham WA  
J-SV-5 Spinneraker

**Plans for New SFR**

**Site Plan**

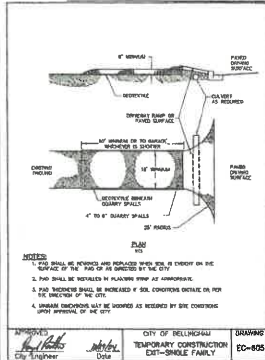
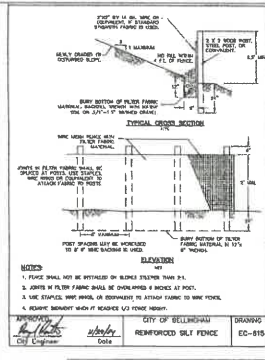
Parcel #: 3704051721460000

**DRAWINGS PROVIDED BY:**  
Rubicon Homes PWS-160  
1050 Larrabee Ave Suite 104 PMB 160  
Bellingham WA 98225  
360-920-6395

**DATE:**  
5/21/2026

**SCALE:**  
1"=10'

**SHEET:**  
P-1



**BMP 15-13 "POST CONSTRUCTION SOIL QUALITY AND DEPTH" FOR THE EROSION CONTROL MANUAL FOR WILKINSON SUBDIVISION**

**Purpose and Objective:**

- Identify appropriate methods and soil types to be used to restore soil quality and depth to the original condition.
- Identify appropriate methods and soil types to be used to restore soil quality and depth to the original condition.
- Identify appropriate methods and soil types to be used to restore soil quality and depth to the original condition.
- Identify appropriate methods and soil types to be used to restore soil quality and depth to the original condition.

**Applications and Limitations:**

- Use of BMP 15-13 is limited to areas where soil quality and depth have been degraded by construction activities.
- Use of BMP 15-13 is limited to areas where soil quality and depth have been degraded by construction activities.
- Use of BMP 15-13 is limited to areas where soil quality and depth have been degraded by construction activities.
- Use of BMP 15-13 is limited to areas where soil quality and depth have been degraded by construction activities.

**Implementation Details:**

- Soil quality and depth shall be restored to the original condition.
- Soil quality and depth shall be restored to the original condition.
- Soil quality and depth shall be restored to the original condition.
- Soil quality and depth shall be restored to the original condition.

**Notes:**

- Soil quality and depth shall be restored to the original condition.
- Soil quality and depth shall be restored to the original condition.
- Soil quality and depth shall be restored to the original condition.
- Soil quality and depth shall be restored to the original condition.

**CONSTRUCTION PROHIBITION POLYMERIZATION OF POLYURETHANE**

**Section 1 - Purpose and Objective:**

- Identify appropriate methods and soil types to be used to restore soil quality and depth to the original condition.
- Identify appropriate methods and soil types to be used to restore soil quality and depth to the original condition.
- Identify appropriate methods and soil types to be used to restore soil quality and depth to the original condition.
- Identify appropriate methods and soil types to be used to restore soil quality and depth to the original condition.

**Section 2 - Applications and Limitations:**

- Use of BMP 15-13 is limited to areas where soil quality and depth have been degraded by construction activities.
- Use of BMP 15-13 is limited to areas where soil quality and depth have been degraded by construction activities.
- Use of BMP 15-13 is limited to areas where soil quality and depth have been degraded by construction activities.
- Use of BMP 15-13 is limited to areas where soil quality and depth have been degraded by construction activities.

**Section 3 - Implementation Details:**

- Soil quality and depth shall be restored to the original condition.
- Soil quality and depth shall be restored to the original condition.
- Soil quality and depth shall be restored to the original condition.
- Soil quality and depth shall be restored to the original condition.

**Section 4 - Notes:**

- Soil quality and depth shall be restored to the original condition.
- Soil quality and depth shall be restored to the original condition.
- Soil quality and depth shall be restored to the original condition.
- Soil quality and depth shall be restored to the original condition.

**Notes**

**Legal Description:**  
SUDDEN VALLEY DIV 21 LOT 12

Lot	7,412 Sq Ft	Un-Covered
House		
- Basement Floor	584 Sq Ft	
- 1st Floor	1,572 Sq Ft	
- 2nd Floor	1,115 Sq Ft	
Total Living	3,381 Sq Ft	
Garage	746 Sq Ft	
Front Porch	64 Sq Ft	
Open Back Deck	247 Sq Ft	227 Sq Ft*
Gov. Lower Deck	132 Sq Ft	
Gov. Upper Deck	301 Sq Ft	
Building coverage	2,155 Sq Ft	
Total % of Building	21.4%	
Roof Coverage	2,530 Sq Ft*	
Total % of Roof	31.7%	
Sidewalk	57 Sq Ft	Un-Covered
Driveway	1,037 Sq Ft	135 Sq Ft*
Total Hard Surface	1,094 Sq Ft	135 Sq Ft*
Total lot Coverage	3,442 Sq Ft*	
Total % Lot Coverage	43.8%	
Total Open/Landscape Space	56.2%	

**Owner/Client Info**

Rubicon IDC LLC  
1050 Larrabee Ave Suite 104 FMB 760  
Bellingham WA 98225

**Notes**

Excavation:

- Erosion control
- Installation of 6 ft fence for erosion control
- All exposed material to be covered with plastic and/or straw
- Est of Exposed material = 150 Yards
- To be back hauled to approved dump site
- Remaining Dirt to remain on site for Back fill and landscaping
- Est Structural material imported = 150 yard
- drain rock for perimeter Footing/blow pipe
- Garage fill material
- Structural for Driveway
- Fill for porches

Storm Info:

- footing and downspout to connect to onsite storm system.

**SHR2024-0015**

**Shoreline Approval**

POB Stormwater

Wetland/HCA

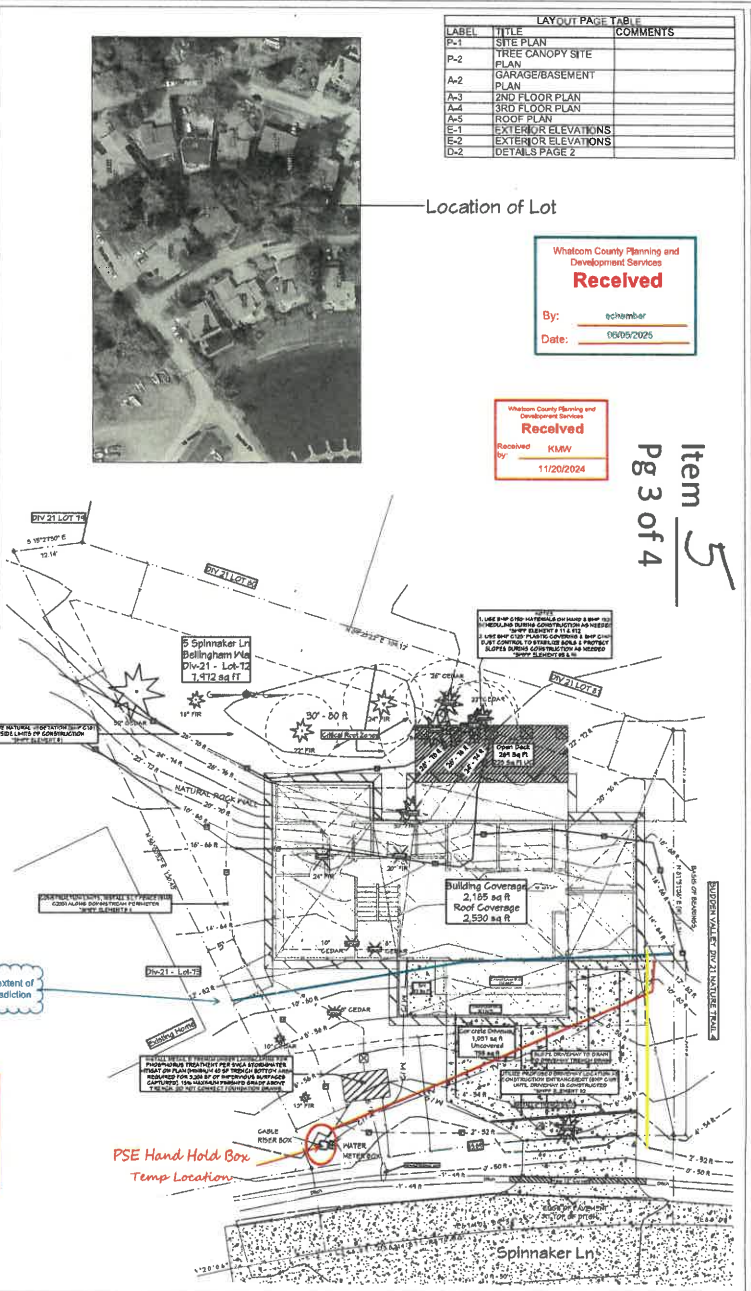
Geo-hazard

Zoning

Fire

Shoreline

Initials/Date: JGG 7/17/2025



**LAYOUT PAGE TABLE**

LABEL	TITLE	COMMENTS
P-1	SITE PLAN	
P-2	TREE CANOPY SITE PLAN	
A-2	GARAGE/BASEMENT PLAN	
A-3	2ND FLOOR PLAN	
A-4	3RD FLOOR PLAN	
R-1	ROOF PLAN	
E-1	EXTERIOR ELEVATIONS	
E-2	EXTERIOR ELEVATIONS	
D-2	DETAILS PAGE 2	

Whitcomb County Planning and Development Services  
**Received**  
By: echembar  
Date: 06/05/2025

Whitcomb County Planning and Development Services  
**Received**  
By: KMM  
Date: 11/20/2024

Item 5  
Pg 3 of 4

**Job Location:**  
5 Spinnaker  
Bellingham Wa  
JVS-5 Spinnaker

**Plans for New SRP Site Plan**

**DRAWINGS PROVIDED BY:**  
Rubicon Homes  
P.O. Box 1065  
Fennelle, WA 98246  
360-420-6594

**DATE:**  
11/19/2024

**SCALE:**  
1"=20'

**SHEET:**  
P-1

Parcel ID: 3104051121460000

5' High Neighbor Friendly Solid Fence (looks the same on both sides), going along back of property line that is shared with the neighbors



5' High Horse Rail Fence, going on the sides of the property



Rec'd 05/26/2026  
7:31 AM

# Sudden Valley Community Association Exterior Alteration Request

Item 6  
Pg 1 of 4  
G1

Street Address: 11A Par Ln \_\_\_\_\_ Div 32 Lot 103  
Owner: John and Kristin Fuchs \_\_\_\_\_  
Mailing Address: 11A Par Ln Bellingham, WA 98229 \_\_\_\_\_  
Phone: ~~360-881-9700~~ \_\_\_\_\_ Email: ~~john.fuchs@accmail.com~~ \_\_\_\_\_

**Requests will not be considered unless the street address is clearly displayed on the residence. Please note that in the week(s) following request submittal, ACC members may visit and review property.**

**Requested for:**  
Existing home

**The change would affect:**  
Exterior appearance

Give a full description of the request and attach any additional information if needed:

Install block retaining wall{s} flower beds, and stairs from top of driveway to rear deck.  
\*Blocks for wall and stairs with be dark grey  
\*Flower beds will host similar plants to front yard  
\*Stair blocks will be dark grey  
\*See pics of materials that are similar to design. Actual product will be determined by cost, availability, etc.

***This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.***

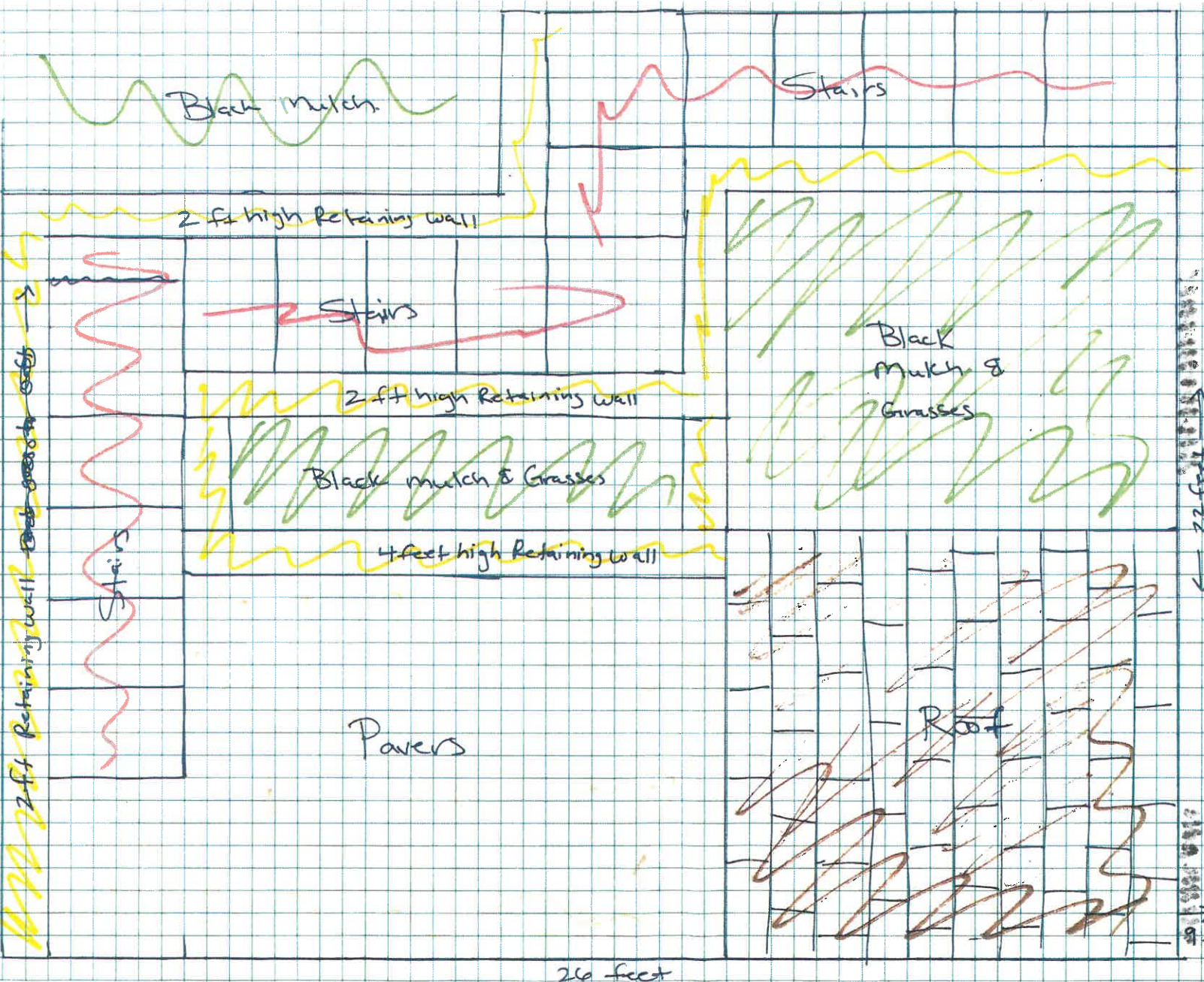
**Submission of this form provides notice for the ACC to visit the property during reasonable hours. Owner**

**Signature:** \_\_\_\_\_ **Date:** \_\_\_\_\_

Staff Comments: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Staff Signature: \_\_\_\_\_ Date: \_\_\_\_\_

11A PAR LN - FUCHS



DELIVERED

05120008 W-11

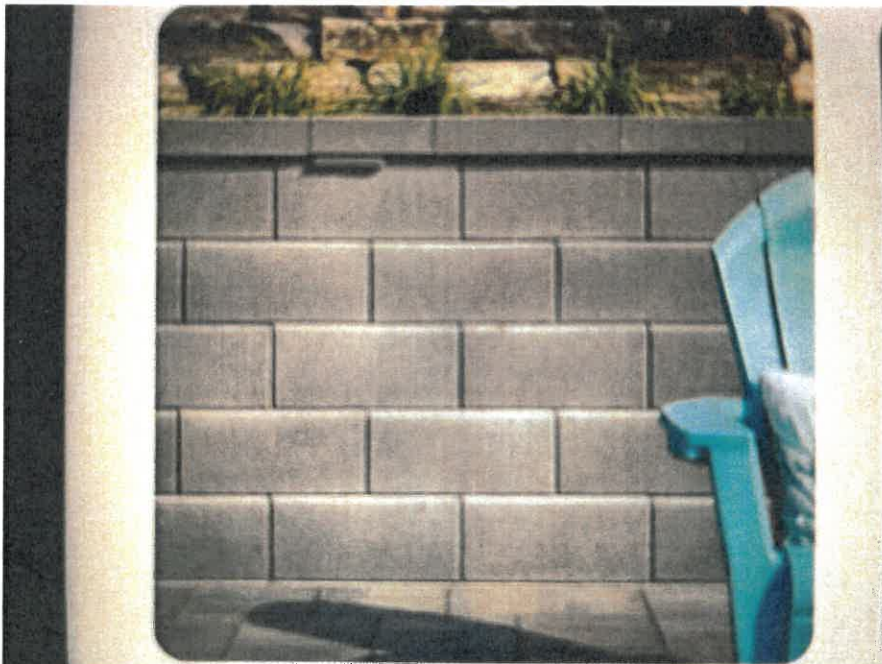
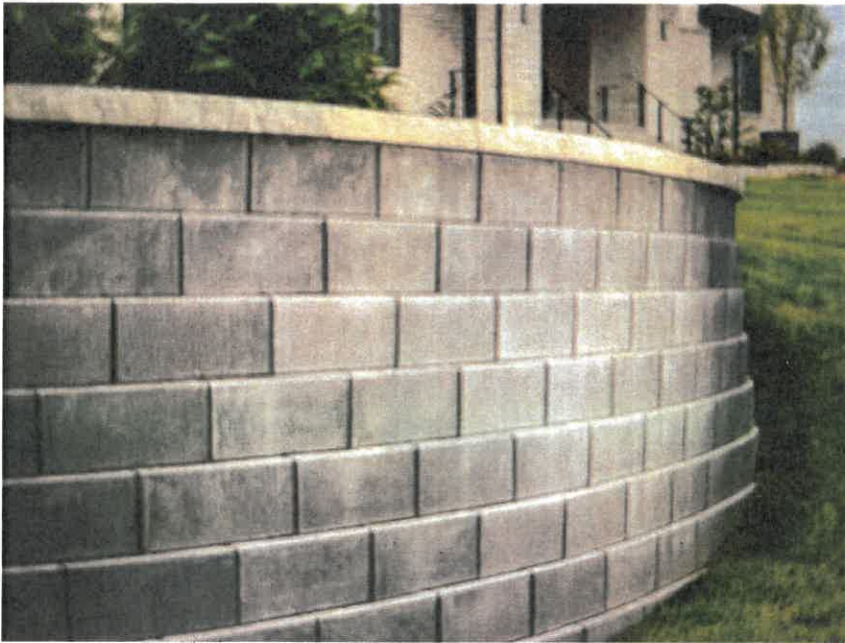
W  
N  
E  
S

Item  
Pg 2 of 4

6

fit higher than other side of line





Rec'd 05/28/2026  
10:50 AM

# Sudden Valley Community Association Construction Change Request

Item 7  
Pg 1 of 2  
G2

Street Address: 8 Lake Louise Div 7 Lot 67-68

Owner: Joshua Reichlin

Mailing Address: 425 W Stuart Rd #117

Phone: [REDACTED] Email: [REDACTED]

**Requests will not be considered unless the street address is clearly displayed on the residence.  
Please note that in the week(s) following request submittal, ACC members may visit and review property.**

**Requested for:**

- Existing home
- New construction

**The change would affect:**

- Exterior appearance
- Drainage/Erosion control
- Open space & Lot coverage
- Setbacks to property line
- Structure height

**Please refer to ACC Guidelines 14.2 and 14.11 and for more information.**

Type text here

Give a full description of the request and attach any additional information if needed:  
 Driveway - In consultation with the ACC the driveway will be marginally straightened to reduce slope on the inside radius. I would like approval from the ACC, after Jerry has measured the driveway as under the 20 percent grade requirement, to complete the driveway. The driveway will have a grooved finish.

***This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.***

**Submission of this form provides notice for the ACC to visit the property during reasonable hours.**

Owner Signature: Josh Reichlin Date: 5/28/2006

**PLAN NOTES:**

**SCOPE OF PROJECT:**  
 3 BEDROOM  
 2 STORY  
 1 FULL BATH  
 2 THREE QUARTER BATH  
 2 CAR GARAGE

**SITE INFO:**  
 8 LAKE LOUISE DR.  
 BELLINGHAM, WA 98226  
 SUDDEN VALLEY DIV 7 LOTS 67-68  
 PARCEL #3704083673990000

**PHONE NUMBERS:**  
 253-339-6341  
**OWNER'S NAME:**  
 JOSHUA REICHLIN

**HOUSE FOOTPRINT SQF:**  
 1412 SQF

**LIVING AREA SQF:**  
 2053 SQF

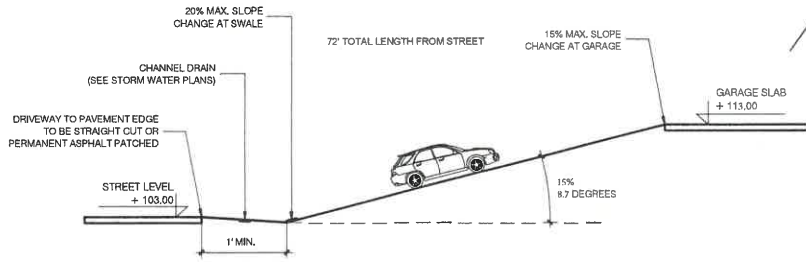
**GARAGE AREA SQF:**  
 688 SQF

**DRIVEWAY+SIDEWALK SQF**  
 1096 SQF

**DECK SQF**  
 43 SQF



**DRIVEWAY CROSS SECTION**



**1 SITE PLAN**  
 A-1 SCALE: 1" = 20'

Parcel No. (APN) 370408 367399 0000  
 Land Use VACANT LAND  
 Lot Area RESIDENTIAL  
 Total Impervious Surface 12,314 SF (0.28 ACRES)  
 2,500 SF

**ADDRESS:**  
 8 LAKE LOUISE DR, BELLINGHAM, WA 98229  
 Scale: 1"=20'

**A1**

DATE: 04/16/25

SCALE: 1" = 20'

PROJECT DESCRIPTION:  
 TWO-STORY HOUSE  
 8 LAKE LOUISE DR.  
 BELLINGHAM, WA 98229

Item **7**  
 Pg 2 of 2

SHEET TITLE:  
 SITE PLAN

Rec'd 05/27/2026  
11:25 AM

# Sudden Valley Community Association Exterior Alteration Request

Item 8  
Pg 1 of 3  
G2

Street Address: 30 LAKE LOUISE DR Div 07 Lot 82  
Owner: ELIZABETH FELLER & GARY BARA  
Mailing Address: 30 LAKE LOUISE DR BELLINGHAM, WA 98229  
Phone: 360-689-7474 Email: justin@mcmauley.com

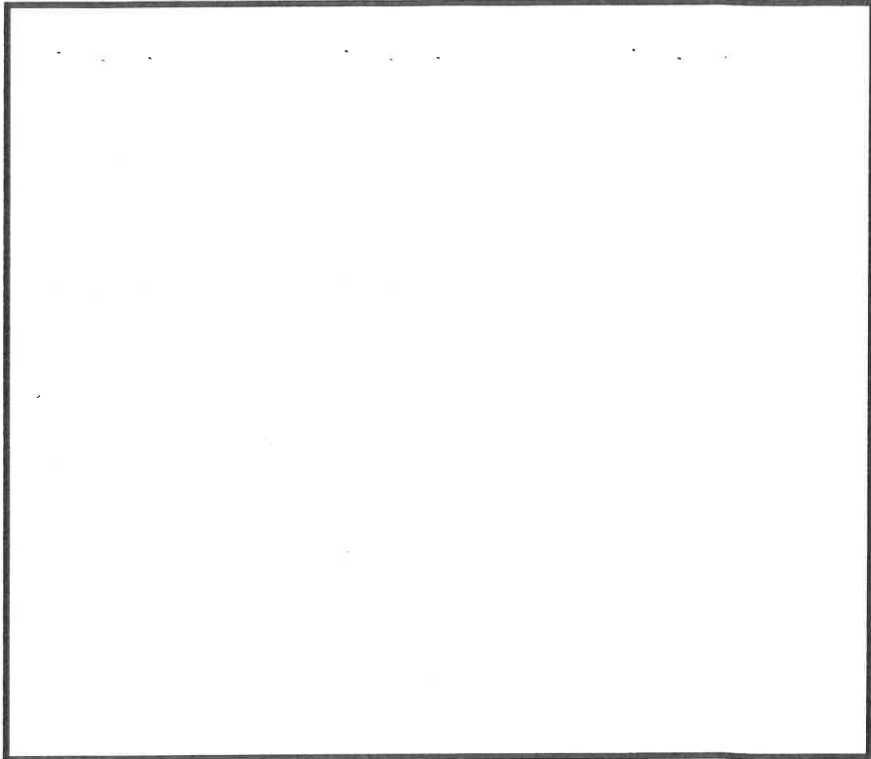
**Requests will not be considered unless the street address is clearly displayed on the residence.  
Please note that in the week(s) following request submittal, ACC members may visit and review property.**

**Requested for:**

- Existing home
- New construction

**The change would affect:**

- Exterior appearance
- Drainage/Erosion control
- Open space & Lot coverage
- Setbacks to property line
- Structure height



**Please refer to ACC Guidelines  
14.2 and 14.11 and for more  
information.**

Give a full description of the request and attach any additional information if needed:

CONSTRUCT 366 SF DECK ON MAIN FLOOR OF EXISTING HOUSE, SITE PLAN AND IMAGES ATTACHED

***This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.***

**Submission of this form provides notice for the ACC to visit the property during reasonable hours.**

**Owner Signature:** Mike McAuley - McAuley Design works, Agent for owner Date: 27 May 2026



AS BUILT



PLAN A STREET SIDE



PLAN A SW

# FELLER & BARA DECK

## #30 LAKE LOUISE DR

**PROPERTY OWNER**  
 ELIZABETH FELLER & GARY BARA  
 30 LAKE LOUISE DR  
 BELLINGHAM WA 98229-2781

**PROJECT DESCRIPTION**  
 ADD 346 SF DECK FOR ALTERNATIVE  
 OUTDOOR PROPERTY USE DUE TO  
 NEW HOUSE OVERLOOKING EXISTING  
 DECK TO THE SOUTH

**LEGAL DESCRIPTION**

Geo ID: 3704083263350000  
 Assr Situs Add: 30 LAKE LOUISE DR  
 Abbrev Legl Desc: SUDDEN VALLEY DIV 7 LOT  
 82-SUBJ TO IRREVOCABLE COV  
 Primary Prop Use: RES 4 BDRM

**PROJECT TEAM**

MICHAEL MCAULEY  
 MCAULEY DESIGN WORKS  
 258 W KING TUT RD  
 LYNDEN, WA 98264  
 360-389-3539  
 mcauleydesignworks@gmail.com  
 https://mcauleydesign.works/

**BUILDING AND SITE INFO**

JURISDICTION: SUDDEN VALLEY COMMUNITY ASSOC  
 WHATCOM COUNTY

**FLOOR AREAS:**

EXISTING FOOTPRINT, INCL DRIVEWAY & PERVIOUS DECKS: 3040 SF  
 PROPOSED PERVIOUS DECK: 336 SF  
 PROPOSED FOOTPRINT: 3379 SF

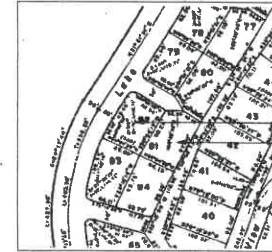
**LOT INFORMATION:**

LOT SIZE: 6754 SF (50% $\approx$ 3377 SF)  
 LOT COVERAGE/IMPERVIOUS SURFACE AS ORIGINALLY PERMITTED & BUILT: 2651 SF, 39 %  
 LOT COVERAGE/IMPERVIOUS SURFACE PROPOSED: NO CHANGE  
 TOTAL INCREASE/DECREASE IMPERVIOUS SURFACE: +400 SF  
 TOTAL LAND DISTURBANCE FOR (5) DECK COLUMN PEDESTALS: 45sf

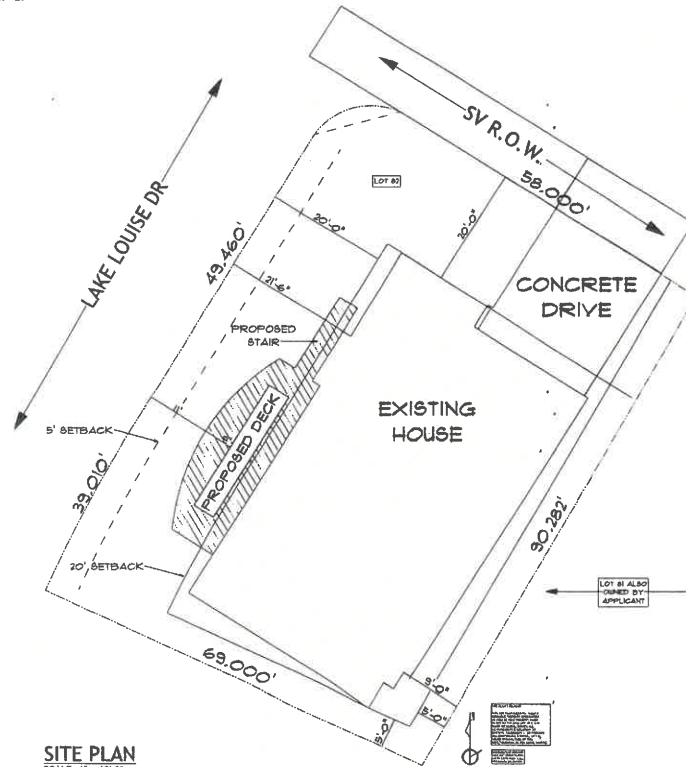
TOTAL LOT COVERAGE AS BUILT: 3043 SF, 45%  
 TOTAL LOT COVERAGE PROPOSED: 3379 SF, 50%

**SET BACKS:**

NORTH: 20'  
 EAST: 5'  
 SOUTH: 5'  
 WEST: 20'



PLAT MAP



**SITE PLAN**  
 SCALE: 1" = 10'-0"

**MCAULEY DESIGN+WORKS**  
 MICHAEL MCAULEY - BUILDING DESIGNER  
 PHONE: 360-389-3539  
 mcauleydesignworks@gmail.com  
 https://mcauleydesign.works/ 258 W. KING TUT RD  
 LYNDEN, WA 98264

**Libby Feller & Gary Bara**  
 30 LAKE LOUISE DR  
 Bellingham WA 98229

DESIGNED BY:	M/MC
DRAWN BY:	M/MC
CHECKED BY:	
CLIENT INITIALS:	
CLIENT INITIALS:	
CHECKED BY:	
BUILDERS PREP:	

ISSUANCES	
REV:	
REV:	
REV:	
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REV:	
REV:	
REV:	
DATE:	
SCALE:	1"=10'-0"

Item **8**  
 Pg 2 of 3



Rec'd 05/27/2026  
11:25 AM

# Sudden Valley Community Association Variance Request

Item 9  
Pg 1 of 1  
G2

Street Address: 30 LAKE LOUISE DR  
Owner: ELIZABETH FELLER & GARY BARA  
Mailing Address: 30 LAKE LOUISE DR BELLINGHAM, WA 98229  
Phone: ~~360-665-7100~~ Email: ~~l.feller@otd.com~~  
Div 07 Lot 82

**Requests will not be considered unless the street address is clearly displayed on the residence.  
Please note that in the week(s) following request submittal, ACC members may visit and review property.**

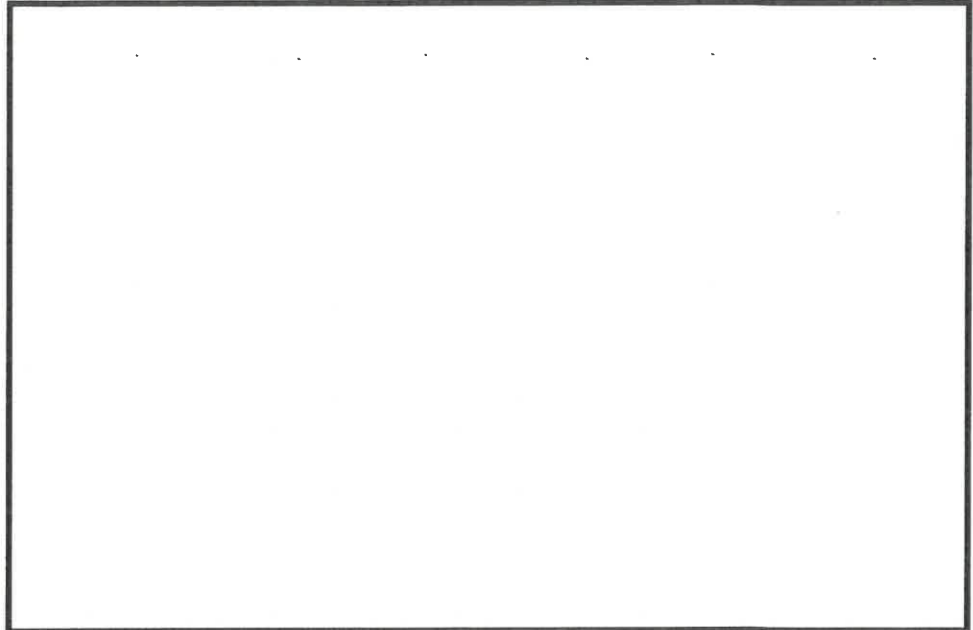
**Requested for:**

- New construction
- Existing home
- Other DECK

**The variance would affect:**

- Exterior appearance
- Drainage/Erosion control
- Open space & Lot coverage
- Tree/Vegetation removal
- Setbacks to property line
- Interior living space
- Structure height

**Please refer to ACC  
Guideline 14.8.12 for  
more information.**



Give a full description of the request and need for the variance: \_\_\_\_\_

THE HOME'S EXISTING SOUTHERN DECK HAS FACED A FORESTED HILLSIDE FOR DECADES. THE LAND WAS RECENTLY PURCHASED AND THE NEW HOME DESIGN WILL LOOM OVER THE FELLER/BARA SOUTHERN DECK, THUS REDUCING THE USEFULNESS OF THE OUTDOOR LIVING SPACE.

WHILE WE CAN COMPLY WITH LOT COVERAGE, THE STREETSIDE SETBACK PREVENTS ANY USEFUL ADDITIONS TO THE HOME. AS WE HAVE SEEN IN THE CITY OF BELLINGHAM, STREET FACING SETBACKS HAVE BEEN REDUCED TO 10' TO HELP ACTIVATE OTHERWISE UNAPPEALING SPACES. RATHER THAN LOOKING AT THE SLAB SIDED HOUSE HERE, WE CAN ACTIVATE THE WEST SIDE OF THIS HOME FACING THE STREET AND STILL MAINTAIN A MEANINGFUL SETBACK.

PLEASE REFER TO THE SITE PLAN TO GET A SENSE OF THE SIZE OF THE PROPOSED DECK AND A GENERAL FEELING FOR THE SPACE OVERALL. GIVEN THAT MANY HOMES IN SV LACK OUTDOOR SPACE, WE KNOW DECKS PROVIDE THAT SPACE. IN THIS CASE, WE BELIEVE WE CAN NOT ONLY ENHANCE WHAT PEOPLE SEE WHEN PASSING THIS HOME BUT WE CAN PROVIDE A MORE VIBRANT STREETSIDE ACTIVATION, THUS CREATING A BETTER NEIGHBORHOOD EXPERIENCE. PLEASE REFER TO THE SITE PLAN FOR THE DEPTH OF THE REQUESTED SETBACK ENCROACHMENT OF ~9', LEAVING AN ~11' SETBACK ON THE WEST

***This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.***

**Owner Signature:** Mike McAuley - McAuley Design works, Agent for owner Date: 27 MAY 2026

AC Staff Comments: \_\_\_\_\_



Rec'd 05/27/2026  
6:09 PM

### APPLICATION FOR NEW CONSTRUCTION

Circle Type:	<input checked="" type="radio"/> Home Construction	<input type="radio"/> Remodel	<input type="radio"/> Addition	<input type="radio"/> Other (Describe):
Street Address:	32 Lake Louise Dr		Div/Lot	7/83
Owner(s) Name(s):	Eduard Danch			
Mailing Address:	41 Maple Ct Bellingham WA 98229			
Email Address:	<del>XXXXXXXXXXXX@XXXXXX</del>	Cell Phone:	<del>360-100-1000</del>	Work Phone:

**CONTRACTOR:** AC Inspector **MUST BE** contacted for inspection 24 hours prior to all inspections by completing an ACC Inspection Request form. Required inspections are:

- Installation of erosion control measures
- Setbacks prior to pouring of any concrete for either slab or foundation/forms
- Installation of driveway and/or apron
- Completion of work and occupancy of home

I have read and understand the Sudden Valley Community Association Architectural Control Policies.

Contractor Signature:	<i>[Signature]</i>	Date:	4/8/26
Company Name:	SW Movement llc	License:	SWMOVML813LR
Mailing Address:	1950 Kelly Rd Bellingham WA 98226		
Email Address:	WillyProjects@gmail.com	Cell Phone:	(360) 510-4469
		Office Phone:	

Bank or Loan Agency:			
Valuation of Structure: \$	Square Footage: 2698		
Use: (Circle)	<input checked="" type="radio"/> Permanent Residence	<input type="radio"/> Vacation/Weekend	<input type="radio"/> Rental
Variance Request (Circle):	<input type="radio"/> Yes	<input checked="" type="radio"/> No	If Yes, must attach Variance Request form

The following items must be submitted at time of application:

- SVCA Construction Application and Checklist (must be signed by property owner).
- Application fee (per AC Policies 14.8.8).
- Copy of survey by a licensed surveyor including topography, trees, and square footage.
- Two (2) sets of construction plans (including floor plan, elevations, and finished grade).
- Two (2) copies of site plan @ 1"=10' scale (see AC Policies Appendix I for sample)
- Two (2) copies of landscaping plan @ 1"=10' scale
- Driveway cross-section, showing road edge to garage slab
- One (1) copy of specification sheet including paint chips, roof color, and lighting sample
- **Proof of insurance (see Item 10 above)**
- One (1) copy of water/sewer availability
- Property and building corners must be staked and strung
- ALL trees requested for removal must be clearly ribboned and indicated on site plan.
- Written application for variance, if any
- Refundable Completion Deposit (due during permit meeting per AC Policies section 14.8.8)



I agree to construct and maintain the above described single family dwelling in accordance with the plans and specifications submitted as the same may be approved by the ACC and further agree not to allow said single family dwelling to be used as a multiple family dwelling or duplex or to be used in any way which violates the Restrictive Covenants, Rules, and Regulations or Architectural Control Committee Policies.

I hereby acknowledge that the ACC, according to the Restrictive Covenants, is in no way responsible for any defects, of whatever nature, in the plans and specifications submitted. I agree to undertake full responsibility to accurately ascertain the lot lines delineating the boundaries of my property. I understand that the ACC in approving my plans and specifications, including site plan, is in no way warranting or representing the actual location of the lot lines delineating the boundaries of my property. I also understand that an infringement onto adjoining properties due to lot clearing or excavation shall be rectified prior to the framing of the structure.

Application Submitted by (Print): Eduard Danch  
Circle One:  Owner  Contractor  Other Representative

Signature of Owner(s): 

Printed Name of Owner: Eduard Danch Date 4 / 10 / 26

Item - 9	32 Lake Louise Dr, G2, New Construction	was 01:15:56 - 01:39:05
Comments:	Provide an Arborist Report on the likelihood of survival of the trees impacted by the Utility Connections. Provide stamped & signed Engineering Plans on retaining wall. Provide overview of Utility connections.	
Discussion:	Require either moving the house or getting a letter from the neighbors saying that the design and size are acceptable to them.	
Action:	Denied	Motion: Dan Unanimous

ACC Inspector Report 32 Lake Louise Dr

Lot size: 6823

Property coverage: [REDACTED]

Open Space: [REDACTED]

Front setback: [REDACTED]

Rear setback: [REDACTED]

Side setback: [REDACTED]

Side setback: [REDACTED]

Driveway grade: [REDACTED]

Height:

Definition 2: [REDACTED]

ACC Inspector Notes

~~There is a retaining wall along the back of the property which is within the rear setback. The retaining wall is "as needed", no engineering has been submitted. I am concerned about a water line slicing through the roots of a 72" Maple tree.~~

ACC Inspector Notes 5/28/2026

Engineering report submitted.



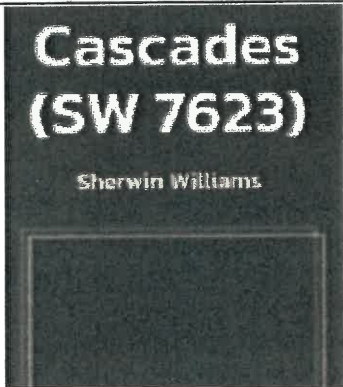
### SPECIFICATION SHEET

Item 10  
Pg 4 of 22

Street Address: 32 Lake Louise Dr	Div/Lot 7/38
Owner(s)/Contractor Name(s): Eduard Danch	

Siding Type: Fiber Cement Lap/Wood
Trim Type: Fiber Cement
Gable Type: N/A
Roof Type: Mono-pitched, metal
Lighting Type: Wall Scones and Can Lights, pointing down
Retaining Wall Materials: Concrete
Other Finish Materials: Stone veneer, wood siding

#### Samples

SIDING/BODY COLOR	TRIM COLOR	ACCENT COLOR
 <p><b>Cascades (SW 7623)</b> Sherwin Williams</p>	<p>Black</p>	<p>Garage Door: Black</p> <p>Front Door: Black</p> <p>Other (Specify Locations):</p> <ul style="list-style-type: none"> <li>- Wood siding around entry door</li> <li>- Stone veneer around garage doors</li> </ul>

Black



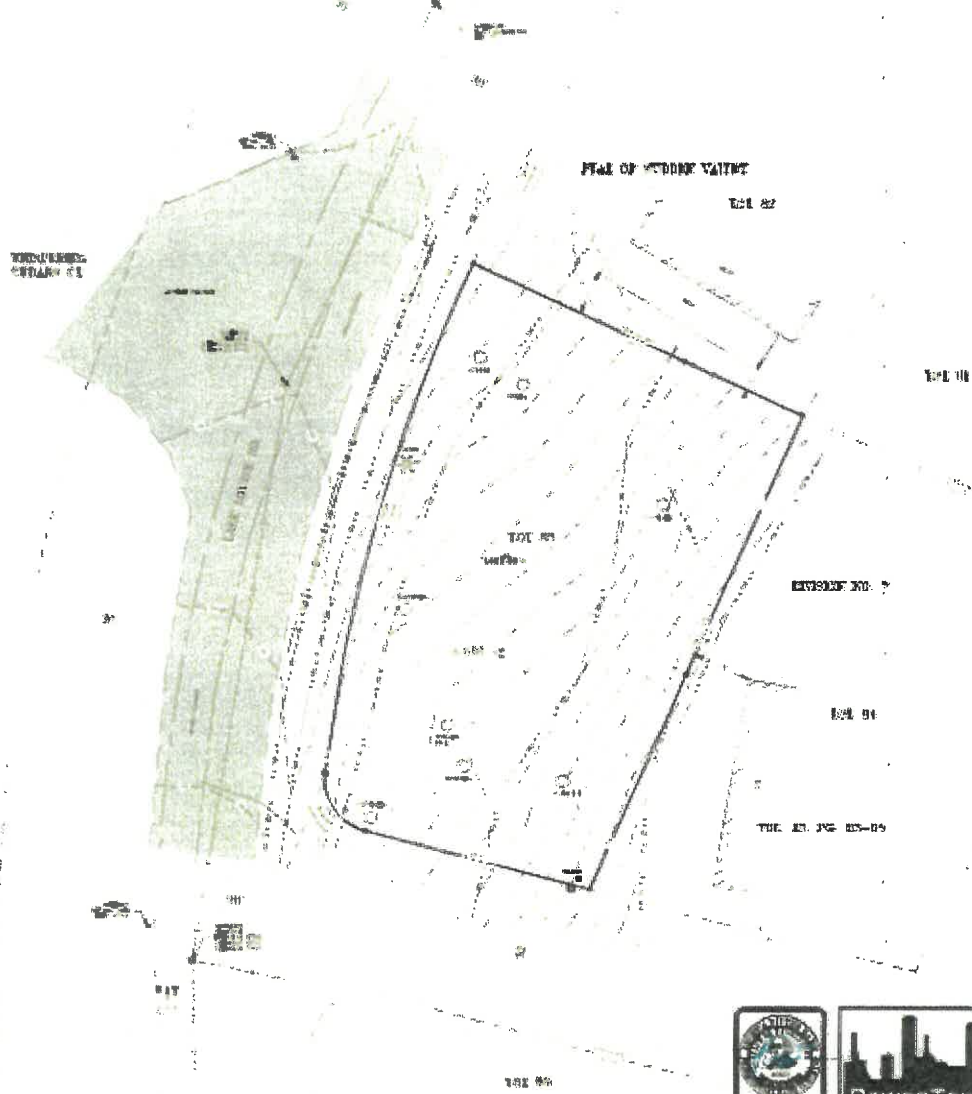
**TOPOGRAPHIC BASE MAP**

QUARTER NW 1/4 PORTION OF THE SW 1/4, NE 1/4 SECTION 8, TOWNSHIP 27 NORTH, RANGE 4 EAST OF THE 100TH MERIDIAN, WASHINGTON COUNTY, WISCONSIN

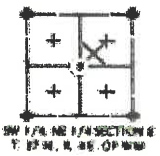
- SYMBOLS:**
- 1. Contour interval 20 feet
  - 2. Contour interval 10 feet
  - 3. Contour interval 5 feet
  - 4. Contour interval 2 feet
  - 5. Contour interval 1 foot
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  - 9. Contour interval 0.05 foot
  - 10. Contour interval 0.02 foot
  - 11. Contour interval 0.01 foot
  - 12. Contour interval 0.005 foot
  - 13. Contour interval 0.002 foot
  - 14. Contour interval 0.001 foot
  - 15. Contour interval 0.0005 foot
  - 16. Contour interval 0.0002 foot
  - 17. Contour interval 0.0001 foot
  - 18. Contour interval 0.00005 foot
  - 19. Contour interval 0.00002 foot
  - 20. Contour interval 0.00001 foot

**GENERAL DESCRIPTION:**  
 This map shows the topographic features of the quarter NW 1/4 portion of the SW 1/4, NE 1/4 section 8, township 27 north, range 4 east of the 100th meridian, Washington county, Wisconsin. The map is based on a survey conducted by the Wisconsin Department of Natural Resources in 1985.

- LEGEND:**
- 1. Contour interval 20 feet
  - 2. Contour interval 10 feet
  - 3. Contour interval 5 feet
  - 4. Contour interval 2 feet
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  - 14. Contour interval 0.001 foot
  - 15. Contour interval 0.0005 foot
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  - 20. Contour interval 0.00001 foot



Item 10  
 Pg 5 of 22



APR 01 10 45N 221 827 0002

#12 LAKE LAKE DR



**POWERTEK SURVEYING**  
 1985 17th Street  
 4848 BARRETT ROAD # 104  
 WATKINS, WI 54983  
 920-762-1111

TOPOGRAPHIC BASE MAP FOR ED DAWSON		
DATE	BY	SCALE





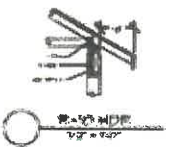
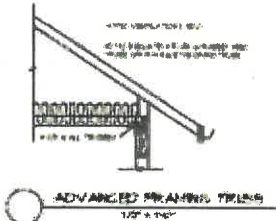
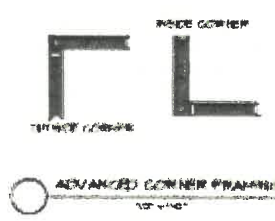


DO NOT SCALE TO VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION

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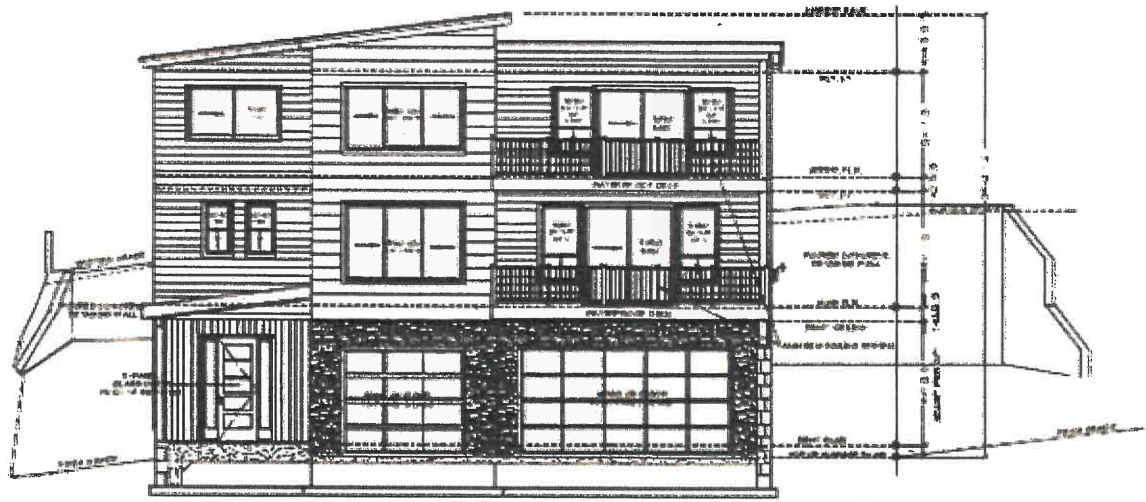
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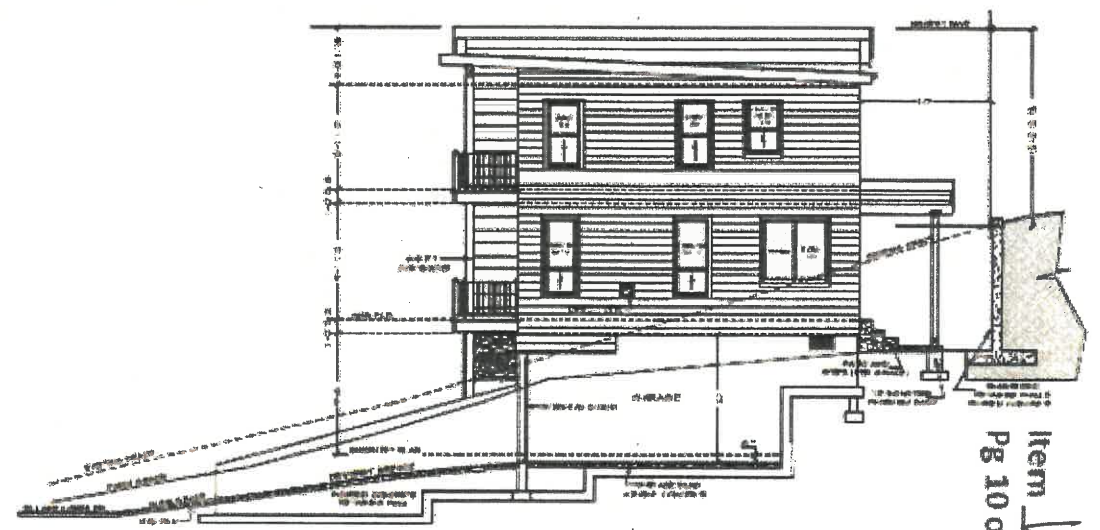
Item 10  
Pg 9 of 22

**BLUEPRINT**  
 EDWARD DANCH  
 LAKE HOUSE ROAD  
 SUDBURY VALLEY, PA 17250  
 ENCRUST  
 A B O  
 10  
 44

WARNING: TO VERIFY ALL LOT AND ZONING CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION.



WEST ELEVATION  
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

Item 10  
Pg 10 of 22

BLUEPRINT

Architectural Services, Inc.  
1000 North 10th Street  
P.O. Box 1000  
Souderton, PA 18986  
Tel: 610-291-1000  
Fax: 610-291-1001

EDWARD D'AMICO  
11 WAKE FOREST ROAD  
SADDEN VALLEY, PA 17376

ELEVATIONS

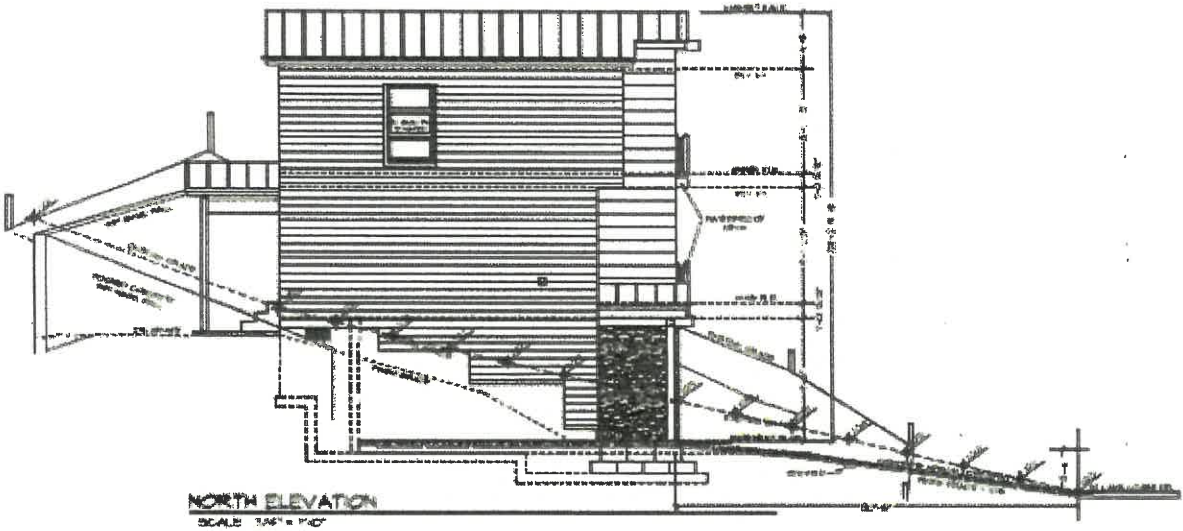
APR 30 2008



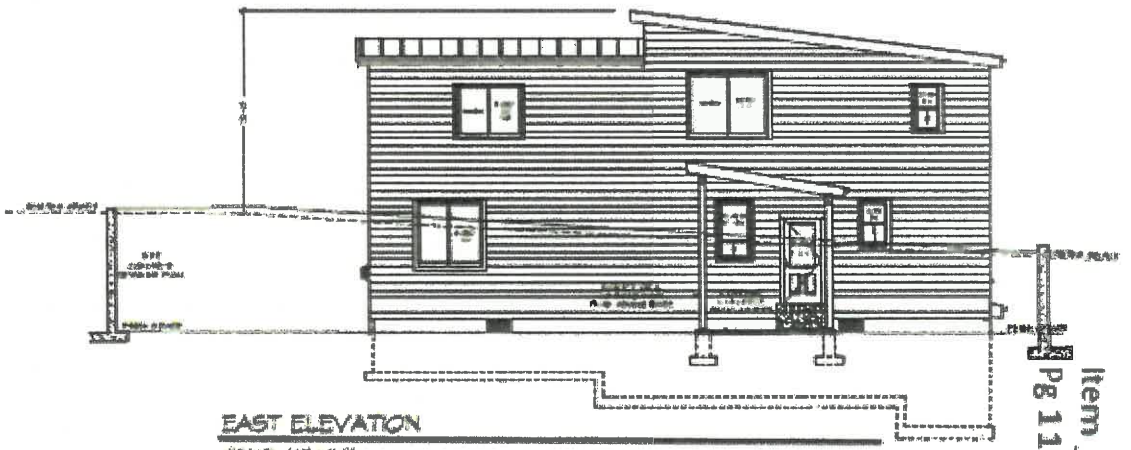
1000 N 10TH ST  
SODDERTON, PA 18986  
TEL: 610-291-1000  
FAX: 610-291-1001

A-5

DO NOT SCALE DRAWING. ALL DIMENSIONS TO BE CHECKED BEFORE PROCEEDING WITH CONSTRUCTION.



NORTH ELEVATION  
SCALE 1/4" = 1'-0"



EAST ELEVATION  
SCALE 1/4" = 1'-0"

Item 10  
Pg 11 of 22

BLUEPRINT

J. M. ...

EDWARD DANCH  
LAKE LOUISE ROAD

ELEVATIONS

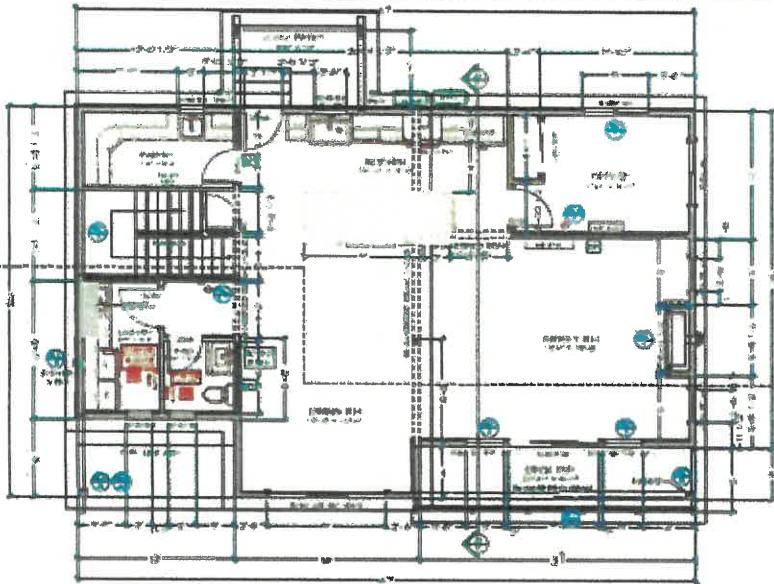
A  
B  
D



1/4" = 1'-0"  
1/8" = 1'-0"  
1/2" = 1'-0"  
3/4" = 1'-0"  
1" = 1'-0"

A-1





MAIN FLOOR PLAN

UPPER F.L.P. 1/2" = 1'-0"  
 HP. DEPT. 1029 2/1

**NOTES**

1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

2. ALL WALLS ARE 1/2" THICK UNLESS NOTED OTHERWISE.

3. ALL DOORS ARE 3'0" WIDE UNLESS NOTED OTHERWISE.

4. ALL WINDOWS ARE 6'0" WIDE UNLESS NOTED OTHERWISE.

5. ALL FLOORS ARE TO BE CONCRETE ON GRADE UNLESS NOTED OTHERWISE.

6. ALL ROOFS ARE TO BE FLAT UNLESS NOTED OTHERWISE.

7. ALL CEILING ARE TO BE 8'0" HIGH UNLESS NOTED OTHERWISE.

8. ALL LIGHT FIXTURES ARE TO BE 4'0" ON CENTER UNLESS NOTED OTHERWISE.

9. ALL ELECTRICAL SYMBOLS ARE TO BE AS SHOWN ON THE ELECTRICAL SCHEDULE.

10. ALL MECHANICAL SYMBOLS ARE TO BE AS SHOWN ON THE MECHANICAL SCHEDULE.

**GENERAL NOTES**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL DEBRIS AND WASTE MATERIALS.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A SAFE WORKING ENVIRONMENT AT ALL TIMES.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.

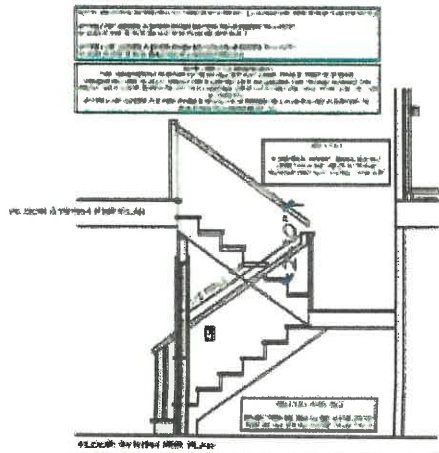
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY BONDS.

8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES.

9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES.

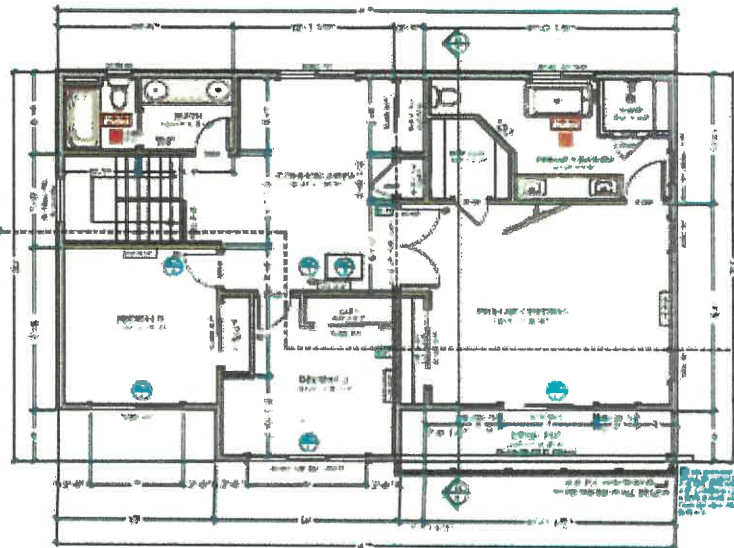
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES.

SEE ENGINEERING FOR STRUCTURAL



STAIR SECTION DETAIL

N.T.D.



UPPER FLOOR PLAN

UPPER F.L.P. 1/2" = 1'-0"  
 HP. DEPT. 1029 2/1

**NOTES**

1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

2. ALL WALLS ARE 1/2" THICK UNLESS NOTED OTHERWISE.

3. ALL DOORS ARE 3'0" WIDE UNLESS NOTED OTHERWISE.

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8. ALL LIGHT FIXTURES ARE TO BE 4'0" ON CENTER UNLESS NOTED OTHERWISE.

9. ALL ELECTRICAL SYMBOLS ARE TO BE AS SHOWN ON THE ELECTRICAL SCHEDULE.

10. ALL MECHANICAL SYMBOLS ARE TO BE AS SHOWN ON THE MECHANICAL SCHEDULE.

Item 10  
 Pg 13 of 22

DATE: 01/15/2024 10:30 AM



BLUESPRINT  
 1000 S. 1000 E. SUITE 100  
 SALT LAKE CITY, UT 84143  
 (801) 488-8888  
 WWW.BLUESPRINT.COM

EDWARD DANCH  
 LAKE LOUISE ROAD  
 SUCCEN VALLEY, PA 15239

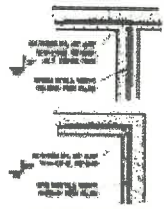
MAIN FLOOR PLAN  
 UPPER FLOOR PLAN



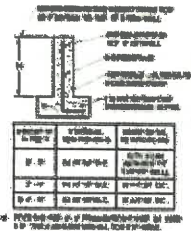
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 TIME: 10:30 AM  
 FILE: 10292  
 USER: ED

A-B

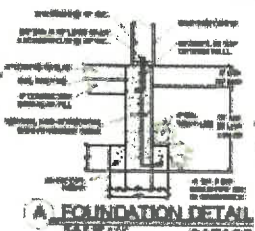




**CORNER REBAR**



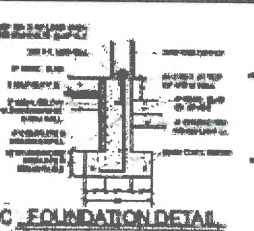
**REBAR TABLE**



**A. FOUNDATION DETAIL GARAGE**



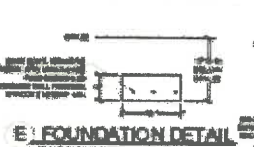
**B. FOUNDATION DETAIL DOOR OPENING**



**C. FOUNDATION DETAIL GARAGE LIVING**



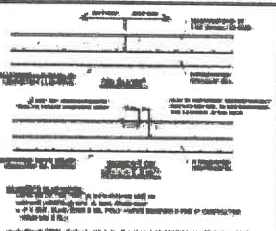
**STEPPED FOOTING REBAR**



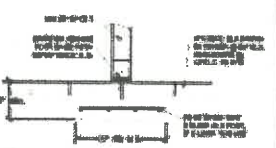
**E. FOUNDATION DETAIL ROAD DRIVE**



**F. FOUNDATION DETAIL CRAWLSPACE**



**D. SLAB JOINT DETAIL**



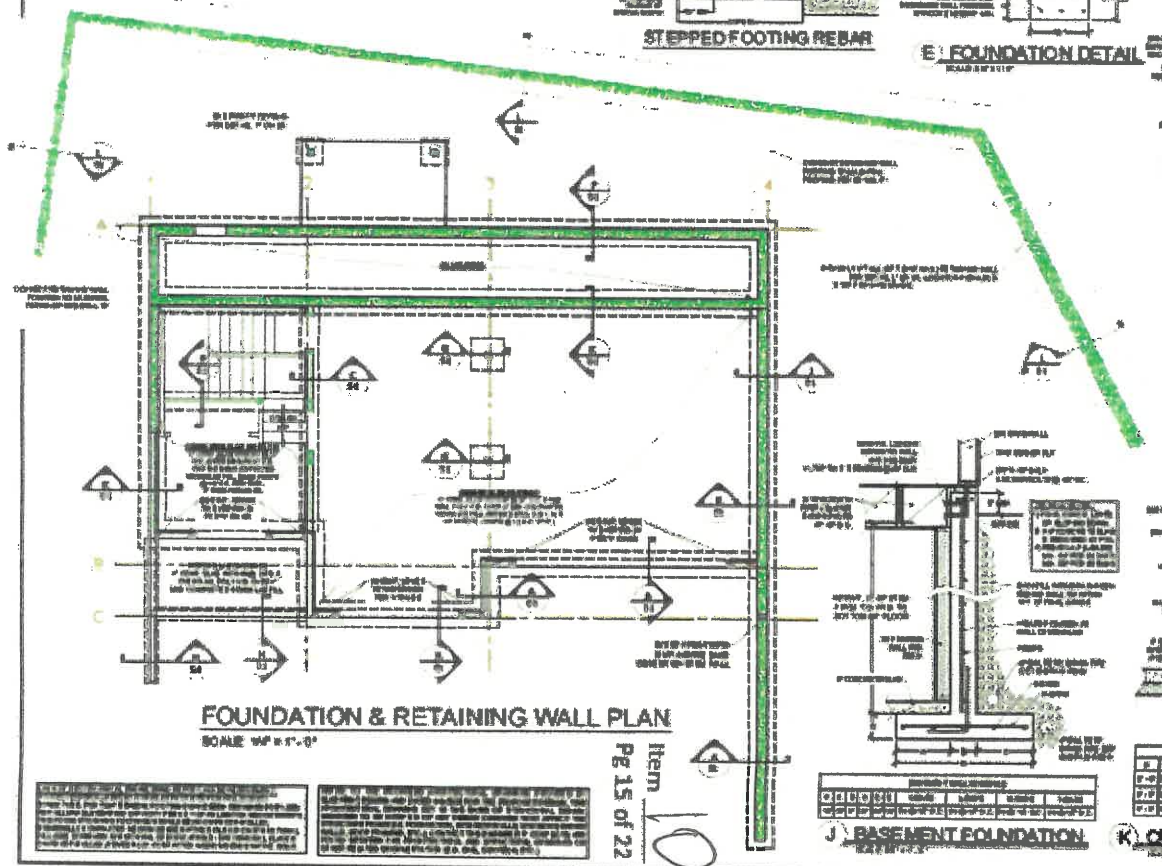
**G. FOOTING AT 6x8 POST**



**H. THICKENED SLAB**



**I. FOUNDATION DETAIL FRONT PORCH**

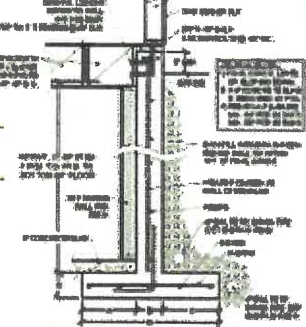


**FOUNDATION & RETAINING WALL PLAN**  
SCALE: 1/4" = 1'-0"

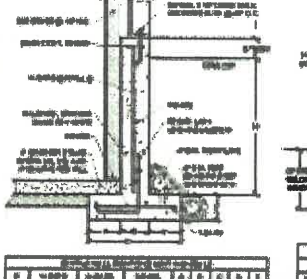
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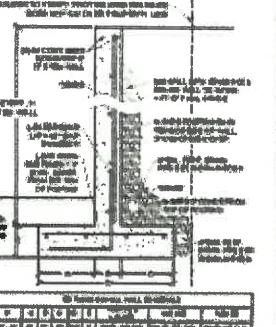
Item 10  
Pg 15 of 22



**J. BASEMENT FOUNDATION**



**K. CRIPPLE WALL FOUNDATION**

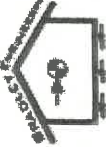


**L. RETAINING WALL DETAIL**

DRAWING TO BE PRINTED ONCE UPON GREEN TREE SCALE



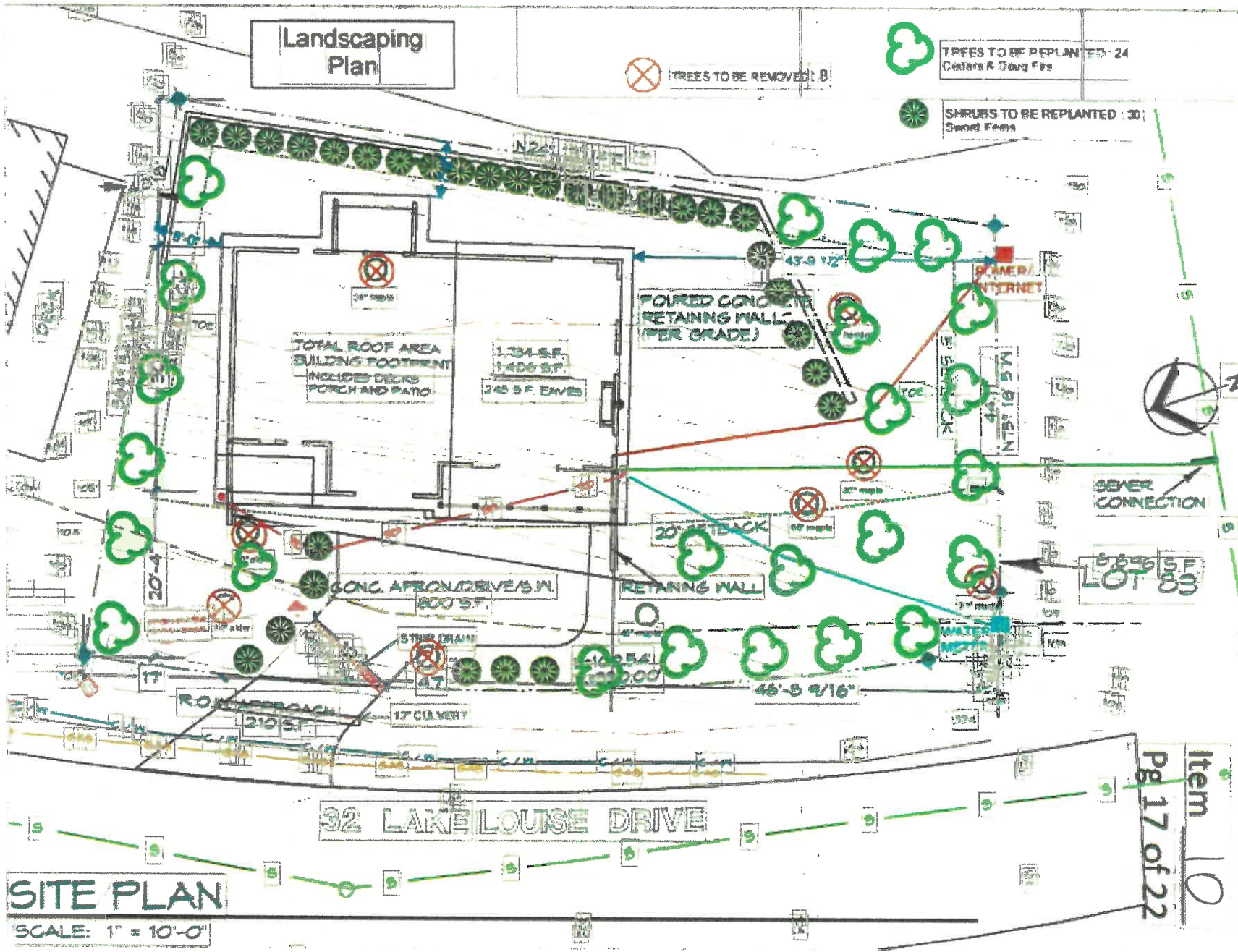
NO.	REVISION	DATE	BY	CHKD.
1	ISSUED FOR PERMIT	08/15/22	BRADLEY	BRADLEY
2	REVISED PER COMMENTS	08/15/22	BRADLEY	BRADLEY
3	REVISED PER COMMENTS	08/15/22	BRADLEY	BRADLEY
4	REVISED PER COMMENTS	08/15/22	BRADLEY	BRADLEY
5	REVISED PER COMMENTS	08/15/22	BRADLEY	BRADLEY
6	REVISED PER COMMENTS	08/15/22	BRADLEY	BRADLEY
7	REVISED PER COMMENTS	08/15/22	BRADLEY	BRADLEY
8	REVISED PER COMMENTS	08/15/22	BRADLEY	BRADLEY
9	REVISED PER COMMENTS	08/15/22	BRADLEY	BRADLEY
10	REVISED PER COMMENTS	08/15/22	BRADLEY	BRADLEY

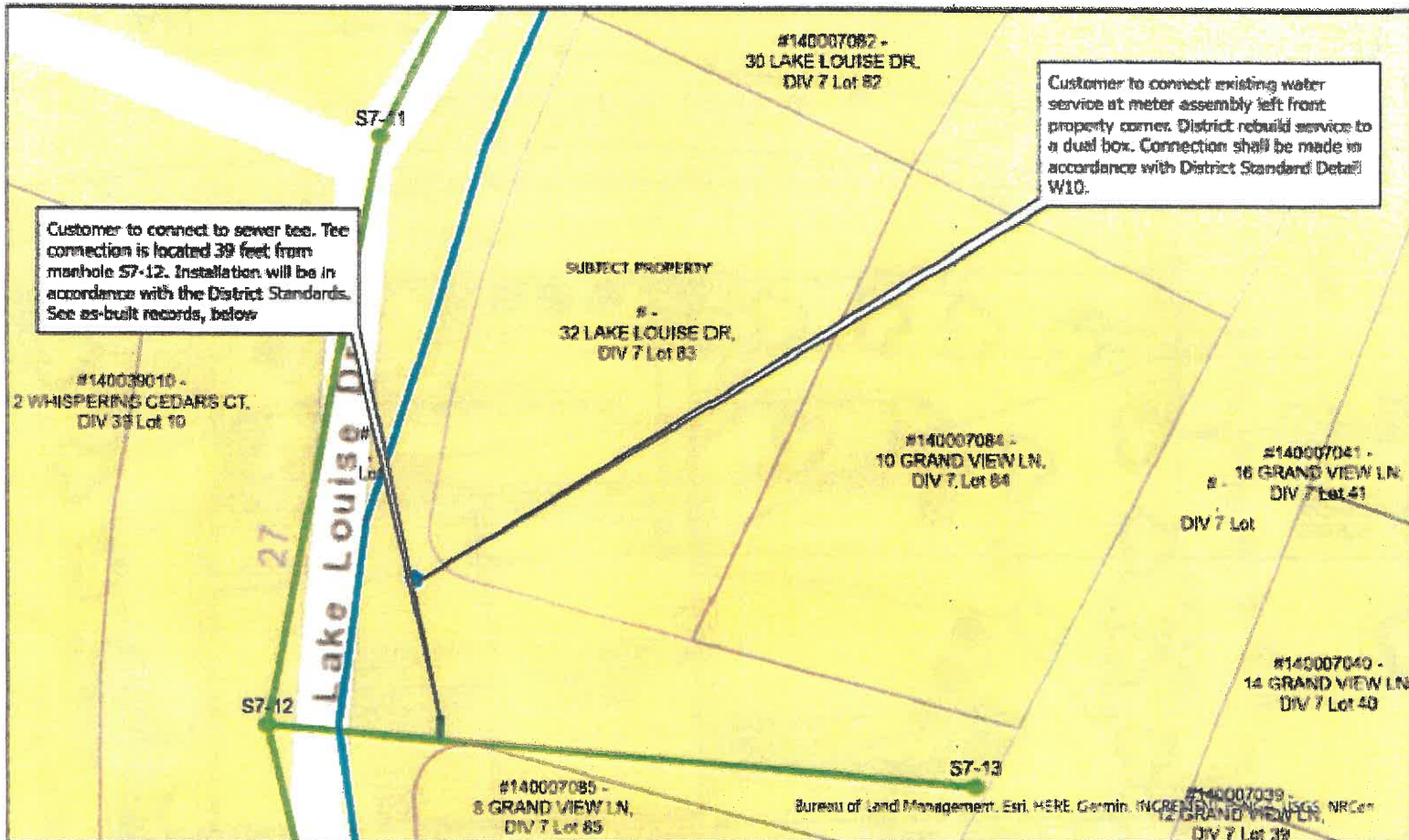


**BRADLEY ENGINEERING**  
1000 W. 10TH STREET, SUITE 100  
DENVER, CO 80202  
TEL: 303.733.1111  
WWW.BRADLEYENGINEERING.COM

**FOUNDATION & RETAINING WALL PLAN**  
DANISH NEW 6TH  
32 LANCE LAUREL DR.  
BELLINGHAM, WA 98222







**32 Lake Louise Dr.-Sudden Valley Div 7 Lots 83  
Parcel # 370408 321327**

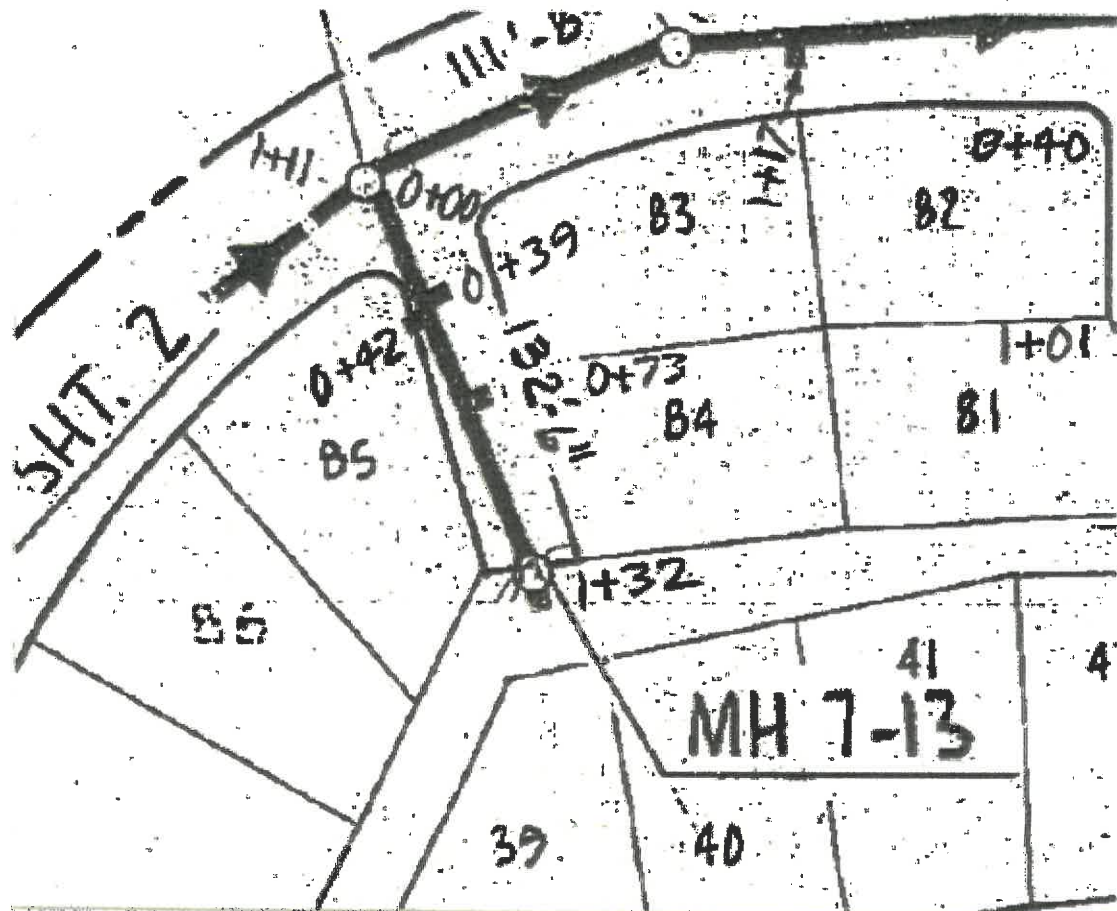
**WATER AND SEWER CONNECTION INFORMATION**  
 Connection information shown is approximate. Other utility locations are not shown.  
 All work shall be done in accordance with the District's Design & Construction Standards.

IRM  
4.21.26

1 of 2

Lake Whatcom Water & Sewer District | 1230 Louise Drive | Bellingham WA 98220 | (360) 734-0224





Item 10  
Pg 19 of 22



HORTON DENNIS & ASSOC., INC.  
 COMP BY \_\_\_\_\_ DATE \_\_\_\_\_  
 SHD BY \_\_\_\_\_ DATE \_\_\_\_\_

\_\_\_\_\_

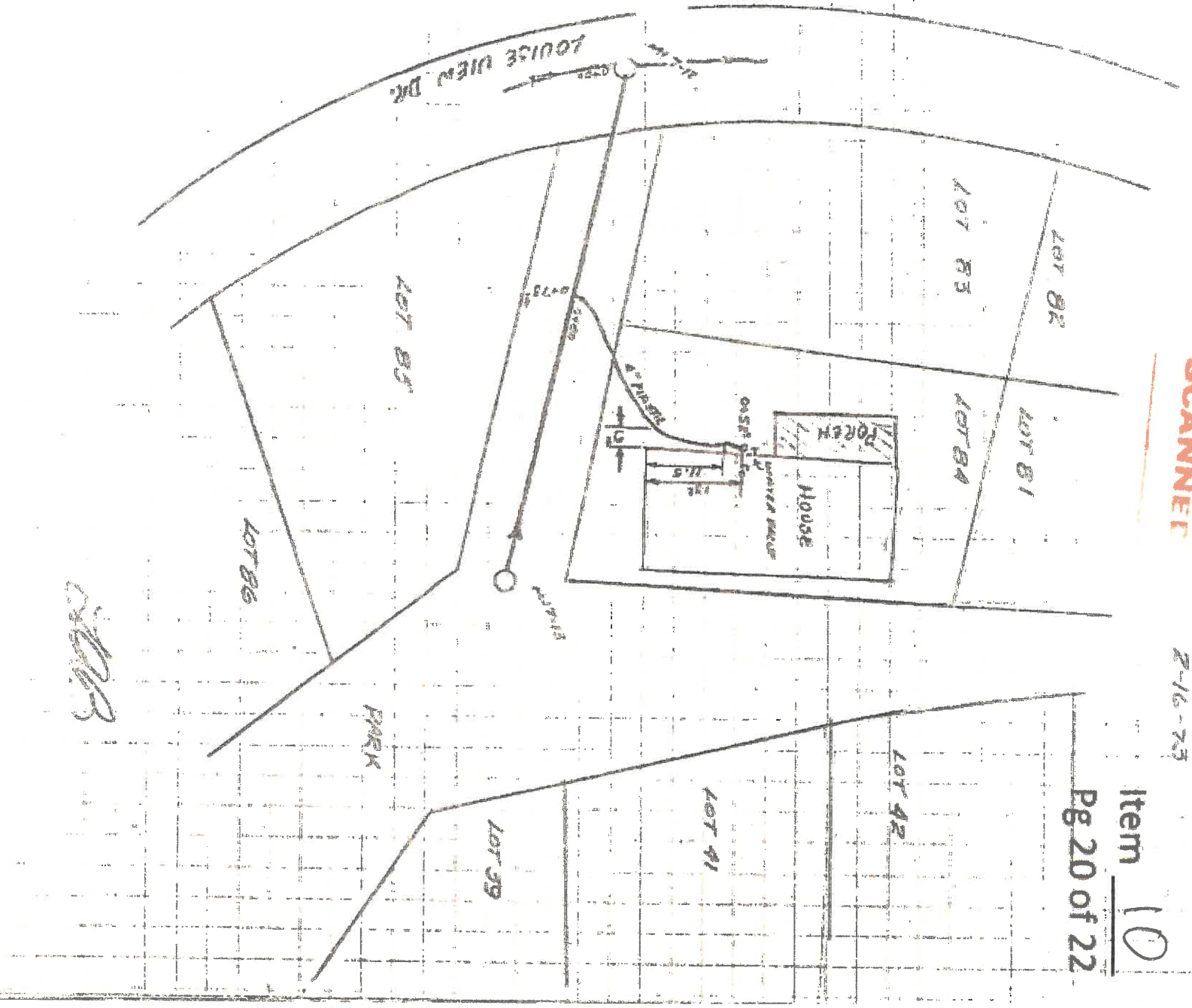
JOB NO. \_\_\_\_\_  
 PR NO. \_\_\_\_\_  
 PAGE \_\_\_\_\_ OF \_\_\_\_\_

**SCANNED**

SITE SEWER LOT 34 DIVY  
 2-16-73

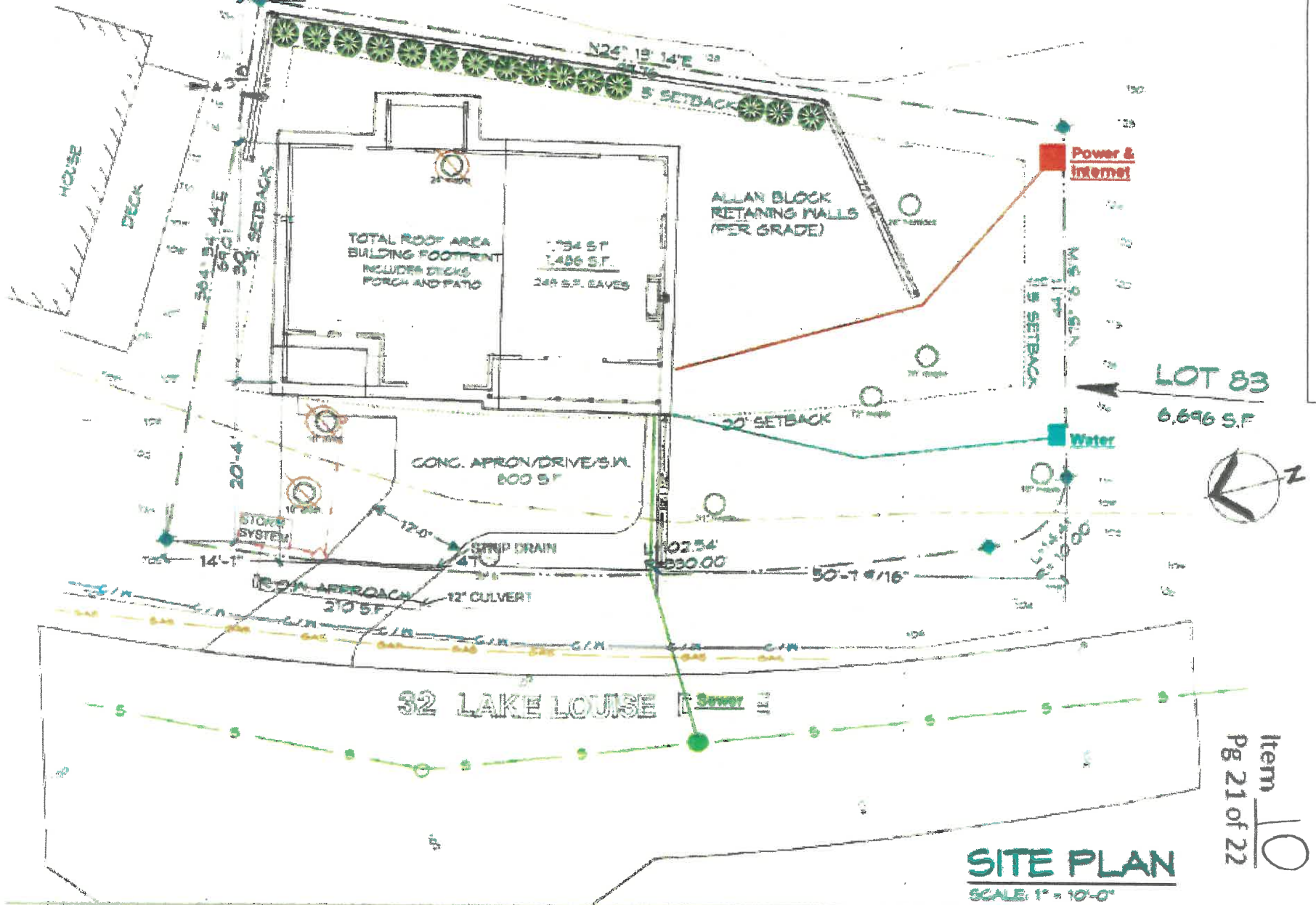
Item 10

Pg 20 of 22



*Handwritten signature or initials*

# Utility Connections





**WATER AVAILABILITY FORM  
PUBLIC WATER SYSTEM**

**WHATCOM COUNTY HEALTH  
AND COMMUNITY SERVICES**  
500 Grand Street  
Bellingham, WA 98225  
Telephone: 360-778-6000  
Fax: 360-778-6001

Complete and submit form with original signatures to WCCHCS

**Applicant Information:**

(copies are not accepted)

Applicant/Owner(s): Eduard Danch Phone: (360) 510-0982  
Address: 41 Maple Ct City: Bellingham State: WA Zip: 98226  
Contact Person: Eduard Danch Phone: \_\_\_\_\_  
Email and/or Alternate Contact: dancheduard@gmail.com

I certify that I am the owner or authorized representative of the below noted property. I have examined this form and know the same to be true and correct. I understand that this approval expires one year after the PWS Authorized Representative signature date and that application for final plat approval and/or building permit must be made before this expiration date. I understand that information submitted is subject to the Public Records Act.

Sign: [Signature] Print: Eduard Danch Date: 4/13/26

Property Information: Project Type:  Single  Multi-Family  ADU  Commercial  Plat

Tax Parcel Number (twelve digit number): 3 7 0 4 0 6 3 2 1 3 2 7

Address of Project: 32 Lake Louise Dr

Building Permit Number: \_\_\_\_\_ Plat Name: Div 7 Lot: 63

Briefly describe project (attach site plan and additional pages as needed)  
Single Family residential home in Sudden Valley

**Certification of Public Water Availability: to be Completed by the PWS Authorized Representative**

Group B water systems must have current water tests - bacteriological less than one year old and nitrate less than three years old.

Public Water System Name: South Shore LWSO DCH ID#: 959101

The above Public Water System (PWS) is approved by the WA State Department of Health or the WCHD for NA service connections and currently serves NA service connections. The PWS has the necessary water system infrastructure in place to adequately provide service to the above property per WAC 246-290 or WAC 246-291. The PWS is capable of and willing to supply water to the above property, residence, project or plat for  Existing service(s)  New service(s) and/or  Direct Connection? (  Yes  No (meter ready, no extension required)

Conditions of Service: \_\_\_\_\_

I certify that I am an authorized representative of the above PWS. I understand this approval expires one year after the PWS signature date. I understand that information submitted is subject to the Public Records Act 42.56.

Sign: [Signature] Print: RICH MUNSON Date: 4-14-26

Title: ESCO Address: 1220 Lakeway Dr Phone: 360-732-9224

**For Health Department Use Only:**

Approved Date: \_\_\_\_\_ Approval Expires: \_\_\_\_\_

Denied

By: \_\_\_\_\_ Well Constructed After January 2016:  Yes  No

Comments or Conditions: \_\_\_\_\_

Notify Via:  Email  Phone  Mail

The water availability permit is issued to an area that is governed by chapter 173-091 WAC and in which business flows are not over and are subject to closure in compliance with chapter 173-091 WAC. The County has determined adequate public water is available for the water availability permit on the basis of evidence supplied by the Applicant. Other authorities, including courts of competent jurisdiction and the Department of Ecology, regarding jurisdiction over water resources in the state of Washington. These authorities may determine that the proposed source of water for the project identified by the Applicant is not a valid water right appropriation or is subject to permit or seasonal restrictions on availability that may impact its availability for the intended use. The County's issuance of the water availability permit does not constitute a warranty or guarantee of the future availability of water to serve the water availability permit.

Issue \_\_\_\_\_  
Entry \_\_\_\_\_  
Ready \_\_\_\_\_

Rec'd 05/22/2026  
11:05 AM

# Sudden Valley Community Association Variance Request

Item 11  
Pg 1 of 10  
G3

Street Address: 10 Lookout Mountain Lane, Bellingham WA 98229 Div 2 Lot 118-119  
Owner: Christa Buzitis Morton & Jeremy Patrick Morton  
Mailing Address: 10 Lookout Mountain Lane, Bellingham, WA 98229  
Phone: ~~425-210-2468~~ Email: ~~christa@buzitis.com~~

Requests will not be considered unless the street address is clearly displayed on the residence.  
Please note that in the week(s) following request submittal, ACC members may visit and review property.

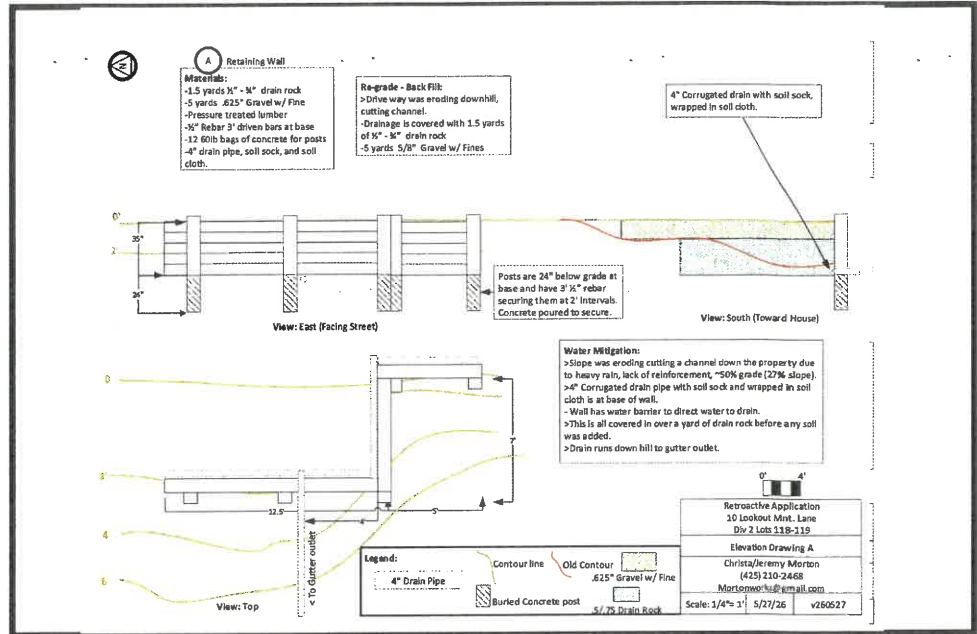
### Requested for:

- New construction
- Existing home
- Other

### The variance would affect:

- Exterior appearance
- Drainage/Erosion control
- Open space & Lot coverage
- Tree/Vegetation removal
- Setbacks to property line
- Interior living space
- Structure height

Please refer to ACC  
Guideline 14.8.12 for  
more information.



Give a full description of the request and need for the variance: \_\_\_\_\_

### Retroactive Application — Retaining Wall

We installed a 35-inch-tall (approximately 2 feet 11 inches) retaining wall constructed of railroad ties along the northern side of our property. The wall runs approximately 24½ linear feet and was built to mitigate erosion and level the driveway. There are two issues:

§14.9 — We recognize that we should have obtained ACC approval before construction and regret the oversight. The work was undertaken during a period of significant personal and property challenges and the procedural step of submitting for ACC review was not followed. We are submitting this retroactive application to be in full compliance with SVCA's governing documents.

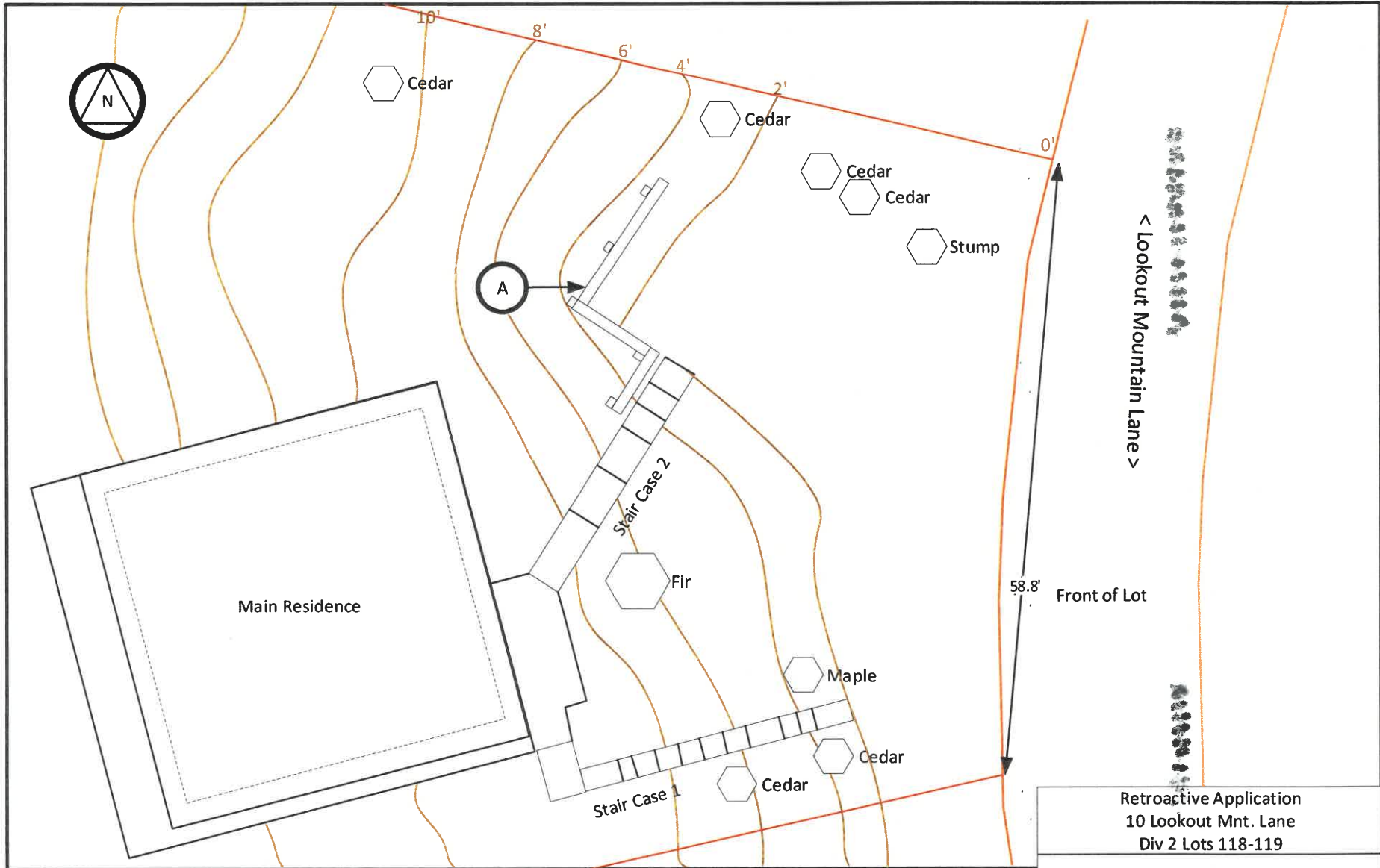
§14.9.1(i) — Railroad ties are creosote-treated, which is not permitted. The wall has been replaced with pressure-treated lumber rated for ground contact (UC4A/UC4B). For context, for over 8 months we averaged 30 hours of sleep per week. When we began another application we identified this issue and corrected it immediately.

Full narrative, grounds, and supporting documents are in the attached Variance Narrative and Cover Letter.

***This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.***

Owner Signature: *Christa Buzitis Morton* Date: 05/27/2026

AC Staff Comments: \_\_\_\_\_



**Legend:**



Tree



Tax Parcel



A Retaining Wall

Contour line



Retroactive Application  
10 Lookout Mt. Lane  
Div 2 Lots 118-119

Site Plan

Christa/Jeremy Morton  
(425) 210-2468  
Mortonworks@gmail.com

Scale: 1" = 10' | 5/27/26 | v260527



### A Retaining Wall

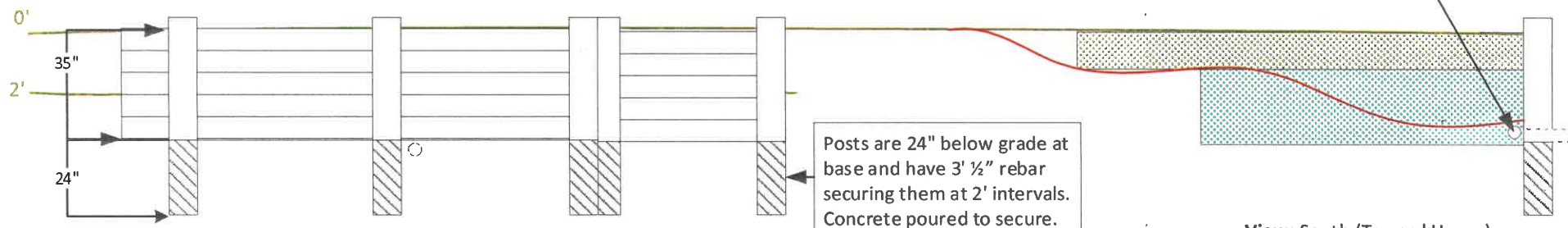
#### Materials:

- 1.5 yards 1/2" - 3/4" drain rock
- 5 yards .625" Gravel w/ Fine
- Pressure treated lumber
- 1/2" Rebar 3' driven bars at base
- 12 60lb bags of concrete for posts
- 4" drain pipe, soil sock, and soil cloth.

#### Re-grade - Back Fill:

- >Drive way was eroding downhill, cutting channel.
- Drainage is covered with 1.5 yards of 1/2" - 3/4" drain rock
- 5 yards 5/8" Gravel w/ Fines

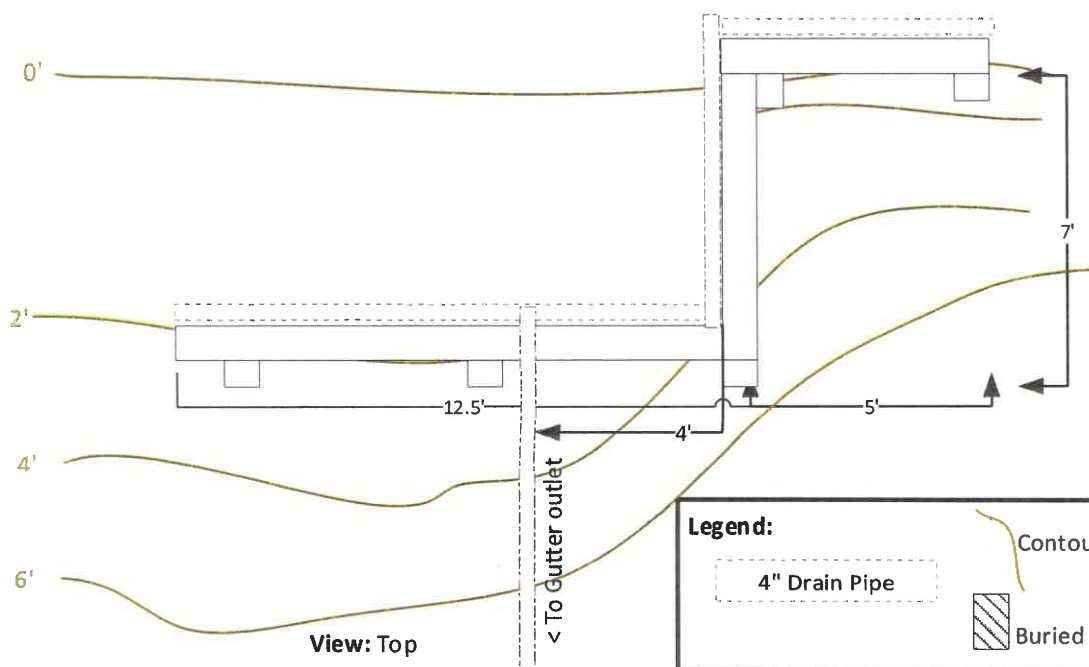
4" Corrugated drain with soil sock, wrapped in soil cloth.



View: East (Facing Street)

View: South (Toward House)

Posts are 24" below grade at base and have 3' 1/2" rebar securing them at 2' intervals. Concrete poured to secure.



View: Top

#### Water Mitigation:

- >Slope was eroding cutting a channel down the property due to heavy rain, lack of reinforcement, ~50% grade (27% slope).
- >4" Corrugated drain pipe with soil sock and wrapped in soil cloth is at base of wall.
- Wall has water barrier to direct water to drain.
- >This is all covered in over a yard of drain rock before any soil was added.
- >Drain runs down hill to gutter outlet.



#### Legend:

4" Drain Pipe

Contour line

Old Contour

.625" Gravel w/ Fine

Buried Concrete post

.5/.75 Drain Rock

Retroactive Application  
 10 Lookout Mt. Lane  
 Div 2 Lots 118-119

Elevation Drawing A

Christa/Jeremy Morton  
 (425) 210-2468  
 Mortonworks@gmail.com

Scale: 1/4" = 1'    5/27/26    v260527

Item 11  
 Pg 3 of 10

May 27, 2026

**From:** Christa Buzitis Morton & Jeremy Patrick Morton 10 Lookout Mountain Lane  
Bellingham, WA 98229 (Sudden Valley, Division 2 / Lots 118–119) (425) 210-2468  
[mortonworks@gmail.com](mailto:mortonworks@gmail.com)

**To:** Architectural Control Committee (ACC) Sudden Valley Community Association  
(360) 734-6430

**Re:** Retroactive Approval Request — Retaining Wall

---

Dear Members of the Architectural Control Committee,

We are writing to proactively address a matter on our property at the address above that falls under SVCA's ACC review process. We want to be fully transparent and work cooperatively with the Committee to bring this item into proper compliance, and we appreciate your consideration given the circumstances described below.

#### **Retroactive Application — Retaining Wall**

Earlier this year, we installed a 35-inch-tall (approximately 2 feet 11 inches) retaining wall constructed of railroad ties along the northern side of our property. The wall runs approximately 24½ linear feet and was built to mitigate erosion and level the driveway.

We recognize that we should have obtained ACC approval before construction, and we regret the oversight. The work was undertaken during a period of significant personal and property challenges — which we detail below — and the procedural step of submitting for ACC review was not followed as it should have been. We are submitting this retroactive application now because we want to be in full compliance with SVCA's governing documents.

#### **Retaining Wall Details:**

- Height: approximately 35 inches (below the 4-foot Whatcom County permit threshold)
- Material: Previously railroad ties — replaced with pressure-treated lumber rated for ground contact (UC4A/UC4B).
- Purpose: slope stabilization and water mitigation
- Location: along the west side of parking spot, away from the road
- Whatcom County permit: not required at this height

**Note Regarding Wall Material — Good Faith Disclosure**

We want to be fully transparent about an issue we identified only after the wall was constructed: railroad ties may contain creosote preservative, which is listed as a restricted material under ACC Policy §14.9.1. The wall was installed without awareness of this restriction — we observed similar installations in the neighborhood and selected railroad ties as the most practical and affordable option for stabilizing a steep slope. We were not aware at the time that the material was prohibited under SVCA's policies.

We are committed to working with the Committee on a responsible remediation path. Our proposed approach is:

- Replaced the railroad ties with pressure-treated lumber rated for ground contact (UC4A/UC4B).

We have enclosed a site plan showing the wall's location and dimensions. We welcome an ACC Inspector visit at any mutually convenient time.

---

**Context and Circumstances**

We want to share the full circumstances behind this project. For context, the intent was never to work around SVCA's requirements. Events of the past year have been personally challenging and tempered with a heavy measure of sleep deprivation.

A tree strike from the last series of storms set a number of things in motion. Before we were aware of our pregnancy, we commissioned a professional home inspection to document the damage and prioritize repairs. We began addressing those repairs — including the work to mitigate water/erosion damage and stabilize the slope and create usable level ground.

What followed was a period of sustained stressful — yet wonderful — changes. We had already started internal work before we knew we were pregnant, and then learned it was twins. This was medically complicated from early on and our twins arrived several months premature and required extended stays in the NICU. The weeks and months during and after that period were consumed entirely by the demands of their care. The ordinary administrative capacity a person needs to research HOA requirements, file applications, and track procedural steps was simply not available to us during that time.

Adjacent to these events, we still have extensive storm damage that needs to be addressed.

We want to be direct: we did not know the railroad tie material was restricted under ACC Policy §14.9.1. We observed similar installations in the neighborhood and chose railroad ties as the practical, affordable solution for a steep slope. We bought them because they were available and affordable — not to circumvent any rule. We are not

experienced with this process. We have been operating under sustained stress, with limited resources and severe sleep deprivation, trying to keep our family and our home together.

We are now working to understand every applicable requirement and bring everything into full compliance. That is the purpose of this letter and the accompanying application.

The retaining wall material was non-compliant. We identified this and replaced it immediately. It was never our intention to do any of this in bad faith.

**Requested Actions**

- Retroactive approval of the railroad tie retaining wall as described and documented.
- Guidance on any additional documentation, site visits, or modifications the Committee requires.

We were being reactive to the stressors and problems in the last year. We have never lived in an HOA before and did not realize the extent of what was needed approval-wise to fix the house. It was oversight and sleep deprivation at its finest. Working with the Committee we are committed to full compliance with all SVCA ACC requirements and Whatcom County regulations. Please do not hesitate to contact us at the phone number or email above to schedule a site visit, discuss the application, or request any additional information. We look forward to working with the Committee.

Respectfully, 

**Christa Buzitis Morton & Jeremy Patrick Morton** 10 Lookout Mountain Lane,  
Bellingham, WA 98229 Division 2 / Lots 118–119 (425) 210-2468 |  
[mortonworks@gmail.com](mailto:mortonworks@gmail.com)

**Enclosures:**

- Site plan — retaining wall location, dimensions
- Retaining wall elevation drawing
- Completed ACC Variance Request Form — Retaining Wall (retroactive)

## Variance Narrative

To: Sudden Valley Community Association Architectural Control Committee

**From:** Christa Buzitis Morton & Jeremy Patrick Morton

**Property Address:** 10 Lookout Mountain Lane, Bellingham, WA 98229

**Division / Lot:** Division 2 / Lots 118–119

**Owner(s):** Christa Buzitis Morton, Jeremy Patrick Morton

**Email:** [mortonworks@gmail.com](mailto:mortonworks@gmail.com)

**Phone:** (425) 210-2468 **Date:** May 27, 2026

### **RETROACTIVE VARIANCE REQUEST — RETAINING WALL**

The retaining wall was installed to stabilize an actively eroding hillside and level the driveway approach. The slope of the property makes this section of the lot susceptible to ongoing erosion without structural intervention. The wall addresses a genuine site stability problem.

### **APPLICABLE POLICY LANGUAGE**

Section 14.8.13 of the ACC Policies states:

*"The Committee may allow reasonable variances and adjustments of these restrictions in order to overcome practical difficulties and to prevent unnecessary hardships in the application of the provisions contained herein; provided that such is done in conformity with the intent and purposes hereof and that in every instance such variances or adjustments will not be materially detrimental nor injurious to other properties or improvements in the neighborhood."*

The ACC Policies further define a Variance as:

*"A modification of the terms of these regulations that may be granted because of the unusual shape, excessive slope or other extraordinary situations or conditions in connection with a specific piece of property when the literal enforcement of these requirements would involve practical difficulties and cause undue hardships unnecessary to carry out the spirit and intent of these requirements."*

### **GROUNDINGS FOR VARIANCE**

#### **1. Topography and Slope — The Wall Was Dictated by the Land**

The property contains significant natural slope. The retaining wall was installed to stabilize an actively eroding hillside and level the driveway approach. The slope of the property makes this section of the lot susceptible to ongoing erosion without structural intervention. The wall addresses a genuine site stability problem.

The ACC Policies explicitly identify "excessive slope" as grounds for a variance. This property qualifies directly under that standard.

## **2. The Wall Is Not Detrimental to Neighboring Properties**

The retaining wall:

- Is 35 inches in height — below the 4-foot Whatcom County permit threshold
- Runs approximately 24½ linear feet along the lower/road-facing edge of the lot
- Addresses slope stabilization and erosion control — functions that benefit, not harm, the surrounding area
- Does not block sightlines, access, or views of neighboring properties
- Is consistent in character with similar slope-management installations in the neighborhood

No neighboring property will experience material harm to their views, access, property values, or enjoyment as a result of this approval.

## **3. Extraordinary Circumstances — The Timeline in Context**

We want to be direct about the sequence of events, because without context it may appear more disorganized than it was. None of the decisions described in this application were made with malice or any intent to circumvent SVCA's requirements.

The work on this property began in response to a tree strike and associated storm damage. Before we were aware of any pregnancy, we commissioned a home inspection to assess the damage and prioritize repairs. The retaining wall was built as part of that response — to stabilize the slope, create usable level ground on the lot, and mitigate erosion of the hillside.

What followed was a sustained period of compounding difficulty. Pregnancy was medically complicated, and the twins arrived several months premature and required extended NICU stays. During and after that period, the ordinary administrative capacity needed to research HOA requirements and file applications in advance was not available. To put a yardstick on it: some weeks, thirty hours of total sleep was considered a good week.

We were not aware that the railroad tie material was restricted under ACC Policy §14.9.1. This was not a strategic omission — it reflects the knowledge gap of homeowners operating under sustained stress, limited resources, and severe sleep deprivation while caring for premature infants and managing a damaged property. Once we became aware of the restriction, we began the process of course-correcting immediately.

#### 4. Material Remediation — Good Faith Commitment

We acknowledge that railroad ties are not compliant with ACC Policy §14.9.1, which prohibits creosote-treated materials. Our remediation plan:

- Replaced the railroad ties with pressure-treated lumber rated for ground contact (UC4A/UC4B).

We are not asking the Committee to approve a non-compliant wall in perpetuity. We are asking for retroactive approval of the wall's location, dimensions, and function. The material has been brought into compliance.

#### 5. Conformity with the Spirit and Intent of the ACC Policies

This retaining wall has been remediated and fully honors those aims:

- The wall addresses active erosion — a purpose consistent with ACC landscaping and slope stability policy (§14.9.1(c))
- It does not introduce impervious surface or alter natural drainage patterns
- It will not affect the Lake Whatcom Watershed
- It does not encroach on any neighboring lot or right-of-way
- It now meets all ACC material standards

#### SUMMARY

We respectfully request that the Architectural Control Committee grant retroactive approval for the 35-inch retaining wall at 10 Lookout Mountain Lane, Lots 118–119, on the following grounds:

- Topography and excessive slope made slope stabilization necessary
- The wall addresses active erosion and driveway leveling — genuine site needs
- The wall does not harm neighboring properties, sightlines, or community character
- The non-compliant material (railroad ties) has been replaced with pressure-treated lumber rated for ground contact.
- Extraordinary personal circumstances — tree strike triggering emergency repairs, complicated pregnancy, premature twins requiring extended NICU care, repeated storm damage — explain the failure to obtain prior approval, with no intent to circumvent ACC requirements

We welcome a site visit at any mutually convenient time and are committed to full compliance with all ACC requirements and any conditions the Committee may attach to approval.

Variance Narrative

Respectfully submitted,

**Christa Buzitis Morton & Jeremy Patrick Morton** 10 Lookout Mountain Lane,  
Bellingham, WA 98229 Division 2 / Lots 118–119 [mortonworks@gmail.com](mailto:mortonworks@gmail.com) | (425) 210-  
2468

Signature:



Date: 05/27/2026

Rec'd 05/28/2026  
9:40 AM

# Sudden Valley Community Association Construction Change Request

Item 12  
Pg 1 of 3

Street Address: 14 Deer Run Div 14 Lot 116  
Owner: SU Tiny Homes LLC - Vitali  
Mailing Address: 972 Northshore dr Bellingham 98226  
Phone: 360.201.2000 Email: ~~mailto:info@tinyhomesllc.com~~

Requests will not be considered unless the street address is clearly displayed on the residence.  
Please note that in the week(s) following request submittal, ACC members may visit and review property.

**Requested for:**

- Existing home
- New construction

**The change would affect:**

- Exterior appearance
- Drainage/Erosion control
- Open space & Lot coverage
- Setbacks to property line
- Structure height

Please refer to ACC Guidelines 14.2 and 14.11 and for more information.



Give a full description of the request and attach any additional information if needed:

- New site plan attached - changes made to driveway  
- retaining walls added / engineering attached  
- New paint colors for exterior - Body - Behr Northwoods

*This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.*

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: [Signature]

Date: 5.27.26

**EROSION CONTROL:**

EROSION CONTROL BEST MANAGEMENT PRACTICES SHALL BE IN PLACE PER THE ACCEPTED SITE PLAN PRIOR TO ANY CONSTRUCTION START.  
 THE EROSION CONTROL SHALL BE INSPECTED ONCE A DAY AND MODIFIED TO MEET THE SURROUNDING CONDITIONS AS NEEDED.  
 THE STORM DRAIN SYSTEM SHALL BE CLEARED DAILY PER LOCAL RULES ALL DRAINAGE SYSTEMS SHALL BE CLEARED TO THE ACCEPTANCE OF THE COUNTY FACOR TO THE ACCEPTANCE OF THE PROJECT.  
 STABILIZED CONSTRUCTION BYWAYS AND ROADS SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED DURING THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED SUCH AS WASH PILES TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN, NO MUD IS ALLOWED TO ENTER CITY STREETS.  
 ANY SOILS EXPOSED THAT WILL NOT BE DISTURBED FOR TWO (2) DAYS IN THE WET SEASON OR SEVEN (7) DAYS DURING THE DRY SEASON SHALL BE IMMEDIATELY STABILIZED WITH THE APPROVED EROSION CONTROL (SEEDING, MULCHING, PLASTIC COVERINGS, ETC.).

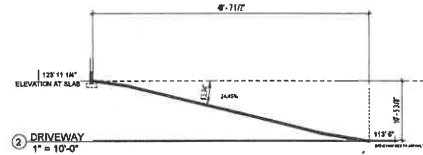
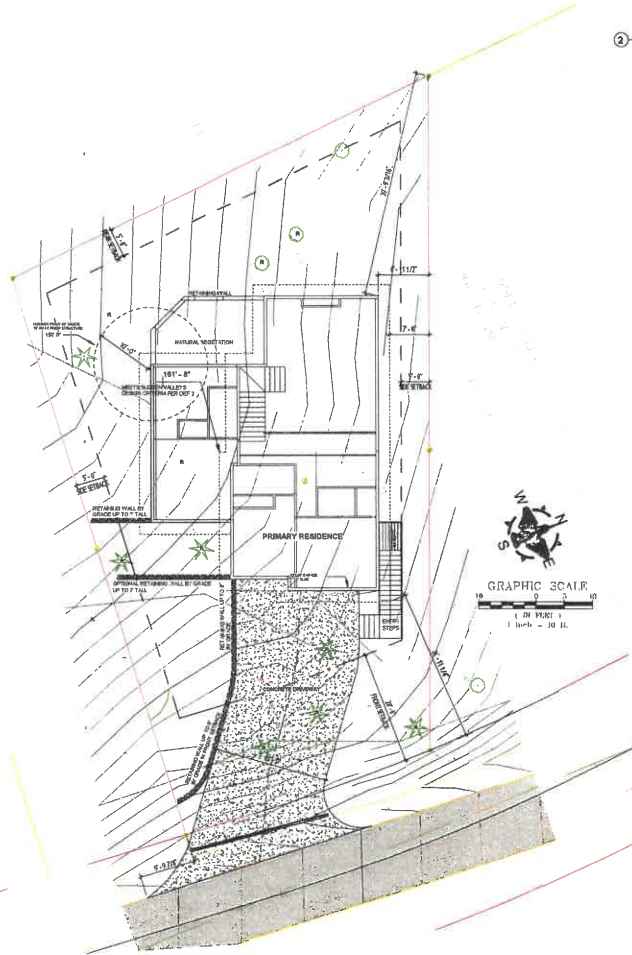
TWO (2) WEEKS PRIOR TO THE BEGINNING OF THE WET SEASON (OCTOBER 1ST) ALL DISTURBED AREAS SHALL BE REVIEWED TO IDENTIFY WHICH ONES CAN BE SEEDED IN PREPARATION FOR THE WINTER. DISTURBED AREAS SHALL BE SEEDED WITHIN ONE (1) WEEK OF THE BEGINNING OF THE WET SEASON. A SKETCH MAP OF THOSE AREAS TO BE SEEDED AND THOSE AREAS TO REPAIR UNCOVERED SHALL BE SUBMITTED TO THE PROJECT MANAGER. THE PROJECT MANAGER CAN RECOMMEND SEEDING IN ADDITIONAL AREAS IN ORDER TO PROTECT SURFACE WATER ADJACENT PROPERTIES OR DRAINAGE FACILITIES.

FINES FOR AN EROSION CONTROL VIOLATION MAY BE SUBJECT TO A MONETARY FINES UNDER WASHINGTON COUNTY CODES OR SLOTTON VALLEY GOVERNMENTAL. NOTE THAT FINES FOR EACH VIOLATION MAY ALSO BE CONSIDERED A DIFFERENT VIOLATION FOR EACH DAY OF OCCURRENCE.

**LAND USE INFORMATION**

**LEGAL DESCRIPTION:**  
 L&A (SPOFFORD)  
 ACCORDING TO THE RECORD RECORDED IN PUBLIC RECORDS IN WASHINGTON COUNTY, WASHINGTON, THE PLATS JAMES A. THORNTON I INCLUDE RECORDS OF WASHINGTON COUNTY, WASHINGTON.

- LOT SIZE: 6728 SF
- IMPERVIOUS SURFACES: = 0 SF
- EXISTING: = 0 SF
- PROPOSED NEW:
  - HOUSE INCLUDING DECKS = 2037 SF
  - DECKS = 0 SF
  - FRONT STEPS AND PORCH = 48 SF
  - CONCRETE DRIVEWAY = 547 SF
- PARKING AREA = 0 SF
- DRIVEWAY IN ROW = 200 SF
- TOTAL IMPERVIOUS SURFACES = 2882.1 SF
- PERCENT IMPERVIOUS = 43.0%
- PRINCIPAL BUILDING FOOTPRINT INCLUSIVE OF GARAGE = 2037 SF
- PROPERTY COVERAGE PERCENT = 30.3%



- LEGEND**
- FOUND REBAR/CAP AS NOTED
  - SET WOOD HUB & LATH
  - ⊕ FIRE HYDRANT
  - ⊕ WATER VALVE
  - SSW○ SANITARY SEWER MANHOLE
  - SEWER MAIN LINE
  - ⊕ TREE LABELED BY INCH DIA. & SPECIES (C=CEDAR, F=FER, H=HYDRLOCK, N=MAPLE)
  - EDGE OF PAVEMENT
  - CITY/DRAINAGE CENTERLINE
  - ⊕ POWER VAULT
  - × MISC. UTILITY AS NOTED
  - SEWER LINE
  - S&C○ SANITARY SEWER CLEAN OUT
  - POWER LINE
  - COMMUNICATION CABLES
  - STORMWATER DRAIN
  - ⊕ STORMWATER TREATMENT TRENCH
  - WATER LINE



**Deer Run Residence**

14 Deer Run, Bellingham WA 98229

Item 12  
 Pg 2 of 3

Customer:  
 BAMBI LLC

Phone:  
 (360) 201-3698

Email:  
 vta@bambi240@gmail.com

Designed by:  
 CTM DESIGNS

Email:  
 CTMDESIGN@GMAIL.COM

Date:  
 06/10/25

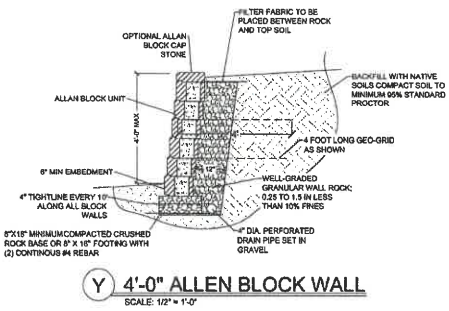
**SITE PLAN**

1" = 10'-0"

Deer Run Residence  
 Project Address:  
 14 Deer Run, Bellingham WA 98229  
 Tax Parcel: 3704044481570000  
 LOT 116, DIV 16

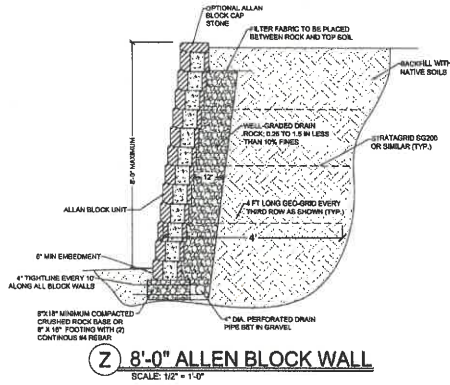
Page:

**A100**  
 SITE PLAN



**TIERED WALL OPTION**  
SCALE: 1/4" = 1'-0"

OKAY TO TIER RETAINING WALL AS SHOWN  
MAINTAIN 1" DISTANCE BETWEEN WALLS. FOR  
EXAMPLE, 4' TALL WALLS REQUIRE 4' SPACING.



Item 12  
Pg 3 of 3



Customer:  
BAMBI LLC  
Phone:  
(360) 201-3498  
Email:  
viala24@gmail.com

Designed by:  
CTM DESIGNS  
Email:  
mark.ctmdesign@gmail.com

Date:  
12/3/25

**SITEPLAN STRUCTURAL DETAILS**

1/2" = 1'-0"

Deer Run Residence  
Project Address:  
14 Deer Run, Bellingham WA 98229  
Tax Parcel: 3704064481870000  
LOT 116 DIV 15

Page:  
**A102**  
SITEPLAN  
STRUCTURAL  
DETAILS

Rec'd 05/20/2026  
7:21 AM

## Sudden Valley Community Association Exterior Alteration Request

Street Address 1 Green Hill Rd Div 16 Lot 231  
 Owner: : Krista and Robert Livingston  
 Mailing Address: 1 Green Hill Rd., Bellingham, WA 98229  
 Phone: [REDACTED] Email: [REDACTED]

**Requests will not be considered unless the street address is clearly displayed on the residence.  
 Please note that in the week(s) following request submittal, ACC members may visit and review property.**

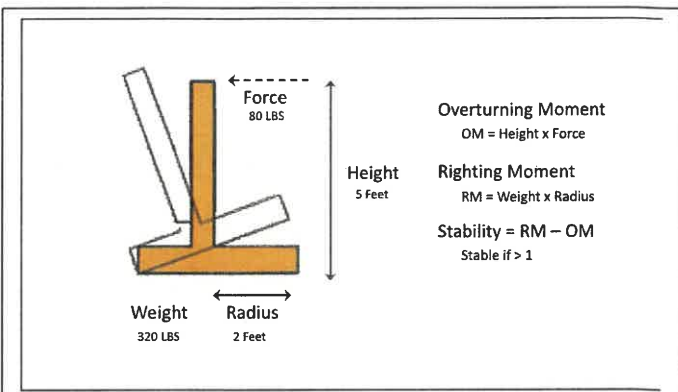
**Requested for:**

- Existing home
- New construction

**The change would affect:**

- Exterior appearance
- Drainage/Erosion control
- Open space & Lot coverage
- Setbacks to property line
- Structure height

**Please refer to ACC Guidelines 14.2 and 14.11 and for more information.**



Stability



Location

Give a full description of the request and attach any additional information if needed:

This resubmission for a Little Free Library at 1 Green Hill Rd. is to address questions from the Committee regarding its stability and location, which are discussed below.

Item – 30	1 Green Hill Rd, G3, Ext Alt (Free Library)	Video 02:54:03 – 02:55:22
Comments:	Resubmit with more precise information about placement and anchorage. The ACC is in favor of free	
Discussion:	libraries.	
Action:	Denied	Motion: Patric Unanimous



## Stability

The stability of the Library is determined by comparing the overturning moment (the tendency to tip over) to the righting moment (the resistance to tipping) then applying a Factor of Safety.

The righting moment (RM) is determined by the weight of the base multiplied by the distance from its center to its tipping edge.

$$RM = \text{Weight} \times \text{Radius (distance to edge)}$$

The overturning moment is the horizontal force due to wind or a child leaning multiplied by the total height at which the force is applied.

$$OM = \text{Force} \times \text{Height of Force}$$

The library is stable when the resistance to tipping is greater than the tipping force and is calculated by comparing the RM to the OM

$$\text{Stability} = RM - OM$$

If the result is greater than 0, the structure is stable.

A civil engineering Factor of Safety (FoS) is applied to ensure the structure does not yield to extreme or unforeseen circumstances and is typically between 1.5 to 2.0.

The OM of a typical child's pushing force ranges from 25 lbs to 80 lbs depending on their age and weight. The resulting overturning moment relies on where the push is applied with safety limits for railings or playground equipment typically from 50 lb-ft to 120 lb-ft.

The base is 16 x 48 inches and will be embedded in 320 pounds of concrete at a depth of 5 inches for a total of approximately 2 cubic feet of material. The height of the post is three feet and total height of the library is 5 feet.

Therefore:

$$RM = 320 \text{ lb} \times 2 \text{ ft}$$

$$RM = 640 \text{ lb-ft}$$

$$OM = 80 \text{ lb} \times 5 \text{ ft}$$

$$OM = 400 \text{ lb-ft}$$

$$\text{Stability} = 640 \text{ lb-ft} - 400 \text{ lb-ft}$$

$$\text{Stability} > 1$$

Factor of Safety 1.6

The structure as designed exceeds typical safety standards for playground equipment.

Rec'd 05/27/2026  
8:14 AM

## Sudden Valley Community Association Exterior Alteration Request

Item 14  
Pg 1 of 4  
G3

Street Address: 122 Harbor View Drive Div 16 Lot 274 & 275  
Owner: BEVERLY THOMPSON  
Mailing Address: As above  
Phone: ~~360-232-1111~~ Email: ~~msr@msr.com~~

Requests will not be considered unless the street address is clearly displayed on the residence.  
Please note that in the week(s) following request submittal, ACC members may visit and review property.

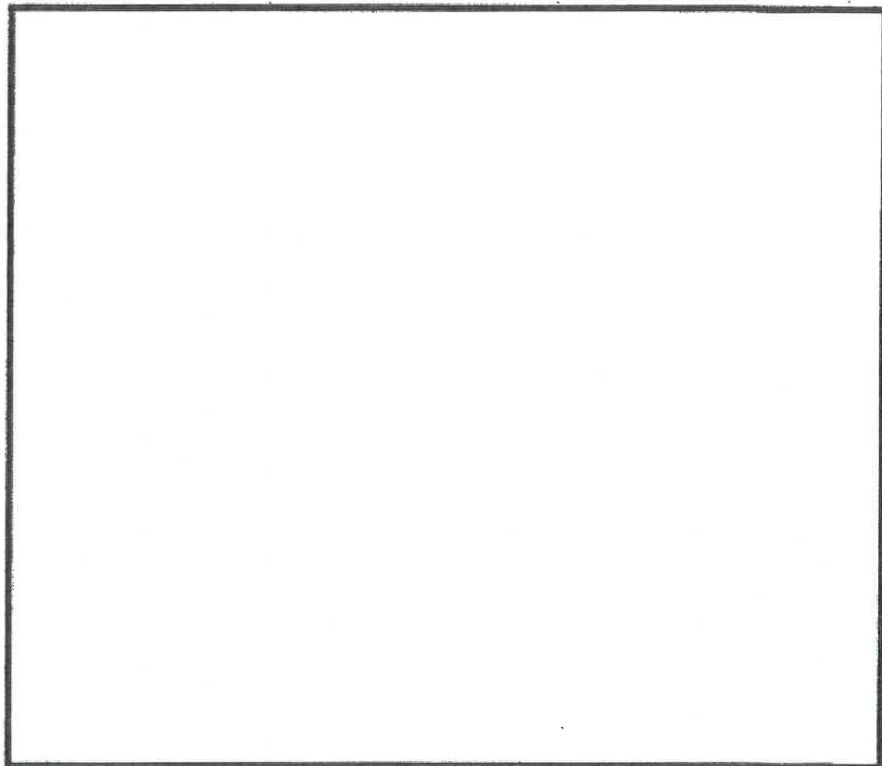
**Requested for:**

- Existing home
- New construction

**The change would affect:**

- Exterior appearance
- Drainage/Erosion control
- Open space & Lot coverage
- Setbacks to property line
- Structure height

Please refer to ACC Guidelines  
14.2 and 14.11 and for more  
information.



Give a full description of the request and attach any additional information if needed:

see Attached

*This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.*

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: Beverly Thompson

Date: 5-27-26

My late husband and I built our home here in 2003, and moved in the next year. I wanted a greenhouse, but after our first power-outage, and living in the dark for a week, our funds went instead to a stand-by generator. It was the right decision — because, as you know, we get a lot of outages here! I was never sorry, but I still want the greenhouse. You see, we're surrounded by trees, such that nothing will grow for me except pine trees, moss, bamboo, ferns, algae and mold (which the deer thankfully leave alone [although the raccoons sharpen their claws on my tree trunks]). John Patten, who built our home, objected strongly to my request for a wrap-around deck, but he put it in anyway, which I'm grateful for because the deer can't get to all the shade plants I'm trying to grow there. (BTW, while I have woods all around me, I have tried shade plants, but the deer have leveled every single one.) The location for the greenhouse would be in the back of my home, which faces east, where I do get a little morning sun. I have grown blueberries and peonies there, but not enough sun for blossoms or fruit. I can't even grow house plants, so, after my hubby passed, I turned his bathroom into a makeshift atrium with grow lamps and have been able to grow all my faves, including cyclamen and orchid, but his bathroom is small, and I have now run out of room. When I found this greenhouse online (see photo), I fell in love, and when I measured my back deck and discovered the area on the back deck where I want it is the exact same size as this greenhouse, I just had to have it. It is 8 feet by about 30 feet, but I don't want it extended past the house, which is 20 feet to the little gate, leaving about 10 feet to the end of the deck. I'm very excited about the greenhouse, and, as frugal as my dear husband was, I think he would be pleased.

**NOW:**

Item 14  
Pg 3 of 4



**ADDITION:**





Bellingham



SPECIAL BUY

\$3,156<sup>89</sup>

Was \$3,561.79  
Save \$404.90 (11%)

- Outdoor Patio Cover with UV protected roof for all weather use
- Outdoor Deck Cover door can be assembled on either side
- Acrylic patio cover side panels, resin frame for insulation
- [View More Details](#)

Approximate Greenhouse HxWxD ( ft.): 9x8x20

9x8x20

<https://www.homedepot.com/p/CANOPIA-by-PALRAM-Sun-Room-8-ft-x-20-ft-White-Clear-Patio-Enclosure-and-Solarium-702147/205950585>

Item 14  
Pg 4 of 4

MAY 27 2026

### Sudden Valley Community Association Fence Request

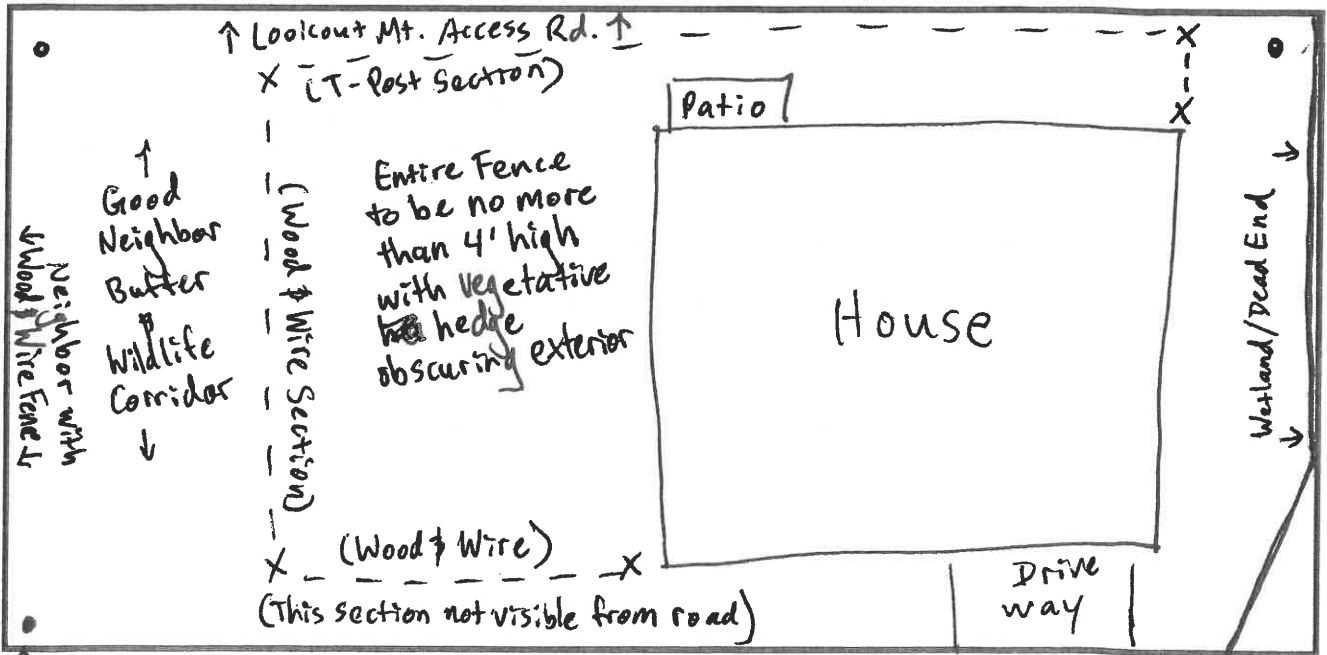
Item 15  
Pg 1 of 2  
G5

Street Address: 8 Shetland Ct. Div 24 Lot 94  
Owner: Megan and William Trumper  
Mailing Address: Same as above  
Phone: (999) 222-2222 Email: mtrumper@trumper.com

Requests will not be considered unless the street address is clearly displayed on the residence.  
Please note that in the week(s) following request submittal, ACC members may visit and review property.

Intended use:  Privacy  Protection  Pet Enclosure  
Fence type:  Split Rail  Wood and Wire  Vegetative Hedge  Other

On the diagram below, please indicate the road, property line, house, fence outline with dimensions, and any proposed vegetative screening (may attach larger sketch if needed).



Corners of the proposed fence **MUST** be staked prior to submittal.  
Please refer to ACC Guideline 14.6.8 for more information.

Give a full description, additional considerations, and attach additional information if needed:

As stated in my previous request, this fence is to ensure that my dogs do not have the opportunity to harrass wildlife or those recreating on the trail directly behind the house. My intent was to use T-posts and  
This request form in no way constitutes an approval from ACC. You **MUST** receive written approval before commencing any alterations. → see reverse

Submission of this form provides notice for the ACC to visit the property during reasonable hours. reverse

Owner Signature: [Signature]

Date: 05/27/26

AC Staff Comments: \_\_\_\_\_

black hog wire with native plants used as an exterior hedge in order to make this fence as camouflaged as possible. I also have visibly rotting alders along the proposed fence line and therefore chose a design that could be moved if necessary. I also intended my fence to have as little impact on the environment as possible. In order to begin work on my fence, I am changing my design to include a wood framed section in the front and left sides, per the ACC's request. This new design will be more labor intensive, more costly, less weather resistant, less camouflaged, more permanent, and have a greater impact on the environment due to the need for concrete.

I hope the ACC members approve of the aesthetics of my new design, so that I may begin work as soon as possible. Please let me know when the ACC will meet to discuss the matter and I will endeavor to attend this time.

Item 15  
Pg 2 of 2

Item - 20	8 Shetland Ct, G5, Fence (Pet)	Video 01:38:58 - 01:51:00
Comments:	Please reconsider the design with Wood & Wire fencing across the front and left sides.	
Discussion:		
Action:	Denied	Motion: Terry Unanimous

REC'D  
5-25-26  
3:39 PM

# Sudden Valley Community Association Exterior Alteration Request

ITEM 16  
PG 1 OF 1  
G5

Street Address: 4 Arabian Way Div 24 Lot 134, 135, 136  
Owner: Jeff & Daniela Yoder  
Mailing Address: 4 Arabian Way, Bellingham, WA 98229  
Phone: ~~360-220-9500~~ Email: ~~yoder19@comcast.net~~

Requests will not be considered unless the street address is clearly displayed on the residence.  
Please note that in the week(s) following request submittal, ACC members may visit and review property.

**Requested for:**

- Existing home
- New construction

**The change would affect:**

- Exterior appearance
- Drainage/Erosion control
- Open space & Lot coverage
- Setbacks to property line
- Structure height

Please refer to ACC Guidelines 14.2 and 14.11 and for more information.



Give a full description of the request and attach any additional information if needed:

Replacing existing wooden retaining wall which have rotted with larger natural stones.

Marks in turquoise are current wood & paver brick retaining areas which have rotten or are failing.

Marks in red will be new retaining wall out of larger natural stones which will prevent erosion and provide a terraced flat area which will follow the natural terrain of the property and allow more planting of trees.

Each terrace will be at the 4 feet or under height.

*This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.*

Submission of this form provides notice for the ACC to visit the property during reasonable hours.  
Owner Signature: YODER, JEFFERY B. RYAN.1044716204 Digitally signed by YODER, JEFFERY BRYAN.1044716204 Date: 2026.05.14 14:47:24 -07'00' Date: 14 May 2026

Rec'd 05/22/2026  
2:22 PM

# Sudden Valley Community Association Construction Change Request

Item 17  
Pg 1 of 2  
G9

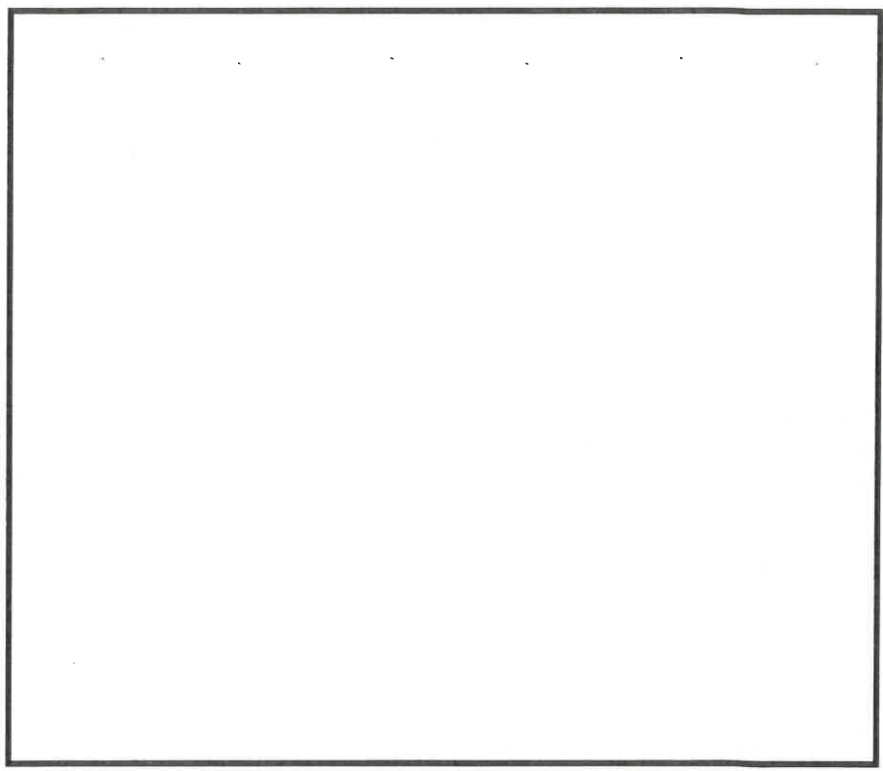
Street Address: 312 Sudden Valley Dr Bellingham WA, 98229 Div 3 Lot 98  
Owner: Mark Chernomoretz  
Mailing Address: 105 Sudden Valley Dr, Bellingham WA, 9822  
Phone: (360) 296-9419 Email: mark.chernomoretz@acc-ill.com

**Requests will not be considered unless the street address is clearly displayed on the residence.  
Please note that in the week(s) following request submittal, ACC members may visit and review property.**

- Requested for:**  
 Existing home  
 New construction

- The change would affect:**  
 Exterior appearance  
 Drainage/Erosion control  
 Open space & Lot coverage  
 Setbacks to property line  
 Structure height

**Please refer to ACC Guidelines  
14.2 and 14.11 and for more  
information.**



Give a full description of the request and attach any additional information if needed:  
Changes to siding colors and style. Added 4" lap siding, and 6" lap siding, switched from cedar shingles to hardi shingles. Added a small sectionm of vertical pine in the front.

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*This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.*

**Submission of this form provides notice for the ACC to visit the property during reasonable hours.**

**Owner Signature:** Mark Chernomoretz **Date:** 05/28/26

Staff Comments: \_\_\_\_\_

Item 17

Pg 2 of 2

Staff Signature: \_\_\_\_\_

Date: \_\_\_\_\_



**1 qt. #W-D-710  
Creamy White Satin  
Enamel Low Odor  
Interior Paint &  
Primer**

by **BEHR PREMIUM  
PLUS**

Live Chat

MAIN BODY COLOR 1 (SHINGLES)



**1 qt. #PPU24-01  
Black Mocha  
Eggshell Enamel  
Interior Stain-  
Blocking Paint &  
Primer**

by **BEHR DYNASTY**

★★★★★ (2698)

\$31<sup>98</sup>

Live Chat

MAIN BODY COLOR 2 (BOARD/BATTEN)



**1 qt. #BXC-54 River  
Pebble Flat Exterior  
Paint & Primer**

by **BEHR PREMIUM  
PLUS**

★★★★★ (3695)

\$23<sup>48</sup>

>

BODY COLOR LAP SIDING



**12 oz. Soft Charcoal  
Matte  
Interior/Exterior  
Suede Spray Paint  
and Primer**

by **BEHR PREMIUM**

★★★★★ (86)

\$9<sup>98</sup>

TRIM COLOR

Rec'd 05/18/2026  
2:23 PM

Item 18  
Pg. 1 of 2  
G13  
Lot 238

# Sudden Valley Community Association Tree/Vegetation Trimming and/or Removal Request

Street Address: 142 Harbor View Dr. Div 22  
Owner: PATRICIA A. GONZALEZ  
Mailing Address: 142 Harbor View Dr.  
Phone: ~~503-555-1234~~ Email: ~~patricia.gonzalez@suddenvalley.com~~

**All trees must be clearly flagged (no spray paint) before applying.**

Requests will *not be considered if flagging is missing* OR if street address isn't clearly displayed on residence.

**IMPORTANT NOTE:** Within an individual's clearly distinguished property boundaries, routine maintenance can be performed and is encouraged **without** ACC permission. This includes the pruning of **dead branches** and those branches that are **6" or less in diameter**. Removal of those branches **may not exceed 30%** of the foliage density of an individual specimen. Small trees, branches and vegetation **10" or less in diameter and within 10' of a residential structure** may be removed without ACC approval.

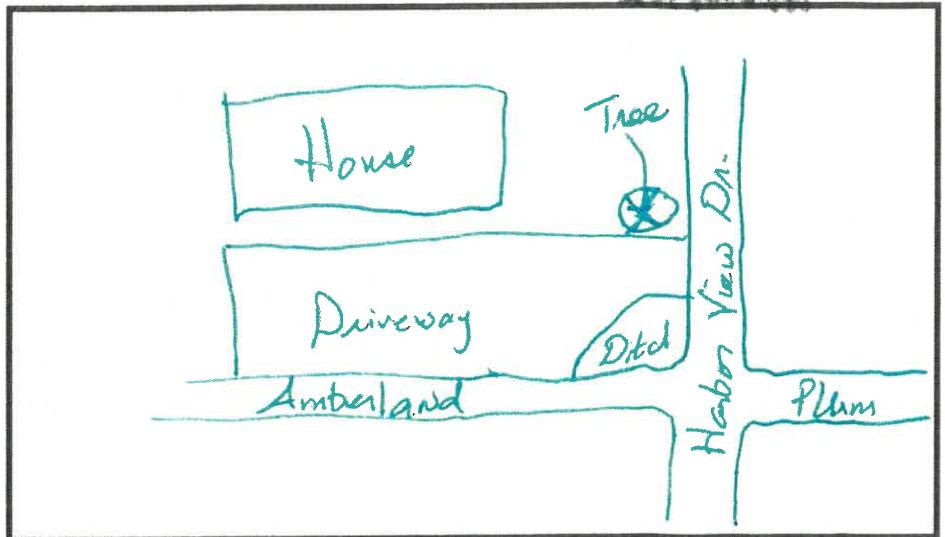
\*\* Per Whatcom County Canopy Retention Regulation effective October 22, 2016 any significant tree being removed in Lake Whatcom Watershed requires county permit. Significant is defined as evergreen trees 12" in diameter or greater and deciduous 8" in diameter or greater. Any limbing 25% and under does not require a county permit. If a county permit is required for you proposed tree removal/ limbing request, please attach your approved county permit to this application. \*\*

1 Number of trees/shrubs  
 # Removal         # Limbing

On the diagram below, please indicate the location of the road, property line, house, and each tree (numbered individually).

Type:  
     Fir         Cedar         Hemlock  
     Alder         Maple     Other

Check any that apply:  
 Property or personal danger  
 Dead/Diseased  
 Leaning  
 Roots exposed  
     On a slope  
     Creation/maintenance of view  
     Replanting trees/shrubs



     Located on SVCA property  
     Located on neighbor's property - For trees that are not on the applicant's property, written permission from the owner is required **prior** to submittal.

Please refer to ACC Guideline 14.10 for more information. Please email to: [office@suddenvalley.com](mailto:office@suddenvalley.com)

Give a full description, the reason for the requested action and diameter on each tree, and attach any additional information if needed:

See Attachment 1 to photos

**This request form in no way constitutes an approval from the ACC or Whatcom County. You MUST receive written approval and an SVCA permit before commencing any work.**

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: Patricia A. Gonzalez Date: 05/18/2026

Attachment 1 – Reason for tree removal request

I noticed an unhealthy tree in my yard, so called a tree service, Cedar Valley Earthworks, I previously used who was initially recommended and used by Sudden Valley. Cedar Valley determined the tree is dying – it has stress fractures in the trunk, dead limbs, large exposed roots, and is leaning. They felt it could come down in the next strong wind storm.  
Current diameter: 15.91 inches.

Note: This tree is not original or native to the property or area. It was a previous live Christmas tree that was planted after the holiday season.

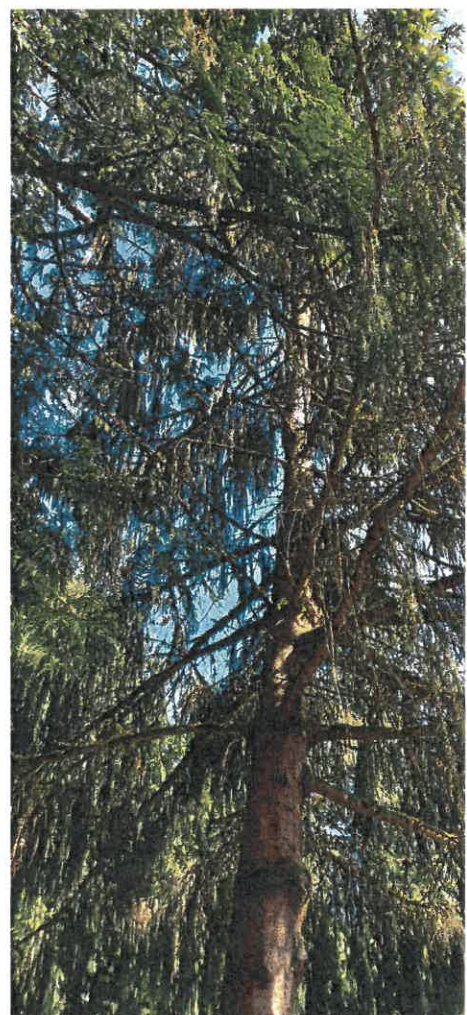
I ask that you please approval the removal of this potentially dangerous tree.

Thank you for your time and consideration.

Sincerely,  
Patricia A. Gonzalez  
Property Owner  
142 Harbor View Drive  
~~Asst. City~~



The Tree



Upper Lmbs



Exposed  
Roots



Rec'd 05/28/2026  
12:04 PM

# Sudden Valley Community Association Exterior Alteration Request

Item 19  
Pg 1 of 1  
G13

Street Address: 1 Dawn Break Ct., Bellingham, WA 98229 Div 29 Lot 24.25  
Owner: Justin Shank  
Mailing Address: Same  
Phone: ~~360-734-0221~~ Email: ~~Justin.Shank@gmail.com~~

**Requests will not be considered unless the street address is clearly displayed on the residence.  
Please note that in the week(s) following request submittal, ACC members may visit and review property.**

**Requested for:**

- Existing home
- New construction

**The change would affect:**

- Exterior appearance
- Drainage/Erosion control
- Open space & Lot coverage
- Setbacks to property line
- Structure height

**Please refer to ACC Guidelines 14.2 and 14.11 and for more information.**



Example of standard Ironclad Color

Give a full description of the request and attach any additional information if needed:

Change color from approved SW Cyberspace to custom color. The color was just used on a home in

Sudden Valley located at 28 Honeycomb.

New color would be Sherwin-Williams Iron Clad Roda 8628-02364.

***This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.***

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: Justin J Shank

Date: 5/28/2026