



# Sudden Valley Community Association Architectural Control Committee

Date 07/16/2026

Time 5:00 PM

Location - Multi-Purpose Room "A"

## Agenda

Type of meeting: Request and Plan Review

Facilitator: Daniel Rodriguez, Chair

Committee Attendees:

Excused Absence:

Attendees:

Observers:

Item – 1	Approval of 07/16/2026 ACC Meeting Agenda
Item – 2	Property Owner Comments
Item – 3	Consent Agenda – Approval of the 07/02/2026 ACC Meeting Minutes
Item – 4	5 Spinnaker Ln, G1, Const Change (Driveway)
Item – 5	32 Lake Louise Dr, G2, New Construction, <b>Resubmission</b>
Item – 6	81 Grand View Ln, G2, Ext Alt (Retaining Wall)
Item – 7	14 Woodpecker Pl, G2, New Construction <b>Resubmission</b>
Item – 8	14 Woodpecker Pl, G2, Variance (Lot Cov & Side Setback) <b>Resubmission</b>
Item – 9	9 Whispering Cedars Ct, G2, Ext Alt (Paint)
Item – 10	14 Deer Run Ln, G3, Const Change (Retaining Wall) <b>Resubmission</b>
Item – 11	29 Maple Ct, G3, Fence (Pet) <b>Resubmission</b>
Item – 12	20 Tumbling Water Dr, G5, Ext Alt (Walkway) <b>Resubmission</b>
Item – 13	9 Sweetclover Cir, G5, Tree (Remove 1)
Item – 14	4 Loganberry Ln, G5, Ext Alt (Heat Pump)
Item – 15	4 Loganberry Ln, G5, Ext Alt (Plant Hangers)
Item – 16	11 Little Strawberry Ln, G9, Ext Alt (Deck)
Item – 17	52 Morning Glory Dr, G9, Ext Alt (Siding & Paint)
Item – 18	34 Morning Glory Dr, G9, 1st Extension (New Home) <b>Six Months</b>
Item – 19	5 Ravenwood Ct, G9, Ext Alt (Window)
Item – 20	192 Polo Park Dr, G13, Tree (Remove 1)
Item – 21	32 Canyon Ct, G13, Ext Alt (Hot Tub)
Item – 22	65 Stable Ln, G13, Fence (Pet)
Item – 23	190 Sudden Valley Dr, G9, 1st Extension (New Home) <b>Six Months</b>



Item – 24	101 Polo Park Dr, G13, 1st Extension (New Home) <b>Six Months</b>
Item – 25	137 Sudden Valley Dr, G13, Ext Alt (Deck)
Item – 26	168 Harbor View Dr, G13, Ext Alt (Hot Tub)
Item – 27	144 Harbor View Dr, G13, Tree (Remove 3)
Item – 28	24 Western Ln, G13, Ext Alt (Front Porch) <b>Resubmission</b>
Item – 29	1953 Lake Whatcom Blvd, Tree (Remove 2)



**Meeting Called to Order 00:00 PM**

<b>Item – 1</b>	Approval of 07/16/2026 ACC Meeting Agenda	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

<b>Item – 2</b>	Property Owner Comments	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

<b>Item – 3</b>	Consent Agenda – Approval of the 07/02/2026 ACC Meeting Minutes	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

<b>Item – 4</b>	5 Spinnaker Ln, G1, Const Change (Driveway)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

<b>Item – 5</b>	32 Lake Louise Dr, G2, New Construction, <i>Resubmission</i>	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

<b>Item – 6</b>	81 Grand View Ln, G2, Ext Alt (Retaining Wall)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

<b>Item – 7</b>	14 Woodpecker Pl, G2, New Construction <i>Resubmission</i>	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

<b>Item – 8</b>	14 Woodpecker Pl, G2, Variance (Lot Cov & Side Setback) <i>Resubmission</i>	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

<b>Item – 9</b>	9 Whispering Cedars Ct, G2, Ext Alt (Paint)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

<b>Item – 10</b>	14 Deer Run Ln, G3, Const Change (Retaining Wall) <i>Resubmission</i>	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

<b>Item – 11</b>	29 Maple Ct, G3, Fence (Pet) <i>Resubmission</i>	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

<b>Item – 12</b>	20 Tumbling Water Dr, G5, Ext Alt (Walkway) <i>Resubmission</i>	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

<b>Item – 13</b>	9 Sweetclover Cir, G5, Tree (Remove 1)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

<b>Item – 14</b>	4 Loganberry Ln, G5, Ext Alt (Heat Pump)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

<b>Item – 15</b>	4 Loganberry Ln, G5, Ext Alt (Plant Hangers)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

<b>Item – 16</b>	11 Little Strawberry Ln, G9, Ext Alt (Deck)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

<b>Item – 17</b>	52 Morning Glory Dr, G9, Ext Alt (Siding & Paint)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

<b>Item – 18</b>	34 Morning Glory Dr, G9, 1st Extension (New Home) <i>Six Months</i>	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

<b>Item – 19</b>	5 Ravenwood Ct, G9, Ext Alt (Window)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

<b>Item – 20</b>	192 Polo Park Dr, G13, Tree (Remove 1)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

<b>Item – 21</b>	32 Canyon Ct, G13, Ext Alt (Hot Tub)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

<b>Item – 22</b>	65 Stable Ln, G13, Fence (Pet)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

<b>Item – 23</b>	190 Sudden Valley Dr, G9, 1st Extension (New Home) <i>Six Months</i>	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

<b>Item – 24</b>	101 Polo Park Dr, G13, 1st Extension (New Home) <i>Six Months</i>	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

<b>Item – 25</b>	137 Sudden Valley Dr, G13, Ext Alt (Deck)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

<b>Item – 26</b>	168 Harbor View Dr, G13, Ext Alt (Hot Tub)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

<b>Item – 27</b>	144 Harbor View Dr, G13, Tree (Remove 3)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

<b>Item – 28</b>	24 Western Ln, G13, Ext Alt (Front Porch) <i>Resubmission</i>	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:



<b>Item – 29</b>	1953 Lake Whatcom Blvd, Tree (Remove 2)	Video 00:00:00 – 00:00:00
<b>Comments:</b>		
<b>Discussion:</b>		
<b>Action:</b>		<b>Motion:</b>

**Meeting Adjourned at 00:00 PM**



# Sudden Valley Community Association Architectural Control Committee

## Minutes

Date 07/02/2026

Time 9:00 AM

Location - Zoom

**Type of meeting:** Request and Plan Review

**Facilitator:** Daniel Rodriguez, Chair

**Committee Attendees:** Patric Zwolenski, Jo Jean Kos, Dan Vink, Terry Niblack

**Excused Absence:**

**Attendees:** Jerry Gangle, Allen Helvajian

**Observers:** Brent Willen (Item 5), Russell & Marika Dawe (Item 6), Ed Danch (Item 12), David Dabroski (Item 13), Vitali Pikalov (Items 17 & 27), Chad Schmitt (Item 26), Libby Feller & Gary Brava (Observers), Matt Griscom (Observer), Steven Palmer (Observer)

Item – 1	Approval of 07/02/2026 ACC Meeting Agenda
Item – 2	Property Owner Comments
Item – 3	Consent Agenda – Approval of the 06/18/2026 ACC Meeting Minutes
Item – 4	64 North Point Dr, G1, Ext Alt (Paint)
Item – 5	80A Windward Dr, G1, Ext Alt (Paint)
Item – 6	69 North Point Dr, G1, Ext Alt (Tiered Remodel) <i>In Concept</i>
Item – 7	31 Longshore Ln, G1, Ext Alt (Retaining Wall)
Item – 8	10 Longshore Ln, G1, Ext Alt (Deck & Railing)
Item – 9	7 Tee Pl, G1, Ext Alt (Entry Cover)
Item – 10	7 Tee Pl, G1, Ext Alt (Paint)
Item – 11	8 Lake Louise Dr, G2, 1st Extension (New Home) <i>Six Months</i>
Item – 12	32 Lake Louise Dr, G2, New Construction, <i>Resubmission</i>
Item – 13	2 Orchid Ct, G2, Tree (Remove 8 Limb 5)
Item – 14	14 Woodpecker Pl, G2, New Construction <i>Resubmission</i>
Item – 15	14 Woodpecker Pl, G2, Variance (Lot Cov & Side Setback) <i>Resubmission</i>
Item – 16	1 Lake Louise Dr, G2, Ext Alt (Gen Maint & Repair) <i>Resubmission</i>
Item – 17	14 Deer Run Ln, G3, Const Change (Retaining Wall)
Item – 18	31 Green Hill Rd, G3, Ext Alt (Paint)
Item – 19	22 Hillside Pl, G3, 1st Extension (New Home) <i>Six Months</i>
Item – 20	26 Shetland Ct, G5, New Construction
Item – 21	30 Bramble Way, G5, Ext Alt (Paint)



Item – 22	15 Oakcrest Cir, G9, Ext Alt (Siding & Paint)
Item – 23	35 Honeycomb Ln, G9. Ext Alt (Panel Porch Ceiling & Wrap Columns)
Item – 24	35 Honeycomb Ln, G9. Ext Alt (Raised Planter Boxes)
Item – 25	9 Highwood Cir, G13, Ext Alt (Roof)
Item – 26	190 Sudden Valley Dr, G9, Construction Change (Sewer)
Item – 27	22 Granite Cir, G13, Const Change (Retaining Wall)
Item – 28	13 Twin Flower Cir, G13, Tree (Remove 1)

**Meeting Called to Order 9:04 AM**

<b>Item – 1</b>	Approval of 07/02/2026 ACC Meeting Agenda	Video 00:00:06 – 00:06:06
Comments:	Remove Item #12, 32 Lake Louise Dr, from Agenda in favor another of meeting with the Owner / Builder.	
Discussion:	Remove Items #14 & 15, 14 Woodpecker Pl from the Agenda at the request of the Owner / Builder.	
Action:	Approved	Motion: Daniel Unanimous

<b>Item – 2</b>	Property Owners Comments	Video 00:06:21 – 00:08:08
Comments:	Libby Feller & Gary Brava of 30 Lake Louise said they wanted to be included in the meeting between the ACC and the	
Discussion:	Owner / Builder of 32 Lake Louise.	
Action:		Motion: N/A

<b>Item – 3</b>	Consent Agenda – Approval of the 06/18/2026 ACC Meeting Minutes	Video 00:06:08 – 00:06:19
Comments:		
Discussion:		
Action:	Approved	Motion: Terry Unanimous

<b>Item – 4</b>	64 North Point Dr, G1, Ext Alt (Paint)	Video 01:10:05 – 01:10:27
Comments:		
Discussion:		
Action:	Approved	Motion: Terry Unanimous

<b>Item – 5</b>	80A Windward Dr, G1, Ext Alt (Paint)	Video 00:08:17 – 00:08:50
Comments:		
Discussion:		
Action:	Approved	Motion: Patric Majority (Jo Jean Opposed)

<b>Item – 6</b>	69 North Point Dr, G1, Ext Alt (Tiered Remodel) <i>In Concept</i>	Video 00:08:58 – 00:15:55
Comments:		
Discussion:		
Action:	Approved	Motion: Patric Unanimous

<b>Item – 7</b>	31 Longshore Ln, G1, Ext Alt (Retaining Wall)	Video 01:10:30 – 01:11:55
Comments:		
Discussion:		
Action:	Approved	Motion: Terry Unanimous



<b>Item – 8</b>	10 Longshore Ln, G1, Ext Alt (Deck & Railing)	Video 01:12:01 – 01:13:10
Comments:		
Discussion:		
Action:	Approved	Motion: Jo Jean Unanimous

<b>Item – 9</b>	7 Tee Pl, G1, Ext Alt (Entry Cover)	Video 01:13:14 – 01:14:20
Comments:		
Discussion:		
Action:	Approved	Motion: Patric Unanimous

<b>Item – 10</b>	7 Tee Pl, G1, Ext Alt (Paint)	Video 01:14:30 – 01:14:52
Comments:		
Discussion:		
Action:	Approved	Motion: Jo Jean Unanimous

<b>Item – 11</b>	8 Lake Louise Dr, G2, 1st Extension (New Home) <i>Six Months</i>	Video 01:14:53 – 01:15:08
Comments:		
Discussion:		
Action:	Approved	Motion: Dan Unanimous

<b>Item – 12</b>	32 Lake Louise Dr, G2, New Construction, <i>Resubmission</i>	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:	Removed from the Agenda	Motion: Daniel Unanimous

<b>Item – 13</b>	2 Orchid Ct, G2, Tree (Remove 8 Limb 5)	Video 00:16:04 – 00:24:55
Comments:	The ACC approves the removal of two dead trees and the limbing of one other tree. Provide an Arborist Report on	
Discussion:	the three Douglas Firs that you wish to have removed. The remaining trees are below the approval size minimum.	
Action:	Approved	Motion: Terry Unanimous

<b>Item – 14</b>	14 Woodpecker Pl, G2, New Construction <i>Resubmission</i>	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:	Withdrawn by homeowner	Motion:



<b>Item – 15</b>	14 Woodpecker Pl, G2, Variance (Lot Cov & Side Setback) <b>Resubmission</b>	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:	Withdrawn by homeowner	Motion:

<b>Item – 16</b>	1 Lake Louise Dr, G2, Ext Alt (Gen Maint & Repair) <b>Resubmission</b>	Video 01:15:09– 01:17:54
Comments:		
Discussion:		
Action:	Approved	Motion: Dan Unanimous

<b>Item – 17</b>	14 Deer Run Ln, G3, Const Change (Retaining Wall)	Video 00:25:02 – 00:50:46
Comments:	Provide tighter specifications on the retaining wall. Reminder that it needs Engineering sign-off if over 4'.	
Discussion:		
Action:	Denied	Motion: Dan Majority (Daniel, Dan, Terry = Nay, Pat & JJ = Aye)

<b>Item – 18</b>	31 Green Hill Rd, G3, Ext Alt (Paint)	Video 01:18:04 – 01:18:15
Comments:		
Discussion:		
Action:	Approved	Motion: Terry Unanimous

<b>Item – 19</b>	22 Hillside Pl, G3, 1st Extension (New Home) <b>Six Months</b>	Video 01:19:28 – 01:19:45
Comments:		
Discussion:		
Action:	Approved	Motion: Dan Unanimous

<b>Item – 20</b>	26 Shetland Ct, G5, New Construction	Video 00:53:13 – 01:06:48
Comments:	Not enough information. Outline of house needs to be delineated with stake and string and trees slated	
Discussion:	for removal need to be ribboned appropriately.	
Action:	Denied	Motion: Terry Unanimous

<b>Item – 21</b>	30 Bramble Way, G5, Ext Alt (Paint)	Video 01:18:44 – 01:19:17
Comments:		
Discussion:		
Action:	Approved	Motion: Dan Unanimous



<b>Item – 22</b>	15 Oakcrest Cir, G9, Ext Alt (Siding & Paint)	Video 01:19:47 – 01:20:10
Comments:		
Discussion:		
Action:	Approved	Motion: Patric Unanimous

<b>Item – 23</b>	35 Honeycomb Ln, G9. Ext Alt (Panel Porch Ceiling & Wrap Columns)	Video 01:20:18 – 01:21:40
Comments:		
Discussion:		
Action:	Approved	Motion: Patric Unanimous

<b>Item – 24</b>	35 Honeycomb Ln, G9. Ext Alt (Raised Planter Boxes)	Video 01:21:48 – 01:21:58
Comments:		
Discussion:		
Action:	Approved	Motion: Patric Unanimous

<b>Item – 25</b>	9 Highwood Cir, G13, Ext Alt (Roof)	Video 01:21:59 – 01:22:20
Comments:		
Discussion:		
Action:	Approved	Motion: Jo Jean Unanimous

<b>Item – 26</b>	190 Sudden Valley Dr, G9, Construction Change (Sewer)	Video 01:07:19 – 01:09:35
Comments:		
Discussion:		
Action:	Approved	Motion: Patric Unanimous

<b>Item – 27</b>	22 Granite Cir, G13, Const Change (Retaining Wall)	Video 00:50:47 – 00:53:07
Comments:		
Discussion:		
Action:	Approved	Motion: Patric Unanimous

<b>Item – 28</b>	13 Twin Flower Cir, G13, Tree (Remove 1)	Video 01:22:21 – 01:22:55
Comments:		
Discussion:		
Action:	Approved	Motion: Terry Unanimous

Meeting Adjourned at 10:28 AM

Rec'd 06/25/2026  
3:38 PM

# Sudden Valley Community Association Construction Change Request

Item 4  
Pg 1 of 2  
G1

Street Address: 5 Spinnaker Ln, Bellingham WA 98229 Div 21 Lot 72  
Owner: Rubicon IDC L.L.C  
Mailing Address: 1050 Larrabee Ave Suite 104 PMB 760  
Phone: ~~XXXXXXXX~~ Email: ~~XXXXXXXX@rubiconidc.com~~

**Requests will not be considered unless the street address is clearly displayed on the residence.  
Please note that in the week(s) following request submittal, ACC members may visit and review property.**

- Requested for:**  
 Existing home  
 New construction

- The change would affect:**  
 Exterior appearance  
 Drainage/Erosion control  
 Open space & Lot coverage  
 Setbacks to property line  
 Structure height

**Please refer to ACC Guidelines  
14.2 and 14.11 and for more  
information.**

Please See Attachment Below

Give a full description of the request and attach any additional information if needed:  
We are requesting approval for a modified orientation of the driveway. We would like to flip the design of the driveway to give the homeowners easier access to the double car garage, which is where they plan on parking their cars. There will be no change to the square footage or the slope of the driveway. The forms for the new design are installed and approved by Jerome, pending the approval of the ACC for the new driveway orientation. I have attached the old and the new site plan to highlight the change.

***This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.***

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: Matthew Lynch Date: 6/25





Rec'd 05/27/2026  
6:09 PM

### APPLICATION FOR NEW CONSTRUCTION

Circle Type:	<input checked="" type="radio"/> Home Construction	<input type="radio"/> Remodel	<input type="radio"/> Addition	<input type="radio"/> Other (Describe):
Street Address:	32 Lake Louise Dr			Div/Lot 7/83
Owner(s) Name(s):	Eduard Danch			
Mailing Address:	41 Maple Ct Bellingham WA 98229			
Email Address:	<del>danched@comcast.net</del>	Cell Phone:	<del>360-310-0982</del>	Work Phone:

**CONTRACTOR:** AC Inspector MUST BE contacted for inspection 24 hours prior to all inspections by completing an ACC Inspection Request form. Required inspections are:

- Installation of **erosion** control measures
- **Setbacks** prior to pouring of any concrete for either slab or foundation/forms
- Installation of **driveway** and/or apron
- **Completion** of work and occupancy of home

I have read and understand the Sudden Valley Community Association Architectural Control Policies.

Contractor Signature:		Date:	4/8/26
Company Name:	SW Movement llc	License:	SWMOVML813LR
Mailing Address:	1950 Kelly Rd Bellingham WA 98226		
Email Address:	WillyProjects@gmail.com	Cell Phone:	(360) 510-4469
		Office Phone:	

Bank or Loan Agency:			
Valuation of Structure: \$	Square Footage: 2698		
Use: (Circle)	<input checked="" type="radio"/> Permanent Residence	<input type="radio"/> Vacation/Weekend	<input type="radio"/> Rental
Variance Request (Circle):	<input type="radio"/> Yes	<input checked="" type="radio"/> No	If Yes, must attach Variance Request form

The following items must be submitted at time of application:

- SVCA Construction Application and Checklist (**must be signed by property owner**).
- Application fee (per AC Policies 14.8.8).
- Copy of survey by a licensed surveyor including topography, trees, and square footage.
- Two (2) sets of construction plans (including floor plan, elevations, and finished grade.
- Two (2) copies of site plan @ 1"=10' scale (see AC Policies Appendix I for sample)
- Two (2) copies of landscaping plan @ 1"=10' scale
- Driveway cross-section, showing road edge to garage slab
- One (1) copy of specification sheet including paint chips, roof color, and lighting sample
- **Proof of insurance** (see Item 10 above)
- One (1) copy of water/sewer availability
- Property and building corners must be staked and strung
- ALL trees requested for removal must be clearly ribboned and indicated on site plan.
- Written application for variance, if any
- Refundable Completion Deposit (due during permit meeting per AC Policies section 14.8.8)



I agree to construct and maintain the above described single family dwelling in accordance with the plans and specifications submitted as the same may be approved by the ACC and further agree not to allow said single family dwelling to be used as a multiple family dwelling or duplex or to be used in any way which violates the Restrictive Covenants, Rules, and Regulations or Architectural Control Committee Policies.

I hereby acknowledge that the ACC, according to the Restrictive Covenants, is in no way responsible for any defects, of whatever nature, in the plans and specifications submitted. I agree to undertake full responsibility to accurately ascertain the lot lines delineating the boundaries of my property. I understand that the ACC in approving my plans and specifications, including site plan, is in no way warranting or representing the actual location of the lot lines delineating the boundaries of my property. I also understand that an infringement onto adjoining properties due to lot clearing or excavation shall be rectified prior to the framing of the structure.

Application Submitted by (Print): Eduard Danch  
Circle One: Owner Contractor Other Representative

Signature of Owner(s): 

Printed Name of Owner: Eduard Danch Date 4 / 10 / 26

Item - 9	32 Lake Louise Dr, G2, New Construction		Video 01:15:56 - 01:39:05
Comments:	Provide an Arborist Report on the likelihood of survival of the trees impacted by the Utility Connections. Provide stamped & signed Engineering Plans on retaining wall. Provide overview of Utility connections.		
Discussion:	Require either moving the house or getting a letter from the neighbors saying that the design and size are acceptable to them.		
Action:	Denied	Motion: Dan	Unanimous

ACC Inspector Report 32 Lake Louise Dr

Lot size: 6823

Property coverage: 34%

Open Space: 65%

Front setback: 20' 1"

Rear setback: 7' 8"

Side setback: 5' 2"

Side setback: 48' 2"

Driveway grade: 12.8%

Height:

Definition 2: 15' 8"

ACC Inspector Notes

~~There is a retaining wall along the back of the property which is within the rear setback. The retaining wall is "as needed", no engineering has been submitted. I am concerned about a water line slicing through the roots of a 72" Maple tree.~~

ACC Inspector Notes 5/28/2026

Engineering report submitted.

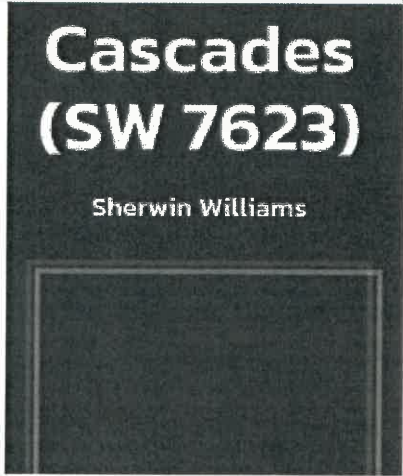





### SPECIFICATION SHEET

Street Address: 32 Lake Louise Dr	Div/Lot 7/38
Owner(s)/Contractor) Name(s): Eduard Danch	

Siding Type: Fiber Cement Lap/Wood
Trim Type: Fiber Cement
Gable Type: N/A
Roof Type: Mono-pitched, metal
Lighting Type: Wall Scones and Can Lights, pointing down
Retaining Wall Materials: Concrete
Other Finish Materials: Stone veneer, wood siding

### Samples

SIDING/BODY COLOR	TRIM COLOR	ACCENT COLOR
 <p><b>Cascades (SW 7623)</b> Sherwin Williams</p>	Black	Garage Door: Black  Front Door: Black  Other (Specify Locations): - Wood siding around entry door - Stone veneer around garage doors
ROOF COLOR	RETAINING WALL SAMPLE	LIGHTING SAMPLE
Black		 

# TOPOGRAPHIC BASE MAP

SITUATE IN A PORTION OF THE SW 1/4, NE 1/4 SECTION 8, TOWNSHIP 37 NORTH, RANGE 4 EAST OF W.M. SUDDEN VALLEY, WHATCOM COUNTY, WASHINGTON

## SURVEY NOTES:

1. THIS SURVEY WAS PREPARED IN ACCORDANCE WITH WAC 330-130-145 IN JANUARY 2025 AT THE REQUEST OF ED DANCH.
2. FIELD SURVEY PERFORMED WITH TRIMBLE RB-3 GNSS RECEIVER AND LEICA TOP 1201 3 ROBOTIC TOTAL STATION AND METERS OR EXCEEDS THE STANDARDS SET FORTH WITHIN WAC 330-130-090.
3. BASIS OF BEARINGS PER SUDDEN VALLEY, DIVISION NO. 7. CENTERLINE LINE OF LAKE LOUISE DRIVE BEARING N31°51'51"E.
4. VERTICAL DATUM: ASSUMED 100.00' OF P-TX #10.
5. THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE REPORT AND DOES NOT PURPORT TO SHOW ANY OR ALL EASEMENTS.
6. POWERTEK SURVEYING ASSUMES NO LIABILITY FOR ANY SUBSURFACE CONDITIONS OR FEATURES THAT MAY EXIST THAT ARE UNDETECTABLE AND/OR NOT VISIBLE.
7. CONTOUR INTERVALS ARE SHOWN AT 2 FOOT AND ARE COMPUTER GENERATED FROM GROUND FIELD TOPOGRAPHY GATHERED FOR THIS SURVEY AND MEET OR EXCEED NATIONAL MAPPING STANDARDS UTILIZING ELECTRONIC DATA COLLECTION.
8. THE TOPOGRAPHIC ELEMENTS SHOWN ON THIS MAP ARE INTENDED TO SUPPORT PLANNING AND DESIGN UTILITY LOCATIONS DERIVED FROM ABOVE GROUND APPURTENANCES AND/OR UTILITY PAINT MARKS PER WASHINGTON STATE ONE-CALL UNDERGROUND LOCATES (811).
9. OCCUPATIONAL INDICATORS AND EXISTING FENCE LINE NOTE: THIS SURVEY MAY DEPICT EXISTING FENCE LINES AND/OR ENCROACHMENTS IN ACCORDANCE WITH RCW 34.322.100. THESE OCCUPATIONAL INDICATORS MAY INDICATE A POTENTIAL FOR CLAIMS OF UNWRITTEN TITLE OWNERSHIP. THIS IS NOT A BOUNDARY SURVEY AND THE LEGAL RESOLUTION OF OWNERSHIP BASED UPON UNWRITTEN TITLE CLAIMS HAS NOT BEEN RESOLVED BY THIS SURVEY.

## LEGAL DESCRIPTION:

(PER STATUTORY WARRANTY DEED A.F. NO. 2025-0101977)  
 LOT 83, PLAT OF SUDDEN VALLEY, DIVISION NO. 7, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 10 OF PLATS, PAGES 63 THROUGH 65, INCLUSIVE, RECORDS OF WHATCOM COUNTY, WASHINGTON.  
 SITUATE IN WHATCOM COUNTY, WASHINGTON.

## LEGEND:

- FOUND CONC. MONUMENT
- FOUND REBAR & CAP
- SET REBAR & CAP, PLS #46800
- SET NAIL
- SET HUB & FLAG
- EXISTING SANITARY SEWER MARKER
- EXISTING WATERLINE VALVE
- EXISTING UTILITY JUNCTION BOX
- TREE DIAMETER
- EXISTING TREE (CONFER)
- EXISTING TREE (DECIDUOUS)

WHISPERING CEDARS CT.

PLAT OF SUDDEN VALLEY

LOT 82

LOT 81

LOT 83

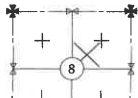
DIVISION NO. 7

LOT 84

VOL. 10, PG. 63-65

PARK

Item 5  
Pg 5 of 22



SW 1/4, NE 1/4 SECTION 8  
T. 37 N., R. 4 E. OF W.M.

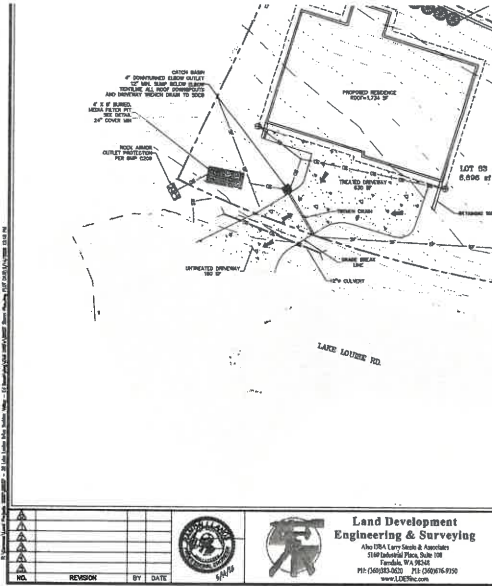
LOT 85



APN #370408 321327 0000  
**POWERTEK SURVEYING**  
 (360) 746.8801  
 #5426 BARRETT ROAD #104  
 FERDALE, WA 98248  
 WWW.POWERTEK.NET

TOPOGRAPHIC BASE MAP FOR ED DANCH	
DRAWN BY: JMD	DATE: 2/16/2025
REVIEWED BY: JMD	JOB NO.: 2025004
SCALE: 1" = 10'	SHEET: 1 OF 1

2025004-10pt-01-250118.dwg



CONTRACTOR TO VERIFY ALL LOT AND BUILDING DIMENSIONS BEFORE PROCEEDING WITH CONSTRUCTION

**PROJECT INFORMATION**

PROJECT/OWNER:  
 EDUARD AND NADIYA DANCH  
 41 MAPLE COURT  
 BELLINGHAM, WA 98224  
 ED DANCH - CONTRATOR

eduarddanch@gmail.com

ADDITIONAL CONTACT:  
 BLUEPRINT DESIGN CONSULTANTS  
 5780 WILLOW SPRINGS WAY  
 FERNDALE, WA 98248

360 815-2350 360 722-7206

john@bdsdesign.com

CONTRACTOR:  
 SM MOVEMENT, LLC  
 WILLY SAVCHUK  
 1980 KELLY ROAD  
 BELLINGHAM, WA 98226

LIC# 5MMOVM1813LR  
 360 510-4469  
 w@smprojects@gmail.com

BUILDING JURISDICTION:  
 PROJECT ADDRESS:  
 PARCEL# 370408 821327  
 LEGAL DESCRIPTION

WHATCOM COUNTY  
 32 LAKE LOUISE DRIVE  
 BELLINGHAM, WA  
 SUDDEN VALLEY, DIV. 7, LOT 83

APPLICABLE CODES:  
 COMPLIANCE:  
 WU 03 CALCS PG A-4

2021 IRC AND 2021 WSEC  
 ENERGY EQUALIZATION CREDIT = 3 H/P  
 3.7 DUCTLESS MINI SPLIT HSPF2 of 9

PROJECT SCOPE:

NEW SFR W/ ATTACHED 2-CAR GARAGE  
 2 STORY - DAYLIGHT BASEMENT

SPECIFICATIONS:

BEDROOMS	3
BATHROOMS	2 1/2
MAIN FLOOR	1,254 S.F.
UPPER FLOOR	1,212 S.F.
LOWER FLOOR	232 S.F.
TOTAL LIVING AREA	2,698 S.F.
LOWER GARAGE	756 S.F.
COVERED PORCH/PATIO	134 S.F.

PAGE INDEX:

- A-1 SITE PLAN
- A-2 SNIPP NARRATIVE
- A-3 GENERAL NOTES & SNIPP DETAILS
- A-4 ENERGY DETAILS & CALCS
- A-5 ELEVATIONS
- A-6 ELEVATIONS
- A-7 FOUNDATION - FLOOR PLANS
- A-8 ROOF FRAMING, TYP. WALL SEC
- A-9 SEC A AND SEC B
- S-1-6 STRUCTURAL ENGINEERING

**SITE ANALYSIS**

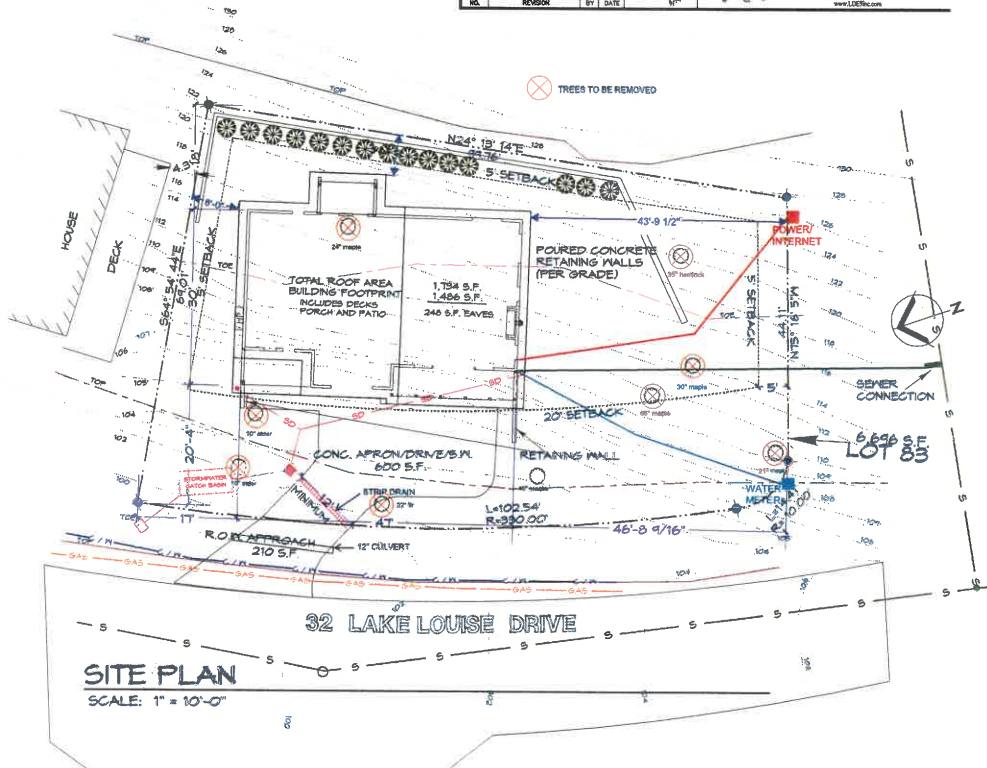
SUDDEN VALLEY, DIV. 7, LOT 83  
 32 LAKE LOUISE DRIVE

370408 821327

LOT SIZE	6,696 ± S.F.	
BUILDING COVER	1,794 S.F.	25.4 %
S.F. RESIDENCE	1,254 S.F.	
GARAGE	756 S.F.	
GOV. PORCH	71 S.F.	
GOV. PATIO	56 S.F.	
H.P. DECK	105 S.F.	
TOTAL EAVES	248 S.F.	
HARD SURFACES	600 S.F.	8.4 %
DRIVE/APRON/S.M.	600 S.F.	
R.O.N. APPROACH	210 S.F.	
EXCAVATION		
FOUNDATION	311 YARDS	804 YARDS
100 X 7		
FLATWORK	48 YARDS	
8.66 X 1.5'		
TRENCHING	25 YARDS	
CLEAN FILL		85 YARDS
FOOTINGS	50 YARDS	
FLATWORK	35 YARDS	
TOTAL YARDS	51 YARDS	

6,696 S.F. X 35%  
 2,344 S.F. ALLOWED

⊗ = TO BE REMOVED



**SITE PLAN**  
 SCALE: 1" = 10'-0"

Item 5  
 Pg 6 of 22

All underground utilities shall be installed in accordance with applicable Washington State codes, local jurisdiction requirements, and utility provider standards.

Sanitary Sewer: Minimum of 36 inches of cover measured from finished grade to the top of pipe.

Water Service: Minimum of 36 inches of cover measured from finished grade to the top of pipe.

Electrical and Communications Conduits: Minimum of 24 inches of cover measured from finished grade to the top of conduit.

BLUEPRINT DESIGN CONSULTANTS

John Danach, AIA, LEED AP, P.E.  
 5780 WILLOW SPRINGS WAY  
 FERNDALE, WA 98248

EDUARD DANCH  
 LAKE LOUISE ROAD

SITE PLAN

MEMBER AIA BD



DATE: APR 6, 2022  
 REVISED:  
 APR 28, 2022  
 MAY 7, 2022  
 MAY 13, 2022  
 MAY 21, 2022

A-1

# GENERAL CONSTRUCTION STORM WATER POLLUTION PREVENTION NARRATIVE

## ● ELEMENT 1 - PRESERVE VEGETATION/MARK CLEARING LIMITS

PRIOR TO BEGINNING LAND DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRADING, ALL CLEARING LIMITS, SENSITIVE AREAS AND THEIR BUFFERS, AND TREES THAT ARE TO BE PRESERVED WITHIN THE CONSTRUCTION AREA SHOULD BE CLEARLY MARKED, BOTH IN THE FIELD AND ON THE PLANS, TO PREVENT DAMAGE AND OFF-SITE EFFECTS. PLASTIC OR STAINLESS WIRE FENCING MAY BE USED TO MARK THE CLEARING LIMITS. RETAIN THE DUFF LAYER, NATIVE TOP SOIL, AND NATURAL VEGETATION IN AN UNDISTURBED STATE TO THE MAXIMUM DEGREE PRACTICABLE.

## ● ELEMENT 2 - ESTABLISH CONSTRUCTION ACCESS

(A) CONSTRUCTION VEHICLE ACCESS SHALL BE LIMITED TO ONE ROUTE IF POSSIBLE.  
 (B) ACCESS POINTS SHALL BE STABILIZED WITH QUARRY SPALL OR CRUSHED ROCK TO MINIMIZE THE TRACKING OF SEDIMENT ONTO PUBLIC ROADS.  
 (C) WHEEL WASH OR TIRE BATHS SHOULD BE LOCATED ON SITE, IF APPLICABLE.  
 (D) PUBLIC ROADS SHALL AT A MINIMUM BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR PICKUP SWEEPING AND SHALL BE TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA. STREET WASHING WILL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER.  
 (E) STREET WASH WASTEWATER SHALL BE CONTROLLED BY PUMPING BACK ON SITE, OR OTHERWISE BE PREVENTED FROM DISCHARGING INTO SYSTEMS TRIBUTARY TO STATE SURFACE WATERS.  
 (F) CONTROL STREET WASH WASTEWATER BY PUMPING BACK ON SITE, OR OTHERWISE PREVENT IT FROM DISCHARGING INTO SYSTEMS TRIBUTARY TO WATERS OF THE STATE.

## ● ELEMENT 3 - CONTROL FLOW RATES

(A) PROTECT PROPERTIES AND WATERWAYS DOWNSTREAM OF DEVELOPMENT SITES FROM EROSION AND THE ASSOCIATED DISCHARGE OF TURBID WATERS DUE TO INCREASES IN THE VELOCITY AND PEAK VOLUMETRIC FLOW RATE OF STORM WATER RUNOFF FROM THE PROJECT SITE.  
 (B) PROPERTIES SUBJECT TO MINIMUM REQUIREMENT NO. 5 AND/OR NO. 7 SHALL IMPLEMENT CONTROLS AS EARLY IN THE DEVELOPMENT AS IS PRACTICABLE TO MITIGATE FOR FLOW RATES.  
 (C) WHERE NECESSARY TO COMPLY WITH REQUIREMENT NO. 7, STORM WATER RETENTION/DETENTION FACILITIES SHALL BE CONSTRUCTED AS ONE OF THE FIRST STEPS IN GRADING, DETENTION FACILITIES SHALL BE FUNCTIONAL PRIOR TO CONSTRUCTION OF SITE IMPROVEMENTS (E.G. IMPERVIOUS SURFACES).  
 (D) IF PERMANENT INFILTRATION PONDS ARE USED FOR FLOW CONTROL DURING CONSTRUCTION, THESE FACILITIES SHOULD BE PROTECTED FROM SILTATION DURING THE CONSTRUCTION PHASE.

## ● ELEMENT 4 - INSTALL SEDIMENT CONTROLS

(A) DESIGN, INSTALL, AND MAINTAIN EFFECTIVE EROSION CONTROLS AND SEDIMENT CONTROLS TO MINIMIZE THE DISCHARGE OF POLLUTANTS.  
 (B) CONSTRUCT SEDIMENT CONTROL BMPs (SEDIMENT PONDS, TRAPS, FILTERS, ETC.) AS ONE OF THE FIRST STEPS IN GRADING. THESE BMPs SHALL BE FUNCTIONAL BEFORE OTHER LAND DISTURBING ACTIVITIES TAKE PLACE.  
 (C) MINIMIZE SEDIMENT DISCHARGES FROM THE SITE. THE DESIGN, INSTALLATION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROLS MUST ADDRESS FACTORS SUCH AS THE AMOUNT, FREQUENCY, INTENSITY AND DURATION OF PRECIPITATION, THE NATURE OF RESULTING STORM WATER RUNOFF, AND SOIL CHARACTERISTICS, INCLUDING THE RANGE OF SOIL PARTICLE SIZES EXERCISED TO BE PRESENT ON THE SITE.  
 (D) DIRECT STORM WATER RUNOFF FROM DISTURBED AREAS THROUGH A SEDIMENT POND OR OTHER APPROPRIATE SEDIMENT REMOVAL BMP, BEFORE THE RUNOFF LEAVES A CONSTRUCTION SITE OR BEFORE DISCHARGE TO AN INFILTRATION FACILITY. RUNOFF FROM FULLY STABILIZED AREAS MAY BE DISCHARGED WITHOUT A SEDIMENT REMOVAL BMP, BUT MUST MEET THE FLOW CONTROL PERFORMANCE STANDARD IN SUB-SECTION (F) (2) (e)(ii) (A) OF THIS SECTION.  
 (E) LOCATE BMPs INTENDED TO TRAP SEDIMENT ON SITES IN A MANNER TO AVOID INTERFERENCE WITH THE MOVEMENT OF JUVENILE SALMONIDS ATTEMPTING TO ENTER OFF-CHANNEL AREAS OR DRAINAGES.  
 (F) WHERE FEASIBLE, DESIGN OUTLET STRUCTURES THAT WITHDRAW IMPOUNDED STORM WATER FROM THE SURFACE TO AVOID DISCHARGING SEDIMENT THAT IS STILL SUSPENDED LOWER IN THE WATER COLUMN.

## ● ELEMENT 5 - STABILIZE SOILS

(A) ALL EXPOSED AND UNWORKED SOILS SHALL BE STABILIZED BY APPLICATION OF EFFECTIVE BMPs THAT PROTECT THE SOIL FROM THE EROSIIVE FORCES OF RAINFORD IMPACT AND FLOWING WATER, AND WIND EROSION. APPLICABLE BMPs INCLUDE, BUT ARE NOT LIMITED TO: TEMPORARY AND PERMANENT SEEDING, SODDING, MULCHING, PLASTIC COVERING, EROSION CONTROL FABRICS AND MATTING, SOIL APPLICATION POLYACRYLAMIDE (PAM), THE EARLY APPLICATION OF GRAVEL BASE EARLY ON AREAS TO BE PAVED, AND DUST CONTROL.  
 (B) CONTROL STORM WATER VOLUME AND VELOCITY WITHIN THE SITE TO MINIMIZE SOIL EROSION.  
 (C) CONTROL STORM WATER DISCHARGES, INCLUDING BOTH PEAK FLOW RATES AND TOTAL STORM WATER VOLUME, TO MINIMIZE EROSION AT OUTLETS AND TO MINIMIZE DOWNSTREAM CHANNEL AND STREAM BANK EROSION.  
 (D) FROM OCTOBER 1 THROUGH APRIL 30 OF EACH YEAR, NO SOILS SHALL REMAIN EXPOSED AND UNWORKED FOR MORE THAN 2 DAYS. FROM MAY 1 TO SEPTEMBER 30 OF EACH YEAR, NO SOILS SHALL REMAIN EXPOSED AND UNWORKED FOR MORE THAN 7 DAYS. THIS CONDITION APPLIES TO ALL SOILS ON SITE, WHETHER AT FINAL GRADE OR NOT.  
 (E) STABILIZE SOILS AT THE END OF THE SHIFT BEFORE A HOLIDAY OR WEEKEND IF NEEDED BASED ON THE WEATHER FORECAST.  
 (F) MINIMIZE THE AMOUNT OF SOIL EXPOSED DURING CONSTRUCTION ACTIVITY.  
 (G) MINIMIZE THE DISTURBANCE OF STEEP SLOPES.  
 (H) MINIMIZE SOIL COMPACTION AND, UNLESS INEVITABLE, PRESERVE TOP SOIL.  
 (I) APPLICABLE PRACTICES INCLUDE, BUT ARE NOT LIMITED TO, TEMPORARY AND PERMANENT SEEDING, SODDING, MULCHING, PLASTIC COVERING, SOIL APPLICATION OF POLYACRYLAMIDE (PAM), LEAS ON AREAS TO BE PAVED, AND DUST CONTROL.  
 (J) SOIL STABILIZATION MEASURES SELECTED SHOULD BE APPROPRIATE FOR THE TIME OF YEAR, SITE CONDITIONS, ESTIMATED DURATION OF USE, AND POTENTIAL WATER QUALITY IMPACTS THAT STABILIZATION AGENTS MAY HAVE ON DOWNSTREAM WATERS OR GROUND WATER.  
 (K) SOIL STOCKPILES MUST BE STABILIZED AND PROTECTED WITH SEDIMENT TRAPPING MEASURES AND, WHERE POSSIBLE, LOCATE AWAY FROM STORM DRAIN INLETS, WATERWAYS AND DRAINAGE CHANNELS.  
 (L) WORK ON LINEAR CONSTRUCTION SITES AND ACTIVITIES, INCLUDING RIGHT-OF-WAY AND EASEMENT CLEARING, ROADWAY CONSTRUCTION, UTILITIES, AND TRAILING FOR UTILITIES, SHALL NOT EXCEED THE CAPABILITY OF THE INDIVIDUAL CONTRACTOR FOR HIS PORTION OF THE PROJECT TO INSTALL THE BEDDING MATERIALS, ROADBEDS, STRUCTURES, PIPELINES, AND/OR UTILITIES, AND TO RE STABILIZE THE DISTURBED SOILS, MEETING THE TIMING CONDITIONS LISTED ABOVE.  
 (M) IN ADDITION, AT THE DISCRETION OF THE PUBLIC WORKS DIRECTOR, THOSE SITES UNABLE TO MAINTAIN THE QUALITY OF THEIR STORM WATER DISCHARGE MAY BE REQUIRED TO PROVIDE SOIL STABILIZATION TO ALL EXPOSED SOIL AREAS REGARDLESS OF THE WORKING STATUS OF THE AREA. UPON WRITTEN NOTIFICATION, THE PROPERTY OWNER SHALL PROVIDE FULL STABILIZATION OF ALL EXPOSED SOIL AREAS WITHIN 24 HOURS.

## ● ELEMENT 6 - PROTECT SLOPES

(A) CUT AND FILL SLOPES SHALL BE DESIGNED AND CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION. APPLICABLE PRACTICES INCLUDE, BUT ARE NOT LIMITED TO, REDUCING CONTINUOUS LENGTH OF SLOPE WITH TERRACING AND DIVERSIONS, REDUCING SLOPE STEEPNESS, AND ROUGHENING SLOPE SURFACES (FOR EXAMPLE TRACK WALKING).  
 (B) CONSIDER SOIL TYPE AND ITS POTENTIAL FOR EROSION.  
 (C) REDUCE SLOPE RUNOFF VELOCITIES BY REDUCING THE CONTINUOUS LENGTH OF SLOPE WITH TERRACING AND DIVERSIONS, REDUCE SLOPE STEEPNESS, AND ROUGHEN SLOPE SURFACE (D) DIVERT UPSLOPE DRAINAGE AND RUN-ON WATERS FROM OFF-SITE WITH INTERCEPTORS AT TOP OF SLOPE. OFF-SITE STORM WATER SHOULD BE HANDLED SEPARATELY FROM STORM WATER GENERATED ON THE SITE. DIVERSION OF OFF-SITE STORM WATER AROUND THE SITE MAY BE A VIABLE OPTION. DIVERTED FLOWS SHALL BE REDIRECTED TO THE NATURAL DRAINAGE LOCATION AT OR BEFORE THE PROPERTY BOUNDARY.  
 (E) CONTAIN DOWNSLOPE COLLECTED FLOWS IN PIPES, SLOPE DRAINS, OR PROTECTED CHANNELS TO PREVENT EROSION. TEMPORARY PIPE SLOPE DRAINS MUST HANDLE THE PEAK VOLUMETRIC FLOW RATE CALCULATED USING A 10 MINUTE TIME STEP FROM A TYPE 1A, 10 YEAR, 24 HOUR FREQUENCY STORM FOR THE DEVELOPED CONDITION. ALTERNATELY, THE 10 YEAR, 1 HOUR FLOW RATE PREDICTED BY AN APPROVED CONTINUOUS RUNOFF MODEL, INCREASED BY A FACTOR OF 1.6, MAY BE USED. THE HYDROLOGIC ANALYSIS MUST USE THE EXISTING LAND COVER CONDITION FOR PREDICTING FLOW RATES FROM TRIBUTARY AREAS OUTSIDE THE PROJECT LIMITS. FOR TRIBUTARY AREAS ON THE PROJECT SITE, THE ANALYSIS MUST USE THE TEMPORARY OR PERMANENT PROJECT LAND COVER CONDITION, WHICHEVER WILL PRODUCE THE HIGHEST FLOW RATES. IF USING THE WESTERN WASHINGTON HYDROLOGY MODEL TO PREDICT FLOWS, BARE SOIL AREAS SHOULD BE MODELED AS "LANDSCAPED AREA".  
 (F) PROVIDE DRAINAGE TO REMOVE GROUND WATER INTERSECTING THE SLOPE SURFACE OF EXPOSED SOILS AREAS.  
 (G) EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES, CONSISTENT WITH SAFETY AND EROSION CONSIDERATIONS.  
 (H) CHECK DAMS SHALL BE PLACED AT REGULAR INTERVALS WITHIN TRENCHES THAT ARE CUT DOWN A SLOPE.  
 (I) STABILIZE SOILS ON SLOPES, AS SPECIFIED IN ELEMENT NO. 5.

## ● ELEMENT 7 - PROTECT DRAIN INLETS

(A) ALL STORM DRAIN INLETS MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT STORM WATER RUNOFF SHALL NOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR TREATED TO REMOVE SEDIMENT.  
 (B) ALL APPROACH ROADS SHALL BE KEPT CLEAN, AND ALL SEDIMENT AND STREET WASH WATER SHALL NOT BE ALLOWED TO ENTER STORM DRAINS WITHOUT PRIOR AND ADEQUATE TREATMENT UNLESS TREATMENT IS PROVIDED BEFORE THE STORM DRAIN DISCHARGES TO WATERS OF THE STATE.

## ● ELEMENT 8 - STABILIZE CHANNELS AND OUTLETS

(A) ALL TEMPORARY ON-SITE CONVEYANCE CHANNELS SHALL BE DESIGNED, CONSTRUCTED AND STABILIZED TO PREVENT EROSION FROM EXPECTED PEAK FLOWS. CHANNELS MUST HANDLE THE PEAK VOLUMETRIC FLOW RATE CALCULATED USING A 10 MINUTE TIME STEP FROM A TYPE 1A, TEN YEAR, 24 HOUR FREQUENCY STORM FOR THE DEVELOPED CONDITION. ALTERNATELY, THE 10 YEAR, 1 HOUR FLOW RATE INDICATED BY AN APPROVED CONTINUOUS RUNOFF MODEL, INCREASED BY A FACTOR OF 1.6, MAY BE USED. THE HYDROLOGIC ANALYSIS MUST USE THE EXISTING LAND COVER CONDITION FOR PREDICTING FLOW RATES FROM TRIBUTARY AREAS OUTSIDE THE PROJECT LIMITS. FOR TRIBUTARY AREAS ON THE PROJECT SITE, THE ANALYSIS MUST USE THE TEMPORARY OR PERMANENT PROJECT LAND COVER CONDITION, WHICHEVER WILL PRODUCE THE HIGHEST FLOW RATES. IF USING THE WESTERN WASHINGTON HYDROLOGY MODEL TO PREDICT FLOWS, BARE SOIL AREAS SHOULD BE MODELED AS "LANDSCAPED AREA".  
 (B) STABILIZATION INCLUDING ARMORING MATERIAL, ADEQUATE TO PREVENT EROSION OF OUTLETS AT, ADJACENT STREAM BANKS, SLOPES AND DOWNSTREAM REACHES SHALL BE PROVIDED AT THE OUTLETS OF ALL CONVEYANCE SYSTEMS.

## ● ELEMENT 9 - CONTROL POLLUTANTS

(A) DESIGN, INSTALL, IMPLEMENT AND MAINTAIN EFFECTIVE POLLUTION PREVENTION MEASURES TO MINIMIZE THE DISCHARGE OF POLLUTANTS.  
 (B) ALL POLLUTANTS, INCLUDING WASTE MATERIAL AND DEMOLITION DEBRIS, THAT OCCUR ON SITE DURING CONSTRUCTION SHALL BE HANDLED AND DISPOSED OF IN A MANNER THAT DOES NOT CAUSE CONTAMINATION OF STORM WATER.  
 (C) COVER, CONTAINMENT, AND PROTECTION FROM VANDALISM SHALL BE PROVIDED FOR ALL CHEMICALS, LIQUID PRODUCTS, PETROLEUM PRODUCTS, AND NONHETZ WASTES PRESENT ON THE SITE (SEE CHAPTER 173-304 P.A.C., AS CURRENTLY ENACTED OR HEREAFTER MODIFIED, FOR THE DEFINITION OF HETZ WASTE, WHICH IS INCORPORATED HEREIN BY THIS REFERENCE).  
 (D) MAINTENANCE AND REPAIR OF HEAVY EQUIPMENT AND VEHICLES INVOLVING OIL CHANGES, HYDROLIC SYSTEM DRAIN DOWN, SOLVENT AND DE-GREASING CLEANING OPERATIONS, FUEL TANK DRAIN DOWN AND REMOVAL, AND OTHER ACTIVITIES WHICH MAY RESULT IN DISCHARGE OR SPILLAGE OF POLLUTANTS TO THE GROUND OR INTO STORM WATER RUNOFF MUST BE CONDUCTED USING SPILL PREVENTION MEASURES, SUCH AS DRIP PANS, CONTAMINATED SURFACES SHALL BE CLEANED IMMEDIATELY FOLLOWING ANY DISCHARGE OR SPILL INCIDENT. EMERGENCY REPAIRS MAY BE PERFORMED ON SITE USING TEMPORARY PLASTIC PLACED BENEATH AND, IF RAINING, OVER THE VEHICLE.  
 (E) WHEEL WASH OR TIRE BATH WASTE WATER SHALL BE DISCHARGED TO A SEPARATE ON-SITE TREATMENT SYSTEM OR TO THE SANITARY SEWER.  
 (F) APPLICATION OF AGRICULTURAL CHEMICALS, INCLUDING FERTILIZERS AND PESTICIDES, SHALL BE CONDUCTED IN A MANNER AND AT APPLICATION RATES THAT WILL NOT RESULT IN LOSS OF CHEMICAL TO STORM WATER RUNOFF. MANUFACTURERS' RECOMMENDATIONS SHALL BE FOLLOWED FOR APPLICATION RATES AND PROCEDURES.  
 (G) MANAGEMENT OF PH-MODIFYING SOURCES SHALL PREVENT CONTAMINATION OF RUNOFF AND STORM WATER COLLECTED ON THE SITE. THESE SOURCES INCLUDE, BUT ARE NOT LIMITED TO, BULK GEMENT IN DESIGNATED AREAS, FRESH CONCRETE WASHING AND CURING WATERS, WASTE STREAMS GENERATED FROM CONCRETE GRINDING AND SAWING, EXPOSED AGGREGATE PROCESSES, AND CONCRETE PUMPING AND MIXER WASHOUT WATERS.  
 (H) ADJUST THE pH OF STORM WATER IF NECESSARY TO PREVENT VIOLATIONS OF WATER QUALITY STANDARDS.  
 (I) ASSURE THAT WASHOUT OF CONCRETE TRUCKS IS PERFORMED OFF-SITE OR IN DESIGNATED CONCRETE WASH OUT AREAS ONLY. DO NOT WASH OUT CONCRETE TRUCKS ONTO THE GROUND OR INTO STORM DRAINS, OPEN DITCHES, STREETS, OR STREAMS. DO NOT DUMP EXCESS CONCRETE ON SITE. EXCESS CONCRETE SHALL BE CLEANLY WASHED AWAY. CONCRETE SPILLAGE OR CONCRETE DISCHARGE TO SURFACE WATERS OF THE STATE IS PROHIBITED.  
 (J) OBTAIN WRITTEN APPROVAL FROM ECOLOGY BEFORE USING CHEMICAL TREATMENT OTHER THAN CO<sub>2</sub> OR DRY ICE TO ADJUST PH.

## ● ELEMENT 10 - CONTROL DEWATERS

(A) ALL FOUNDATION, VAULT, AND TRENCH DEWATERING WATER, WHICH HAVE SIMILAR CHARACTERISTICS TO STORM WATER RUNOFF AT THE SITE, SHALL BE DISCHARGED INTO A CONTROLLED CONVEYANCE SYSTEM, PRIOR TO DISCHARGE TO A SEDIMENT TRAP OR SEDIMENT POND. CHANNELS MUST BE STABILIZED, AS SPECIFIED IN ELEMENT NO. 8.  
 (B) CLEAN, NONTURBID DEWATERING WATER, SUCH AS WELL-PONT GROUND WATER, CAN BE DISCHARGED TO SYSTEMS TRIBUTARY TO STATE SURFACE WATERS, AS SPECIFIED IN ELEMENT NO. 8, PROVIDED THE DEWATERING FLOW DOES NOT CAUSE EROSION OR FLOODING OF THE RECEIVING WATERS. THESE CLEAN WATERS SHOULD NOT BE ROUTED THROUGH SEDIMENT PONDS WITH STORM WATER.  
 (C) HIGHLY TURBID OR OTHERWISE CONTAMINATED DEWATERING WATER, SUCH AS FROM CONSTRUCTION EQUIPMENT OPERATION, CLAM SHELL DIGGING, CONCRETE REMIE FLOOR, OR WORK INSIDE A COFFERDAM, SHALL BE HANDLED SEPARATELY FROM STORM WATER AT THE SITE.  
 (D) OTHER DISPOSAL OPTIONS, DEPENDING ON SITE CONSTRAINTS, MAY INCLUDE, BY WAY OF EXAMPLE, (1) INFILTRATION, (2) TRANSPORT OFF-SITE IN VEHICLE, SUCH AS A VACUUM FLUSH TRUCK FOR LEGAL DISPOSAL IN A MANNER THAT DOES NOT POLLUTE STATE WATERS, (3) ON-SITE TREATMENT USING ECOLOGICALLY APPROPRIATE AND OTHER AVAILABLE TREATMENT TECHNOLOGIES, (4) SANITARY OR COMBINED SEWER DISCHARGE WITH LOCAL SEWER DISTRICT APPROVAL, OR THERE IS NO OTHER OPTION, (5) USE OF A SEDIMENTATION BAS THAT DISCHARGES TO A DITCH OR SWALE FOR SMALL VOLUMES OF LOCALIZE DEWATERING.

## ● ELEMENT 11 - MAINTAIN BMPs

(A) ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL BMPs SHALL BE MAINTAINED AND REPAIRED AS NEEDED TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION. ALL MAINTENANCE AND REPAIR SHALL BE CONDUCTED IN ACCORDANCE WITH BMPs.  
 (B) SEDIMENT CONTROL BMPs SHALL BE INSPECTED WEEKLY OR AFTER A RUNOFF PRODUCING STORM EVENT DURING THE DRY SEASON AND DAILY DURING THE WET SEASON. ALL PROJECTS THAT DISTURB AN AREA GREATER THAN 1 ACRE SHALL HAVE A CERTIFIED EROSION CONTROL LEAD AVAILABLE TO THE SITE. THIS EROSION CONTROL LEAD SHALL BE RESPONSIBLE TO PROVIDE OVERVIEW OF ONGOING DAY TO DAY EROSION CONTROL REQUIREMENTS. THE EROSION CONTROL LEAD SHALL (WITHIN 24 HOURS) REPORT TO THE CITY AND DEPARTMENT OF ECOLOGY ANY SITE DISCHARGES THAT EXCEED STATE WATER QUALITY STANDARDS THAT HAVE OR ARE LIKELY TO HAVE ENTERED WATERS OF THE STATE.  
 (C) ALL TEMPORARY EROSION AND SEDIMENT CONTROL BMPs SHALL BE REMOVED WITHIN 90 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY BMPs ARE NO LONGER NEEDED. TRAPPED SEDIMENT SHALL BE REMOVED OR STABILIZED ON SITE. DISTURBED SOIL AREAS RESULTING FROM REMOVAL OF BMPs OR VEGETATION SHALL BE PERMANENTLY STABILIZED.

## ● ELEMENT 12 - MANAGE THE PROJECT

(A) PHASING OF CONSTRUCTION. DEVELOPMENT PROJECTS SHALL BE PHASED WHERE FEASIBLE IN ORDER TO PREVENT, TO THE MAXIMUM EXTENT PRACTICABLE, THE TRANSPORT OF SEDIMENT FROM THE DEVELOPMENT SITE DURING CONSTRUCTION. RE-VEGETATION OF EXPOSED AREAS AND MAINTENANCE OF NATIVE VEGETATION SHALL BE AN INTEGRAL PART OF THE CLEARING ACTIVITIES FOR ANY PHASE.  
 (B) WHEN ESTABLISHING THESE PERMITTED CLEARING AND GRADING AREAS, CONSIDERATION SHOULD BE GIVEN TO MINIMIZING REMOVAL OF EXISTING TREES AND MINIMIZING DISTURBANCE/COMPACTION OF NATIVE SOILS EXCEPT AS NEEDED FOR BUILDING PURPOSES. PERMITTED CLEARING AND GRADING AREAS AND ANY OTHER AREAS REQUIRED TO PRESERVE CRITICAL OR SENSITIVE AREAS, BUFFERS, NATIVE GROWTH PROTECTION EASEMENTS, OR TREE RETENTION AREAS, SHALL BE DELINEATED ON THE SITE PLANS AND THE DEVELOPMENT SITE.  
 (C) COORDINATION WITH UTILITIES AND OTHER CONTRACTORS. THE PRIMARY PROJECT PROPONENT SHALL EVALUATE, WITH INPUT FROM UTILITIES AND OTHER CONTRACTORS, THE STORM WATER MANAGEMENT REQUIREMENTS FOR THE ENTIRE PROJECT, INCLUDING THE UTILITIES, WHEN PREPARING THE CONSTRUCTION SWPPP.  
 (D) INSPECTION AND MONITORING. ALL BMPs SHALL BE INSPECTED, MAINTAINED, AND REPAIRED AS NEEDED TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION.  
 (E) FOR ANY PROJECT DISTURBING MORE THAN 1 ACRE, A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL SHALL BE IDENTIFIED IN THE CONSTRUCTION SWPPP AND SHALL BE ON SITE OR ON CALL AT ALL TIMES. CERTIFICATION MAY BE THROUGH THE WASHINGTON STATE DEPARTMENT OF TRANSPORTATION/ASSOCIATED GENERAL CONTRACTORS (MSDOT/AGC) CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL CERTIFICATION PROGRAM OR ANY EQUIVALENT LOCAL OR NATIONAL CERTIFICATION AND/OR TRAINING PROGRAM, IN THE CITY'S DISCRETION.  
 (F) WHENEVER INSPECTION AND/OR MONITORING REVEALS THAT THE BMPs IDENTIFIED IN THE CONSTRUCTION SWPPP ARE INADEQUATE, DUE TO THE ACTUAL DISCHARGE OF OR POTENTIAL TO DISCHARGE A SIGNIFICANT AMOUNT OF ANY POLLUTANT, THE SWPPP SHALL BE MODIFIED, AS APPROPRIATE, IN A TIMELY MANNER.  
 (G) MAINTENANCE OF THE CONSTRUCTION SWPPP. THE CONSTRUCTION SWPPP SHALL BE RETAINED ON SITE. THE CONSTRUCTION SWPPP SHALL BE MODIFIED WHENEVER THERE IS A SIGNIFICANT CHANGE IN THE DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE OF ANY BMP.

## ● ELEMENT 13 - PROTECT LOW IMPACT DEVELOPMENT BMPs

(A) PROTECT ALL BIORETENTION AND RAIN GARDEN BMPs FROM SEDIMENTATION THROUGH INSTALLATION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROL BMPs ON PORTIONS OF THE SITE THAT DISRUPT THE BIORETENTION AND/OR RAIN GARDEN BMPs. RESTORE THE BMPs TO THEIR FULLY FUNCTIONING CONDITION IF THEY ACCUMULATE SEDIMENT DURING CONSTRUCTION. RESTORING THE BMP MUST INCLUDE REMOVAL OF SEDIMENT AND ANY SEDIMENT-LADEN BIORETENTION/RAIN GARDEN SOILS, AND REPLACING THE REMOVED SOILS WITH SOILS MEETING THE DESIGN SPECIFICATION.  
 (B) PREVENT COMPACTION BIORETENTION AND RAIN GARDEN BMPs BY EXCLUDING CONSTRUCTION EQUIPMENT AND FOOT TRAFFIC. PROTECT COMPLETED LAWN AND LANDSCAPE AREAS FROM COMPACTION DUE TO CONSTRUCTION EQUIPMENT.  
 (C) CONTROL EROSION AND AVOID INTRODUCING SEDIMENT FROM SURROUNDING LAND USES ONTO PERMEABLE PAVEMENTS. DO NOT ALLOW MUDDY CONSTRUCTION EQUIPMENT ON TO PERMEABLE PAVEMENTS OR PAVEMENT. DO NOT ALLOW SEDIMENT-LADEN RUNOFF ONTO PERMEABLE PAVEMENTS OR BASE MATERIALS.  
 (D) PAVEMENT FOULED WITH SEDIMENTS OR NO LONGER PASSING AN INITIAL INFILTRATION TEST MUST BE CLEANED USING PROCEDURES IN ACCORDANCE WITH THE ECOLOGY MANUAL OR THE MANUFACTURERS PROCEDURES.  
 (E) KEEP ALL HEAVY EQUIPMENT OFF EXISTING SOILS UNDER LID FACILITIES THAT HAVE BEEN EXCAVATED TO FINAL GRADE TO RETAIN THE INFILTRATION RATE OF THE SOILS.

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BLUEPRINT DESIGN CONSULTANTS

John Anderson A.I.D. - C.E.P.D. - N.E.A. DESIGN PROFESSIONAL CONSULTING ENGINEER  
 5700 ALLOWAY SPRINGS WAY

EDUARD DANCH  
 LAKE LOUISE ROAD

SWPPP NARRATIVE

MEMBER AIBD ASSOCIATION OF BUILDING DESIGN PROFESSIONALS



DATE APR. 6, 202  
 REVISED:

APR 28, 20  
 MAY 7, 20  
 MAY 13, 20  
 MAY 21, 20

**GENERAL NOTES:**

BLUEPRINT DESIGN CONSULTANTS HEREBY ISSUES AN EXCLUSIVE LICENSE TO PURCHASER, TO CONSTRUCT ONE HOME ONLY ON ONE LOT FROM THESE PLANS. THESE PLANS IN ANY FORM CANNOT BE REPRODUCED OR COPIED WITHOUT WRITTEN APPROVAL FROM BLUEPRINT DESIGN CONSULTANTS.

THIS DRAWING PROVIDES CONSTRUCTION DETAILS FOR A NEW S.F.R. AT 32 LAKE LOUISE DRIVE, BELLINGHAM, WA FOR EDUARD DANCH. THIS DRAWING HAS BEEN PREPARED UNDER THE IRC 2021 CODES BY BLUEPRINT DESIGN CONSULTANTS AND NO STRUCTURAL MODIFICATIONS ARE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL OF BLUEPRINT DESIGN CONSULTANTS.

CONTRACTOR TO VERIFY ALL BUILDING AND LOT DIMENSIONS, AND NOTIFY THE DESIGNER OF ANY DISCREPANCIES, DIMENSIONAL ERRORS AND OMISSIONS PRIOR TO COMMENCING WITH WORK.

CONTRACTOR TO VERIFY ALL STRUCTURAL DETAILS, BUILDING CODES AND GRADE REQUIREMENTS.

HOMEOWNER WILL TAKE NECESSARY PRECAUTIONS TO REMOVE OR RELOCATE ITEMS OF VALUE TO BE SAVED AND/OR REUSED OR IN ANY DANGER OF BEING DAMAGED DURING CONSTRUCTION.

TO THE BEST OF OUR KNOWLEDGE THESE DRAWINGS COMPLY WITH THE SPECIFICATIONS OF THE OWNER AND/OR BUILDER, AND ANY CHANGES MADE TO THEM AFTER THEIR COMPLETION ARE THE RESPONSIBILITY OF THE OWNER AND/OR BUILDER.

**FOUNDATION NOTES:**

1. REINFORCING STEEL TO HAVE MINIMUM 2" COVERAGE - 3" COVERAGE IN FOOTINGS
2. ALL EDGES OF WELDED WIRE FABRIC AND REBAR TO HAVE MINIMUM 10" OVERLAP.
3. ALL CONCRETE SHALL DEVELOPE A MINIMUM COMPRESSIVE STRENGTH OF 2500 P.S.I.
4. ALL REINFORCING STEEL TO BE DEFORMED STEEL BARS CONFORMING TO ASTM A615 GRADE 40. ALL WELDED WIRE FABRIC TO CONFORM TO ASTM A185.

**MECHANICAL SPECIFICATIONS:**

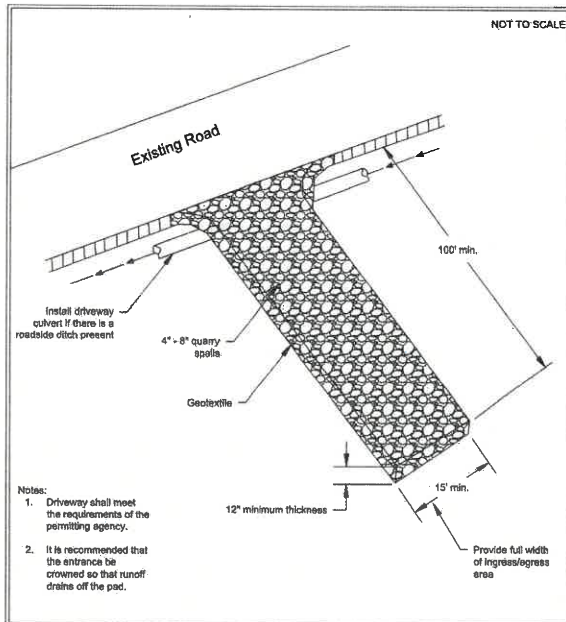
1. CLOTHES DRYER LOCATED IN AN AREA THAT IS HABITABLE OR CONTAINING OTHER FUEL BURNING APPLIANCE SHALL BE VENTED TO EXTERIOR OF STRUCTURE. THE EXHAUST DUCT LENGTH IS LIMITED TO SET FOR IN IRC SECTION M1501.
2. ELEMENTS OF APPLIANCES WHICH CREATE A GLOW, FLAME OR SPARK SHALL BE LOCATED A MINIMUM OF 18" ABOVE THE GARAGE FLOOR. (M 1307.13)
3. EXHAUST DUCTS TO BE CONSTRUCTED OF SMOOTH-WALL METAL .016 IN. APPROVED FLEX CONNECTORS NOT EXCEEDING 6 FT IN LENGTH MAY BE USED IN CONNECTION WITH DOMESTIC DRYER EXHAUST. (M1901.1) M1902.3.1 DRYER DUCT TERMINATION - A MINIMUM OF 12.5 SQ. INCHES FOR TERMINATION OUTLET OF DRYER DUCT REQUIRED.
4. HOT WATER TANKS HAVING FLEXIBLE PIPE CONNECTIONS AND COVER FOUR FEET TALL SHALL BE STRAPPED BOTH TOP AND BOTTOM WITH APPROVED SEISMIC STRAPS.

**PLUMBING SPECIFICATIONS:**

1. PRESSURE RELEASE VALVE FOR HOT WATER TANK TO DRAIN TO EXTERIOR OF BUILDING WITH DRAIN END NOT MORE THAN TWO FEET NOR LESS THAN 6" ABOVE THE GROUND, POINTING DOWN. (UPC 1007e)
2. PROVIDE AN AIR GAP FOR THE DISHWASHER IF PROVIDED (UPC 608a)
3. PROVIDE APPROVED BACK FLOW PREVENTION DEVICE AT ALL HOSE BIBBS. (UPC 107)
4. EACH HORIZONTAL DRAINAGE PIPE SHALL BE PROVIDED WITH A CLEANOUT AT ITS UPPER TERMINAL. (UPC 408a)

**CONSTRUCTION SPECIFICATIONS:**

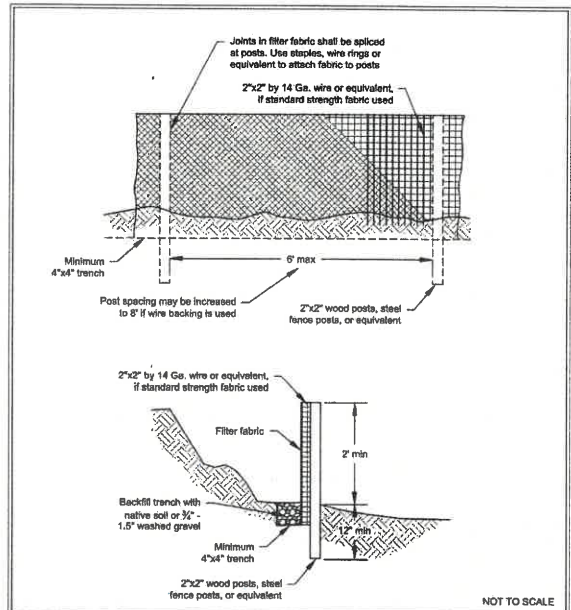
1. GENERAL NOTES:
  - A. SEISMIC ZONE D1
  - B. WIND EXPOSURE AND SPEED AS M.P.H. 3 SEC. 64ST. EXP. C
  - C. SNOW LOAD TO BE 23 P.S.F.
  - D. FLOOR LIVE LOAD TO BE 40 P.S.F.
  - E. DECK LIVE LOAD TO BE 60 P.S.F.
  - F. SOIL BEARING PRESSURE TO BE 1500 P.S.F.
  - G. FROST DEPTH TO BE MIN. 18" BELOW FINISH GRADE
  - H. ALL GLASS IN DOORS, SIDELIGHTS AND BATHROOMS TO BE THERMOPAN GLASS PER (IRC R509.1)
  - I. ALL SIMPSON ANCHORS MAY BE REPLACED BY APPROVED EQUALS.
  - J. ROOF VENTILATION TO BE 1/150 OF TOTAL ATTIC AREA.
2. FRAMING NOTES:
  - A. FLOOR: TO BE FRAMED IN ACCORDANCE w/SPECIFICATIONS OF DRAWINGS.
    - ALLOWABLE FLOOR LOADS ARE AS SET FORTH IN IRC R501.4 & R501.5
    - ALL STRUCTURAL MEMBERS OF FLOOR ARE TO BE PROPERLY FIT AND FASTENED IN ACCORDANCE IRC.
  - B. WALLS: EXTERIOR WOOD FRAMED WALLS TO BE 2" x 6" @ 16" O.C., HEIGHT TO BE AS SET FORTH IN SECTIONS.
    - ALL EXTERIOR WALLS TO BE SHEATHED W/ 1/2" STRUCTURAL PLYWOOD OR 7/16" OSB AND INCLUDE INSULTEK R-9 HOUSEWRAP OR BE SHEATHED WITH R-9 ZIP BOARD.
    - ALL WINDOW/DOOR HEADERS AND BEARING WALL BEAMS TO BE 4" x 10" UNLESS OTHERWISE NOTED.
  - C. INTERIOR WALLS TO BE 2" x 4" @ 16" O.C., HEIGHT TO BE AS SET FORTH IN SECTIONS.
    - NET WALLS MAY BE 2" x 6" CONSTRUCTION TO ALLOW FOR PLUMBING CLEARANCE.
  - D. CONNECTIONS:
    - ALL WALL TO BEAM CONNECTIONS TO BE POSITIVE FOR UPLIFT & LATERAL SUPPORT PER IRC.
    - ALL NAILING TO BE PER IRC TABLE R602.3
    - ALL CONNECTORS ARE SPECIFIED AS SIMPSON AND MAY BE REPLACED BY APPROVED EQUALS.
3. ENERGY CODE: COMPLY WITH WASHINGTON STATE 2018 ENERGY CODE.
  - A. ALL WINDOWS AND DOORS TO BE SEALED INTO WALL w/CAULKING AND WEATHERSTRIPPING.
  - B. ALL FRAMING INTERSECTIONS BETWEEN CONDITIONED AND UNCONDITIONED WALLS & FOUNDATIONS TO BE CAULKED TO STOP AIR LEAKAGE.
  - C. ALL WIRING, PLUMBING AND DUCTING PENETRATIONS TO BE SEALED.
  - D. VENTILATION DUCTS SHALL HAVE R-4 INSULATION COVERING.
  - E. WHOLE HOUSE VENTILATION NEVER LESS THAN 120 CFM w/ 1.0 SENS RATING.
  - F. WINDOWS TO HAVE U-VALUE OF .28 OR BETTER.
4. INSULATION:
  - A. ROOF/CEILING TO HAVE A MINIMUM OF R-48 BLSWAIN INSULATION.
  - B. FLOOR TO HAVE A MINIMUM OF R-36 BATT INSULATION.
  - C. WALLS TO HAVE A MINIMUM OF R-21 BATT INSULATION.
  - D. W-R-S APPLICATION TO EXTERIOR OF WALL.
  - E. ALL EXTERIOR WALLS TO HAVE ONE OF THE FOLLOWING VAPOR BARRIERS:
    - TYVEK HOUSE WRAP
    - TYPAR HOUSE WRAP
    - 15# FELT PAPER
    - INSULTEK R-6 HOUSEWRAP



**Figure II-4.1.1**  
**Stabilized Construction Entrance**  
Revised June 2015

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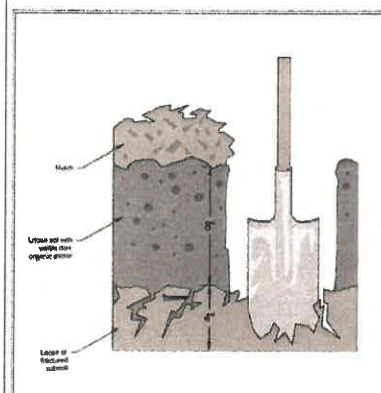
CONTRACTOR TO VERIFY ALL LOT AND BUILDING DIMENSIONS BEFORE PROCEEDING WITH CONSTRUCTION



**Figure II-4.2.12**  
**Silt Fence**  
Revised October 2014

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**BMP T5.13 - POST CONSTRUCTION SOIL QUALITY AND DEPTH**



**Figure V-5.3.3**  
**Planting Bed Cross-Section**  
Revised January 2014

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ALL AREAS SUBJECT TO CLEARING AND GRADING THAT HAVE NOT BEEN COVERED BY IMPERVIOUS SURFACE, INCORPORATED INTO A DRAINAGE FACILITY OR ENGINEERED AS STRUCTURAL FILL OR SLOPE SHALL, AT PROJECT COMPLETION, SHALL DEMONSTRATE THE FOLLOWING:

**SOIL QUALITY:**  
A TOPSOIL LAYER WITH A MINIMUM ORGANIC MATTER CONTENT OF 10% DRY WEIGHT IN PLANTING BEDS, AND 5% ORGANIC MATTER CONTENT IN TURF AREAS, AND A PH FROM 6.0 AND 8.0 OR MATCHING THE pH OF THE UNDISTURBED SOIL. SOIL COMPOST AND OTHER MATERIALS THAT MEET THE COMPOST GUIDELINES.

**SOIL DEPTH:**  
THE TOPSOIL LAYER SHALL HAVE A MINIMUM DEPTH OF EIGHT INCHES EXCEPT WHERE TREE ROOTS LIMIT THE DEPTH OF INCORPORATION OF AMENDMENTS NEEDED TO MEET THE CRITERIA. SUBSOILS BELOW THE TOPSOIL LAYER SHOULD BE SCARIFIED AT LEAST 4 INCHES WITH SOME INCORPORATION OF THE UPPER MATERIAL TO AVOID STRATIFIED LAYERS WHERE FEASIBLE. PLANTING BEDS SHOULD HAVE 2 INCHES OF ORGANIC MATERIAL AS WELL.

**COMPOST GUIDELINES:**  
MUST MEET THE DEFINITION OF "COMPOSTED MATERIAL" IN WAC 173-360-100 AND COMPLIES WITH TESTING PARAMETERS AND OTHER STANDARDS IN WAC 173-360-220. MUST BE PRODUCED AT A PERMITTED COMPOSTING FACILITY. ORGANIC MATTER CONTENT SHALL BE 40% TO 65%. CARBON TO NITROGEN RATIO OF MUST BE LESS THAN 25:1. THE C:N RATIO MAY BE UP TO 35:1 FOR PLANTINGS COMPOSED ENTIRELY OF PILEST SOUND LOWLAND NATIVE SPECIES AND UP TO 40:1 FOR COARSE COMPOST TO BE USED AS A SURFACE MULCH (NOT IN A SOIL MIX).

- IMPLEMENTATION OPTIONS**
- 1) LEAVE AS MUCH NATIVE VEGETATION AND SOIL AS POSSIBLE AND PROTECT FROM COMPACTION DURING CONSTRUCTION.
  - 2) AMEND EXISTING SITE TOPSOIL OR SUBSOIL EITHER AT DEFAULT RATES OR AT A CUSTOM CALCULATED RATES BASED ON TESTS OF THE SOIL AND AMENDMENT.
  - 3) IN AREAS REQUIRING CLEARING AND GRADING REMOVE AND STOCKPILE THE DUFF LAYER AND TOPSOIL ON SITE IN A DESIGNATED, CONTROLLED AREA, NOT ADJACENT TO PUBLIC RESOURCES AND CRITICAL AREAS. REPLACE IT PRIOR TO PLANTING AND AMEND IF NEEDED TO MEET THE ORGANIC MATTER OR DEPTH REQUIREMENTS.
  - 4) IMPORT TOPSOIL MIX OF SUFFICIENT ORGANIC CONTENT AND DEPTH TO MEET THE REQUIREMENTS.

MORE THAN ONE METHOD MAY BE USED ON DIFFERENT PORTIONS OF THE SAME SITE.

Item 5  
Pg 8 of 22

WRI Code Compliance Calculator, WSEC 2021

**NEW SPR**  
30 LAKE LOUISE DR  
BELLINGHAM, WA 98229

ED DANCH

**WRI Code Compliance** **DEFAULT PAGE**

UA Reduction = 37.76, Proposed UA is better than baseline by 6%

Vertical glazing area of proposed design exceeds 15% of floor area. Baseline window area set to 15% of floor area

Whole House Mechanical Ventilation Airflow Rule: 150 CFM with Run Time Percent of 60%, Unbalanced, Not Distributed

Whole House Mechanical Ventilation Airflow Rule: 150 CFM with Run Time Percent of 60%, Unbalanced, Not Distributed

Whole House Mechanical Ventilation Airflow Rule: 150 CFM with Run Time Percent of 60%, Unbalanced, Not Distributed

What code compliance pathway are you using?  
 Proposed Building Type? **Commercial**  
 Occupancy Type? **Office**  
 Code Version? **2021**  
 Classification? **Office Building**  
 Baseline Description? **Code Baseline - Medium Baseline window area is 15% of floor area.**  
 About Your Building? **No unusual structure or floor areas**

**Table 1.1. Comparison of Baseline and Proposed Design**

Baseline Design	Proposed Design	Baseline Design	Proposed Design
U <sub>f</sub> Area	UA	U <sub>f</sub> Area	UA
Overall U <sub>f</sub> = 0.300	142	0.265	148
Vertical Glazing U <sub>f</sub> = 0.800	460	0.380	136
Permitted Glazing U <sub>f</sub> = 0.800	1281	0.380	136
Permitted Glazing U <sub>f</sub> = 0.800	1281	0.380	136
Web Glazing U <sub>f</sub> = 0.800	5320	0.380	136
Floors over Developments U <sub>f</sub> = 0.800	1,621	0.380	136
Roof or Slabs U <sub>f</sub> = 0.800	90	0.380	136
Basement Slab U <sub>f</sub> = 0.800	220	0.380	136
Basement Slab U <sub>f</sub> = 0.800	220	0.380	136

Values from Table 1.1.1 (CFR 2021)

Baseline UA Total: 8123  
 Proposed Credits: 823  
 Proposed Credits: 823  
 UA Percent Reduction: 6%

**Table 1.2. Energy Conservation Credits**

Baseline UA Total	Proposed Credits	Energy Credits (ASHRAE)	Point Credits (ASHRAE)
8123	823	3.0	3.0

**Table 1.3. Energy Credits**

Option No.	Category	Selected Option	Energy Credits	Point Description of Selected Option
1	Efficient Building Envelope	Not Selected	0.0	
1	AF Leakage Control and Efficient Ventilation	Not Selected	0.0	
3.1-3.10	High Efficiency HVAC	Option 3.1	3.0	Ductless Split System with no ductwork resistance in primary piping system. HSPFC of 0.9500 at 10% capacity (HSPFC of 0.9100 at 0% of heating load in 24000 Btu/hr or less).
3.11	High Efficiency HVAC: Smart Thermostat	NA	0.0	
4	High Efficiency HVAC Distribution System	Not Selected	0.0	
6.1	Efficient Water Heating: Drain Heat Recovery	Option 6.1	0.5	Drain Water Heat Recovery unit (Indirect), 2 showers incl. sub. provides 50% efficiency of 80% for equal flow or 65% for uncoupled flow. Rated and labeled COP 0.800, for WRI/ASHRAE 90.1-2010.
6.2	Efficient Water Heating: Compost Hot Water Distribution	Not Selected	0.0	
6.3 & 6.4	Efficient Water Heating	Option 6.3	2.5	Boiler system heat pump water heater with air LEF of 2.8.
7	Renewable Electric Energy	5.00 kWh	0.0	
8	High-Efficiency Package	Not Selected	0.0	

**Table 1.4. Unconditioned Floor Area, Proposed Design**

Room	Component	Area	Perimeter	Volume	Area	Perimeter	Volume
101	Office	1000	100	1000	1000	100	1000
102	Office	1000	100	1000	1000	100	1000
103	Office	1000	100	1000	1000	100	1000
104	Office	1000	100	1000	1000	100	1000
105	Office	1000	100	1000	1000	100	1000
106	Office	1000	100	1000	1000	100	1000
107	Office	1000	100	1000	1000	100	1000
108	Office	1000	100	1000	1000	100	1000
109	Office	1000	100	1000	1000	100	1000
110	Office	1000	100	1000	1000	100	1000
111	Office	1000	100	1000	1000	100	1000
112	Office	1000	100	1000	1000	100	1000
113	Office	1000	100	1000	1000	100	1000
114	Office	1000	100	1000	1000	100	1000
115	Office	1000	100	1000	1000	100	1000
116	Office	1000	100	1000	1000	100	1000
117	Office	1000	100	1000	1000	100	1000
118	Office	1000	100	1000	1000	100	1000
119	Office	1000	100	1000	1000	100	1000
120	Office	1000	100	1000	1000	100	1000
121	Office	1000	100	1000	1000	100	1000
122	Office	1000	100	1000	1000	100	1000
123	Office	1000	100	1000	1000	100	1000
124	Office	1000	100	1000	1000	100	1000
125	Office	1000	100	1000	1000	100	1000
126	Office	1000	100	1000	1000	100	1000
127	Office	1000	100	1000	1000	100	1000
128	Office	1000	100	1000	1000	100	1000
129	Office	1000	100	1000	1000	100	1000
130	Office	1000	100	1000	1000	100	1000
131	Office	1000	100	1000	1000	100	1000
132	Office	1000	100	1000	1000	100	1000
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134	Office	1000	100	1000	1000	100	1000
135	Office	1000	100	1000	1000	100	1000
136	Office	1000	100	1000	1000	100	1000
137	Office	1000	100	1000	1000	100	1000
138	Office	1000	100	1000	1000	100	1000
139	Office	1000	100	1000	1000	100	1000
140	Office	1000	100	1000	1000	100	1000
141	Office	1000	100	1000	1000	100	1000
142	Office	1000	100	1000	1000	100	1000
143	Office	1000	100	1000	1000	100	1000
144	Office	1000	100	1000	1000	100	1000
145	Office	1000	100	1000	1000	100	1000
146	Office	1000	100	1000	1000	100	1000
147	Office	1000	100	1000	1000	100	1000
148	Office	1000	100	1000	1000	100	1000
149	Office	1000	100	1000	1000	100	1000
150	Office	1000	100	1000	1000	100	1000

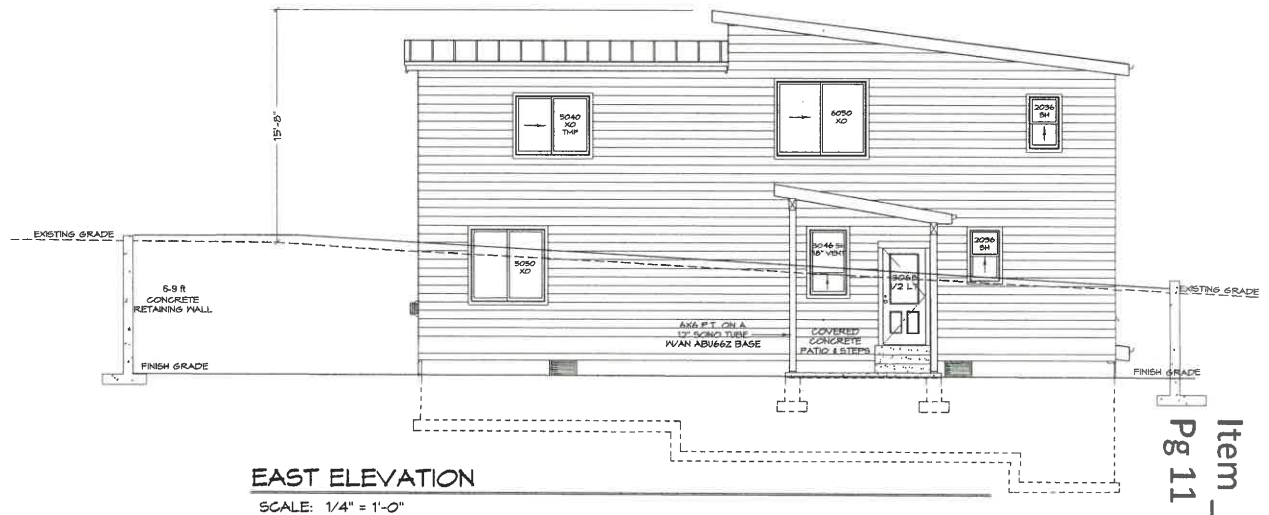
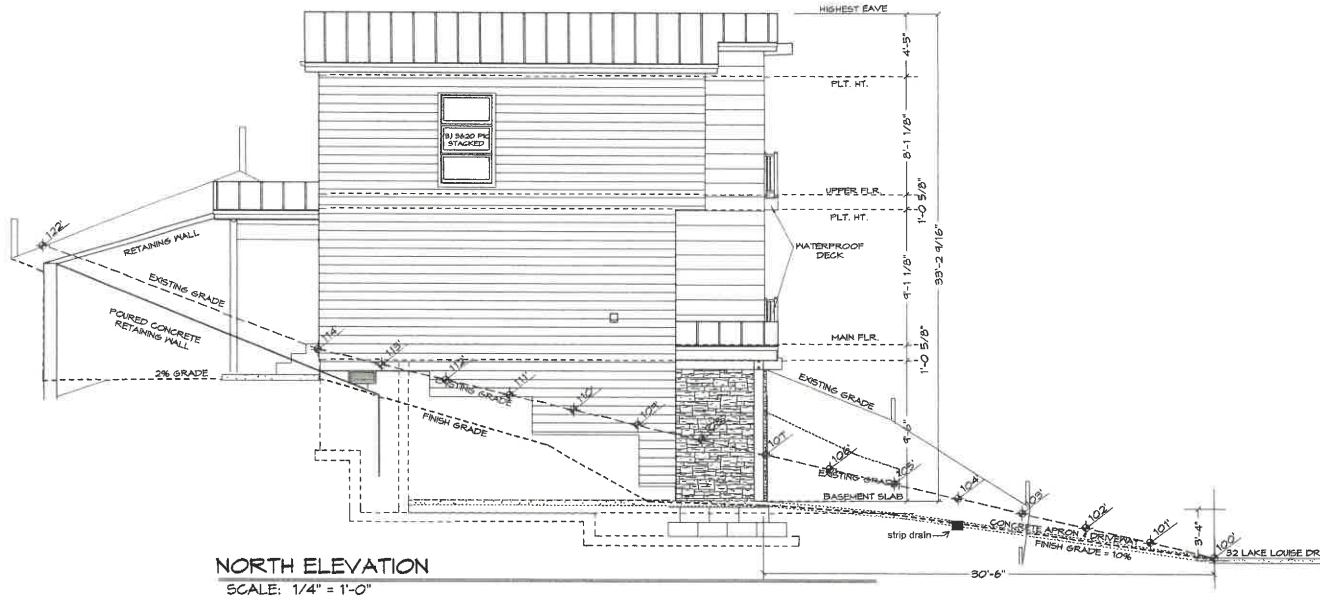
**Table 1.5. Unconditioned Floor Area, Proposed Design**

Room	Component	Area	Perimeter	Volume	Area	Perimeter	Volume
101	Office	1000	100	1000	1000	100	1000
102	Office	1000	100	1000	1000	100	1000
103	Office	1000	100	1000	1000	100	1000
104	Office	1000	100	1000	1000	100	1000
105	Office	1000	100	1000	1000	100	1000
106	Office	1000	100	1000	1000	100	1000
107	Office	1000	100	1000	1000	100	1000
108	Office	1000	100	1000	1000	100	1000
109	Office	1000	100	1000	1000	100	1000
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120	Office	1000	100	1000	1000	100	1000
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122	Office	1000	100	1000	1000	100	1000
123	Office	1000	100	1000	1000	100	1000
124	Office	1000	100	1000	1000	100	1000
125	Office	1000	100	1000	1000	100	1000
126	Office	1000	100	1000	1000	100	1000
127	Office	1000	100	1000	1000	100	1000
128	Office	1000	100	1000	1000	100	1000
129	Office	1000	100	1000	1000	100	1000
130	Office	1000	100	1000	1000	100	1000
131	Office	1000	100	1000	1000	100	1000
132	Office	1000	100	1000	1000	100	1000
133	Office	1000	100	1000	1000	100	1000
134	Office	1000	100	1000	1000	100	1000
135	Office	1000	100	1000	1000	100	1000
136	Office	1000	100	1000	1000	100	1000
137	Office	1000	100	1000	1000	100	1000
138	Office	1000	100	1000	1000	100	1000
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142	Office	1000	100	1000	1000	100	1000
143	Office	1000	100	1000	1000	100	1000
144	Office	1000	100	1000	1000	100	1000
145	Office	1000	100	1000	1000	100	1000
146	Office	1000	100	1000	1000	100	1000
147	Office	1000	100	1000	1000	100	1000
148	Office	1000	100	1000	1000	100	1000
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150	Office	1000	100	1000	1000	100	1000

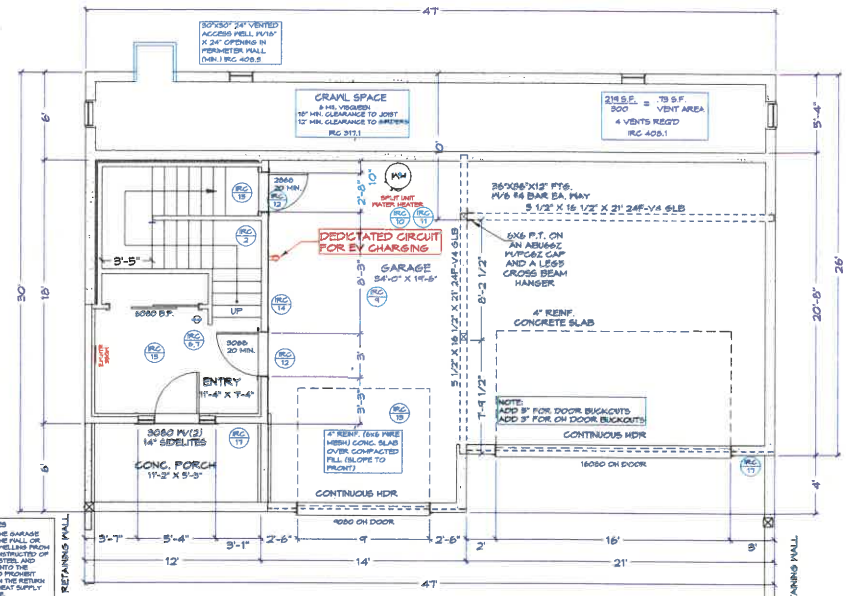
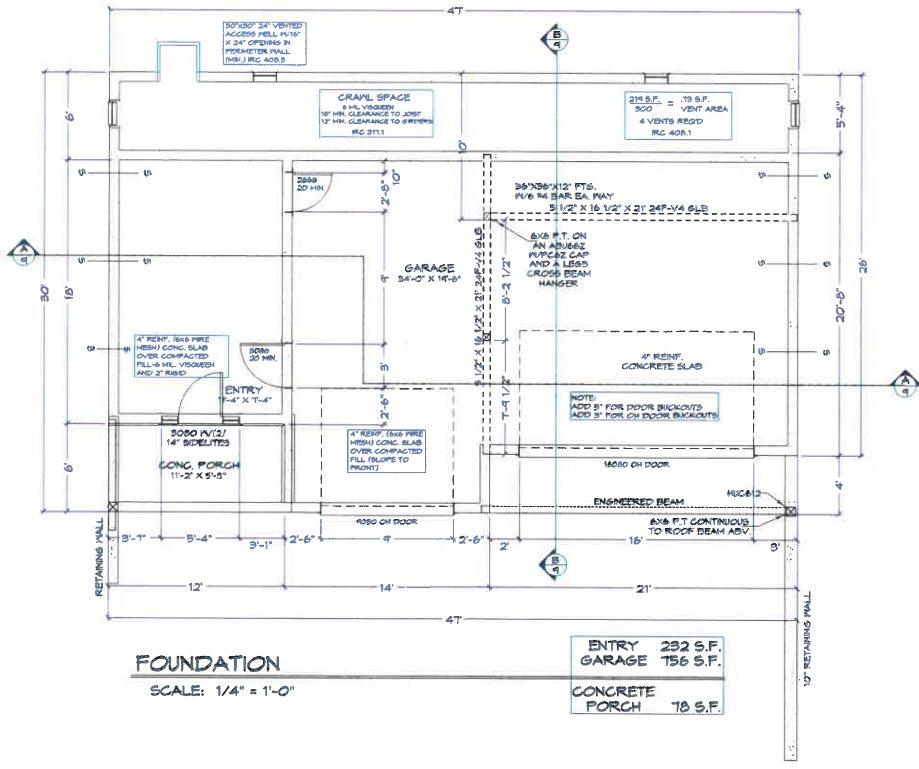
**Table 1.6. Unconditioned Floor Area, Proposed Design**

Room	Component	Area	Perimeter	Volume	Area	Perimeter	Volume
101	Office	1000	100	1000	1000	100	1000
102	Office	1000	100	1000	1000	100	1000
103	Office	1000	100	1000	1000	100	1000
104	Office	1000	100	1000	1000	100	1000
105	Office	1000	100	1000	1000	100	1000
106	Office	1000	100	1000	1000	100	1000
107	Office	1000	100	1000	1000	100	1000
108	Office	1000	100	1000	1000	100	1000
109	Office	1000	100	1000	1000	100	1000
110	Office	1000	100	1000	1000	100	1000
111	Office	1000	100	1000	1000	100	1000
112	Office	1000	100	1000	1000	100	1000
113	Office	1000	100	1000	1000	100	1000
114	Office	1000	100	1000	1000	100	1000
115	Office	1000	100	1000	1000	100	1000
116	Office	1000	100	1000	1000	100	1000
117	Office	1000	100	1000	1000	100	1000
118	Office	1000	100	1000	1000	100	1000
119	Office	1000	100	1000	1000	100	1000
120	Office	1000	100				





Item **5**  
Pg 11 of 22



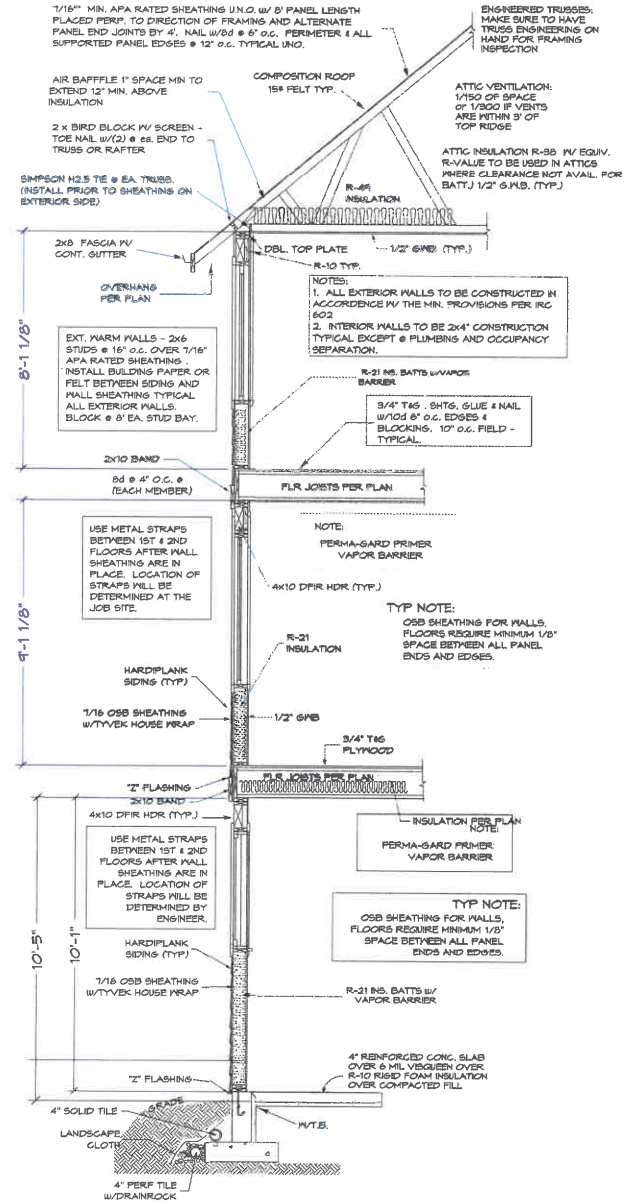
- GARAGE NOTES**
- 1) RC 2002.2 - DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALL OR CEILING SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM 20 GAUGE SHEET STEEL AND SHALL HAVE NO OPENINGS INTO THE GARAGE. THIS WOULD ALSO INCLUDE FILTER ACCESS OPENINGS IN THE MESHION AIR DUCT SYSTEM OR AIR HEAT SUPPLY OPENINGS INTO THE GARAGE.
  - 2) MESHION SCREENS SHALL BE SECURED TO A BOTTOM TO REST ON THE FLOOR OR UNDER 1/2" OF THE JOIST.
  - 3) MESHION - RELIEF VALVE TO BE PLUMBED TO OUTSIDE OF THE BUILDING - WATER HEATER TO BE INSTALLED ON 1/2" SLOPE TO PREVENT.
  - 4) RC 2002.1 - SELF CLOSING 30 MIN DOOR
  - 5) RC 2002.1 - 4" REINFORCED MESHION CONG. SLAB OVER COMPACTED FILL, SLAB TO BE 4" TO FACILITATE THE FLOW OF LIQUIDS TOWARD A DRAIN OR TO THE OUTSIDE.
  - 6) RC 2002.1 - 1/2" AIR BETWEEN GARAGE & CRAWL SPACE. IF LIVING AREA ADJACENT GARAGE, 1/2" AIR SPACE TO BE MAINTAINED.
  - 7) RC 2002.1 - ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE FLESH BACK STAIR SURFACE AND ANY SUPPORTS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" EXTRUDED POLYURETHANE.

SEE ENGINEERING FOR STRUCTURAL

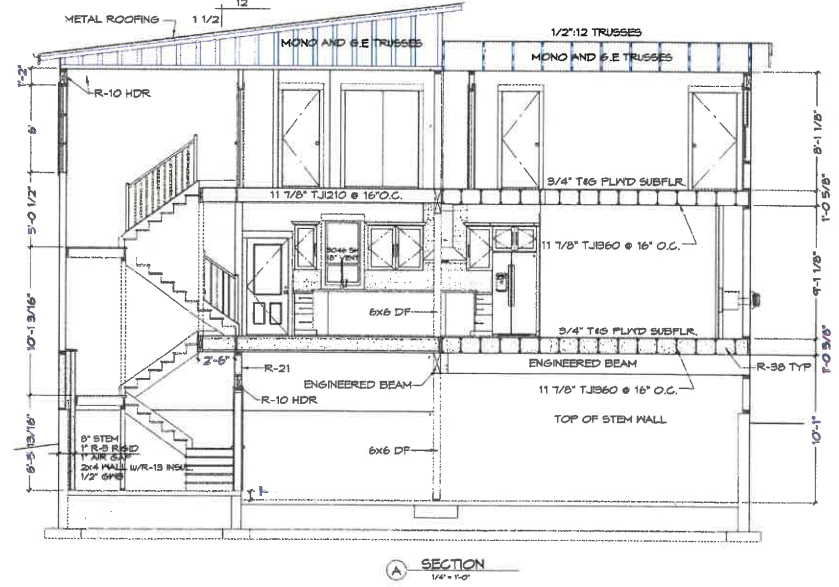




CONTRACTOR TO VERIFY ALL LOT AND BUILDING DIMENSIONS BEFORE PROCEEDING WITH CONSTRUCTION

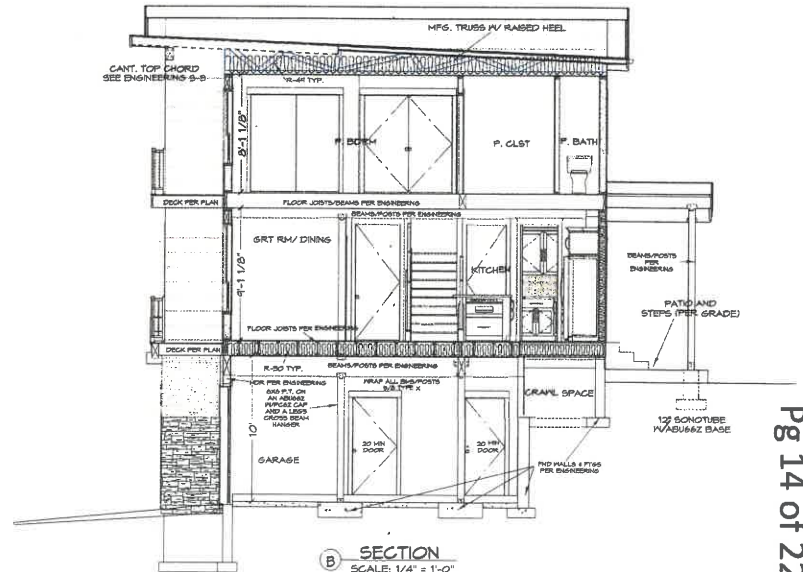


WALL SECTION (TYP.)  
1/2" = 1'-0"



SECTION A  
1/2" = 1'-0"

SEE ENGINEERING S-3 FOR ROOF FRAMING



SECTION B  
SCALE: 1/4" = 1'-0"

**BLUEPRINT**  
DESIGN CONSULTANTS

MEMBER AIA  
DESIGN PROFESSIONAL COUNCIL  
5150 MILLIKEN SPRINGS WAY

EDUARD DANCH  
LAKE LOUISE ROAD

SECTIONS

MEMBER AIA  
BD  
AMERICAN INSTITUTE OF ARCHITECTS

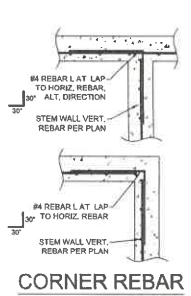


DATE: APR 6, 202  
REVISED:  
APR 26, 20  
MAY 7, 202  
MAY 19, 20  
MAY 21, 20

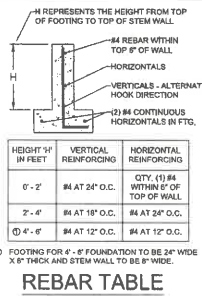
Item  
Pg 14 of 22

5

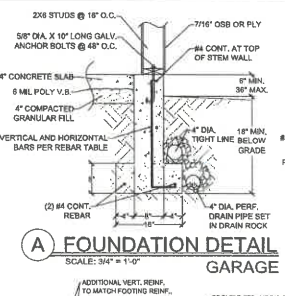
A-C



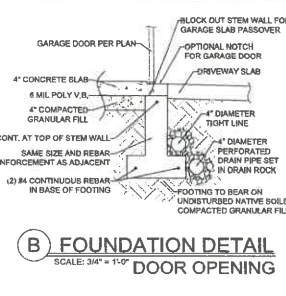
**CORNER REBAR**



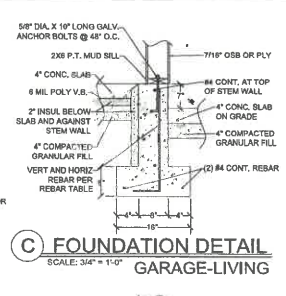
**REBAR TABLE**



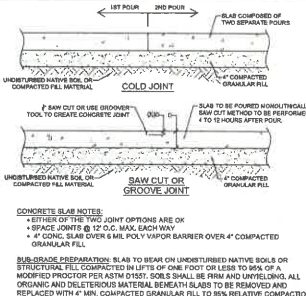
**A FOUNDATION DETAIL GARAGE**  
SCALE: 3/4" = 1'-0"



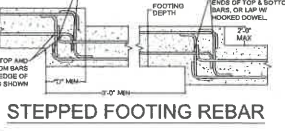
**B FOUNDATION DETAIL DOOR OPENING**  
SCALE: 3/4" = 1'-0"



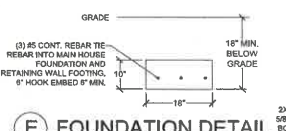
**C FOUNDATION DETAIL GARAGE-LIVING**  
SCALE: 3/4" = 1'-0"



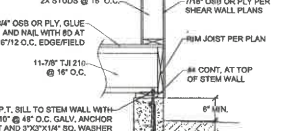
**D SLAB JOINT DETAIL**  
SCALE: 3/4" = 1'-0"



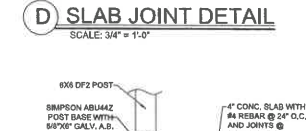
**E FOUNDATION DETAIL**  
SCALE: 3/4" = 1'-0"



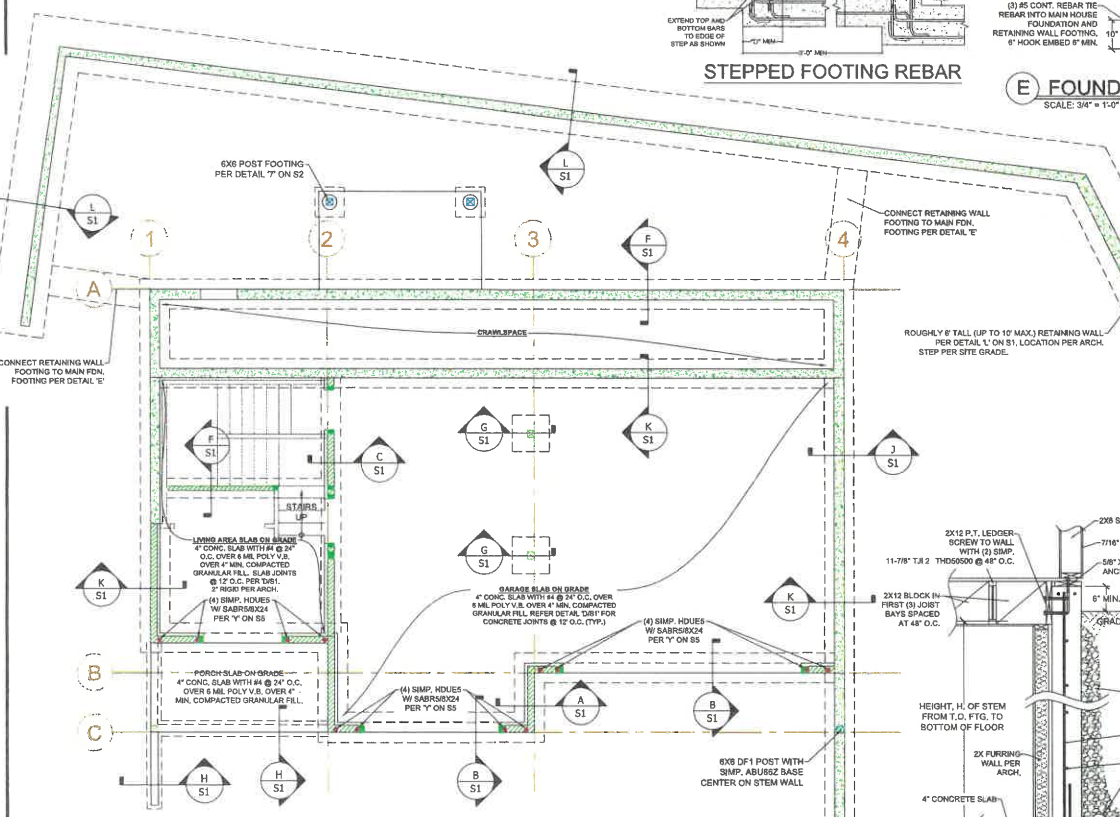
**F FOUNDATION DETAIL CRAWLSPACE**  
SCALE: 3/4" = 1'-0"



**H THICKENED SLAB**  
SCALE: 3/4" = 1'-0"



**G FOOTING AT 6X6 POST**  
SCALE: 3/4" = 1'-0"



**FOUNDATION & RETAINING WALL PLAN**  
SCALE: 1/4" = 1'-0"



**J BASEMENT WALL SCHEDULE**  
SCALE: 3/4" = 1'-0"

H	A	B	C	D	E	V-BARS	L-BARS	H-BARS	T-BARS
10'	8'	10'	14'	10'	14'	#4 @ 10" O.C.	#4 @ 10" O.C.	#4 @ 12" O.C.	#4 @ 12" O.C.

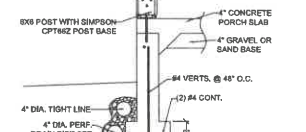


**K CRIPPLE WALL FOUNDATION**  
SCALE: 3/4" = 1'-0"

H	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T	U	V	W	X	Y	Z
6'-8"	#4 @ 12" O.C.	#4 @ 24" O.C.	#4 @ 24" O.C.	#4 @ 24" O.C.	#4 @ 24" O.C.	#4 @ 24" O.C.	#4 @ 24" O.C.	#4 @ 24" O.C.	#4 @ 24" O.C.	#4 @ 24" O.C.	#4 @ 24" O.C.	#4 @ 24" O.C.	#4 @ 24" O.C.	#4 @ 24" O.C.	#4 @ 24" O.C.	#4 @ 24" O.C.	#4 @ 24" O.C.	#4 @ 24" O.C.	#4 @ 24" O.C.	#4 @ 24" O.C.	#4 @ 24" O.C.	#4 @ 24" O.C.	#4 @ 24" O.C.	#4 @ 24" O.C.	#4 @ 24" O.C.	#4 @ 24" O.C.



**L RETAINING WALL DETAIL**  
SCALE: 3/4" = 1'-0"



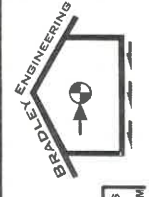
**H THICKENED SLAB**  
SCALE: 3/4" = 1'-0"

LACK OF GEOTECHNICAL ENGINEERING REPORT ACKNOWLEDGEMENT:  
NO GEOTECHNICAL REPORT HAS BEEN PROVIDED FOR THE SUBJECT STRUCTURE. FOR THAT REASON, FOOTINGS HAVE BEEN DESIGNED FOR 1,600 PSF ALLOWABLE BEARING CAPACITY PER CITY OF BELLINGHAM REQUIREMENTS. THE FOUNDATION AND FOOTINGS SHOULD BEAR ON PROOF-ROLLED, REMEDIALLY COMPACTED MEDIUM DENSE NATIVE SOILS OR ON STRUCTURAL FILL (USE STANDARD STRUCTURAL SPECIFICATIONS - EARLY WORK), PLACED ON PROOF-ROLLED, REMEDIALLY COMPACTED MEDIUM DENSE NATIVE SOILS.

REFER TO THE PROPOSED ARCHITECTURAL DRAWINGS PROVIDED BY BLUEPRINT DESIGN AND DATED 4-4-2026 FOR THE PROPOSED DESIGN. THIS ARCHITECTURAL DRAWING SET IS THE BASIS OF STRUCTURAL DESIGN. ENGINEERS TO BE NOTIFIED OF ANY DESIGN CHANGES THAT AFFECT THE STRUCTURE FRAME (I.E. FOUNDATION, EXTERIOR WALLS, INTERIOR BEARING WALLS, ROOF FRAMING, ETC.). CONTACT THE ENGINEER IF CONFLICTS ARE FOUND BETWEEN THE ARCHITECTURAL AND STRUCTURAL DRAWINGS OR OTHER RELATED DOCUMENTATION (E.G. CIVIL, GEOTECH, ETC.).

Item  
Pg 15 of 22  
5

DATE	REVISIONS	DATE	VERSION	VER	BY	CHKD BY	APP'D BY	SCALE	SIZE	N.T.S.
5/20/2026	ORIGINAL	5/20/2026	1							



**BRADLEY ENGINEERING**  
WWW.BRADLEYENGINEERING.COM  
DAVID BRADLEY, P.E.  
11400 20TH STREET, BELLINGHAM, WA 98229  
(360) 752-5795  
DAVID@BRADLEYENGINEERING.COM  
FOR QUESTIONS & CHANGES PERTAINING TO THIS PROJECT, CALL P. FINEROCK AT (800) 305-7974 OR EMAIL PETER@BRADLEYENGINEERING.COM

**FOUNDATION & RETAINING WALL PLAN**  
DANCH NEW SFR  
32 LAKE LOUISE DR.  
BELLINGHAM, WA 98229

DRAWING TO BE PRINTED ON 24"X36" IN ORDER TO BE SCALE

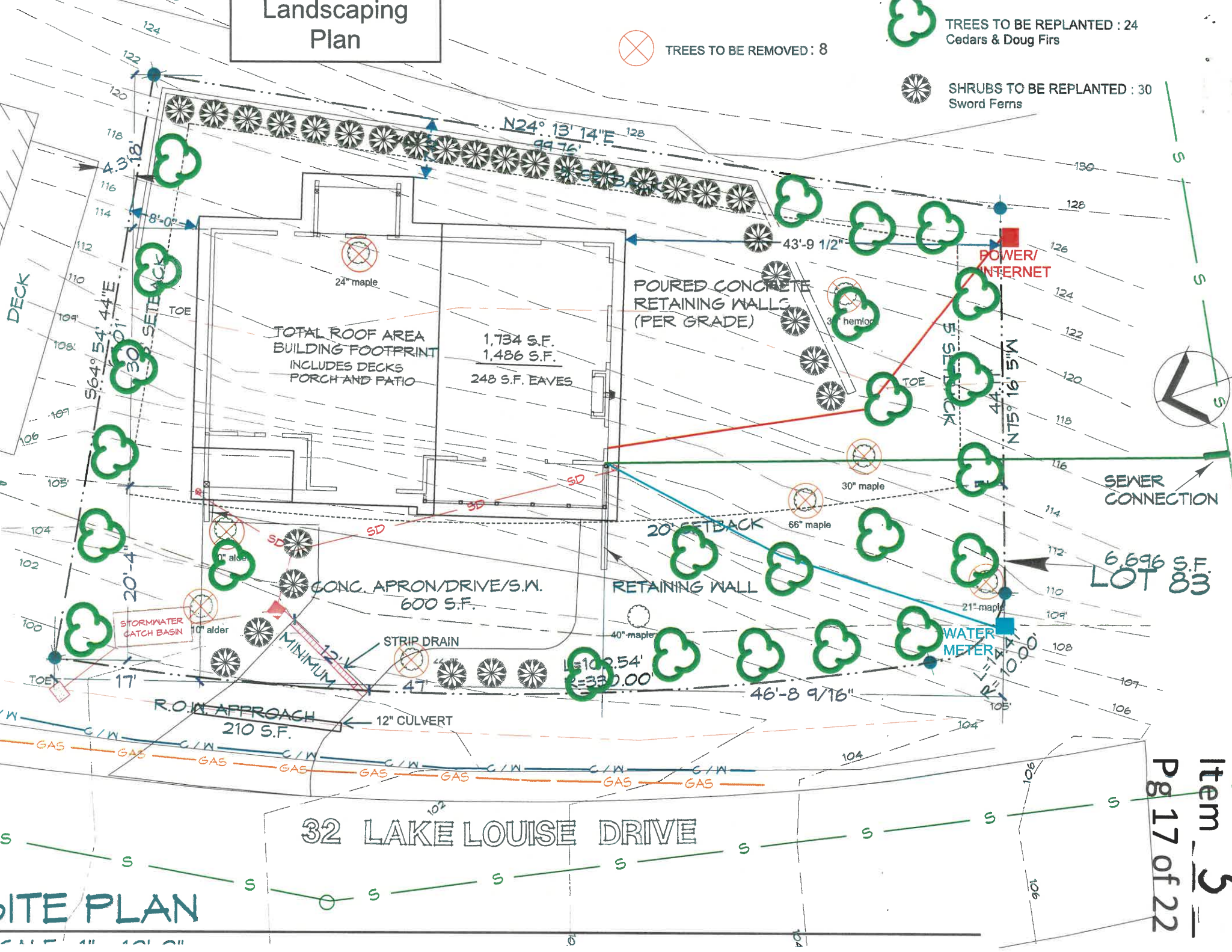


# Landscaping Plan

TREES TO BE REMOVED : 8

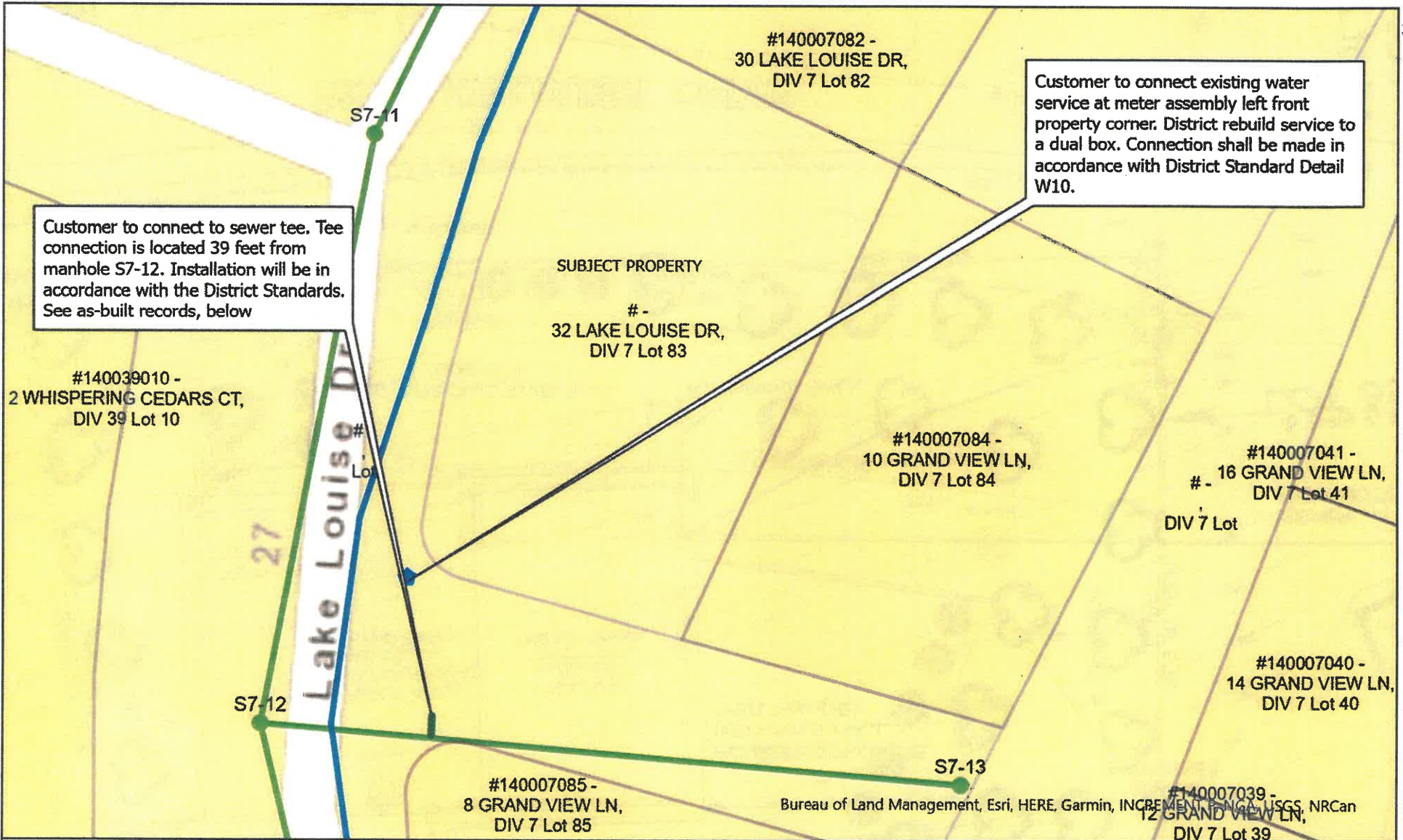
TREES TO BE REPLANTED : 24  
Cedars & Doug Firs

SHRUBS TO BE REPLANTED : 30  
Sword Ferns



Item 5  
Pg 17 of 22

SITE PLAN



Customer to connect existing water service at meter assembly left front property corner. District rebuild service to a dual box. Connection shall be made in accordance with District Standard Detail W10.

Customer to connect to sewer tee. Tee connection is located 39 feet from manhole S7-12. Installation will be in accordance with the District Standards. See as-built records, below

#140039010 -  
2 WHISPERING CEDARS CT,  
DIV 39 Lot 10

#140007082 -  
30 LAKE LOUISE DR,  
DIV 7 Lot 82

SUBJECT PROPERTY  
# -  
32 LAKE LOUISE DR,  
DIV 7 Lot 83

#140007084 -  
10 GRAND VIEW LN,  
DIV 7 Lot 84

#140007041 -  
# - 16 GRAND VIEW LN,  
DIV 7 Lot 41

#140007040 -  
14 GRAND VIEW LN,  
DIV 7 Lot 40

#140007085 -  
8 GRAND VIEW LN,  
DIV 7 Lot 85

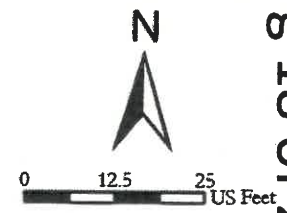
#140007039 -  
12 GRAND VIEW LN,  
DIV 7 Lot 39

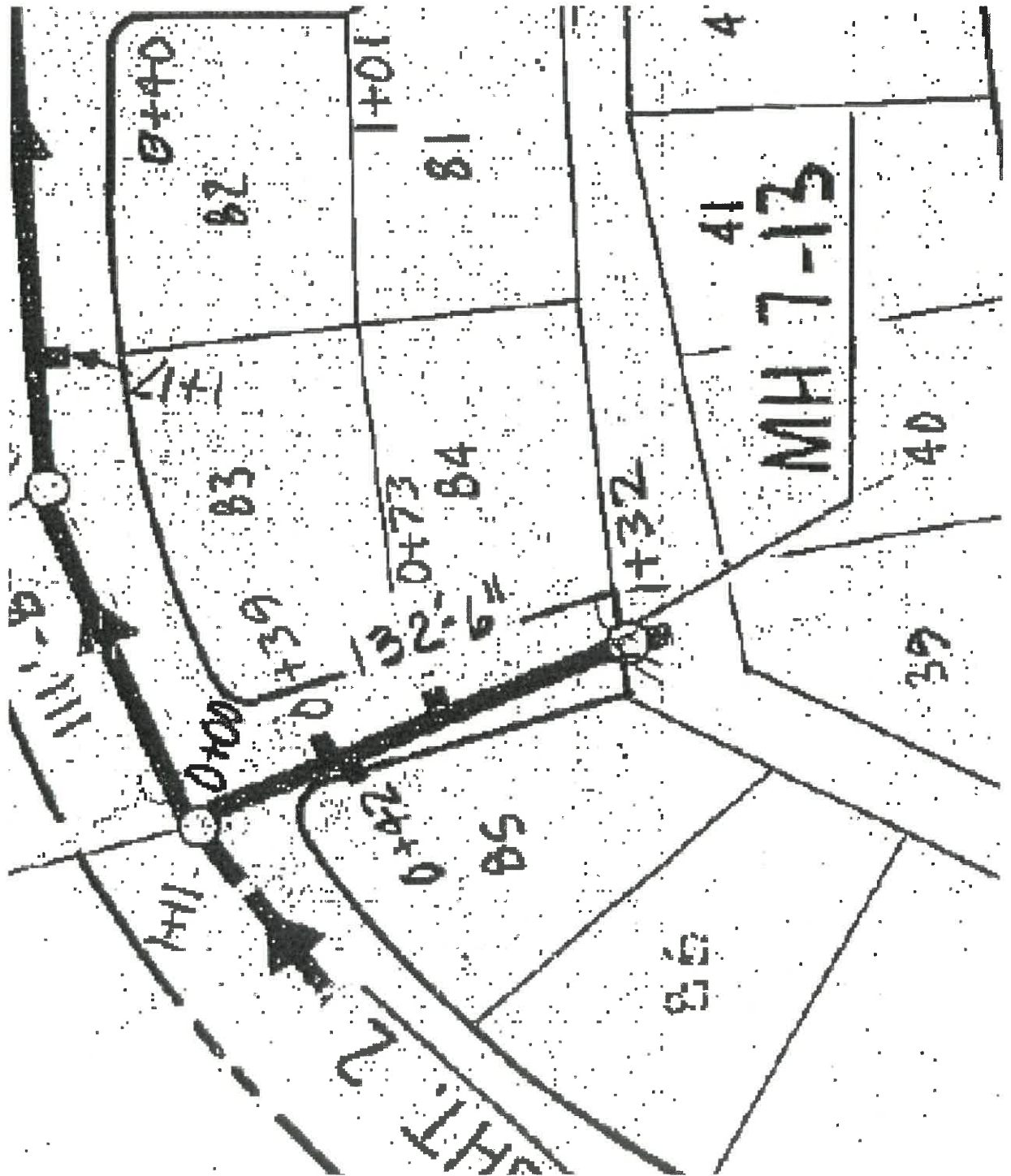
Bureau of Land Management, Esri, HERE, Garmin, INCREMENTAL, Mapbox, OpenStreetMap, Swatch, USGS, NRCAN



## 32 Lake Louise Dr.-Sudden Valley Div 7 Lots 83 Parcel # 370408 321327

<b>WATER AND SEWER CONNECTION INFORMATION</b> Connection information shown is approximate. Other utility locations are not shown. All work shall be done in accordance with the District's Design & Construction Standards.	RM 4.21.26  1 of 2
-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-----------------------------







HORTON DENNIS & ASSOC., INC.  
 COMP BY \_\_\_\_\_ DATE \_\_\_\_\_  
 CHKD BY \_\_\_\_\_ DATE \_\_\_\_\_

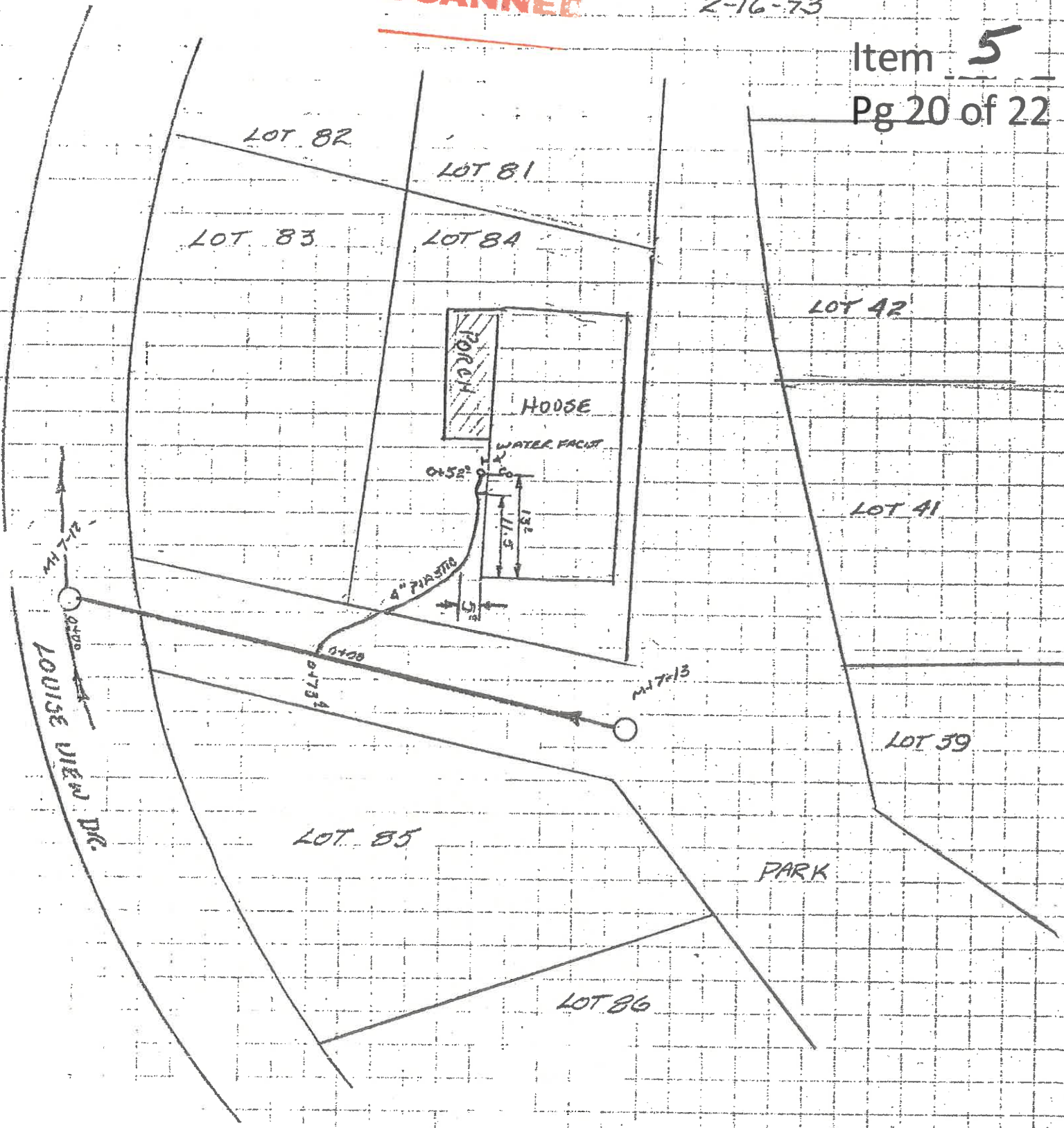
\_\_\_\_\_

JOB NO. \_\_\_\_\_  
 FB NO. \_\_\_\_\_  
 PAGE \_\_\_\_\_ OF \_\_\_\_\_

**SCANNED**

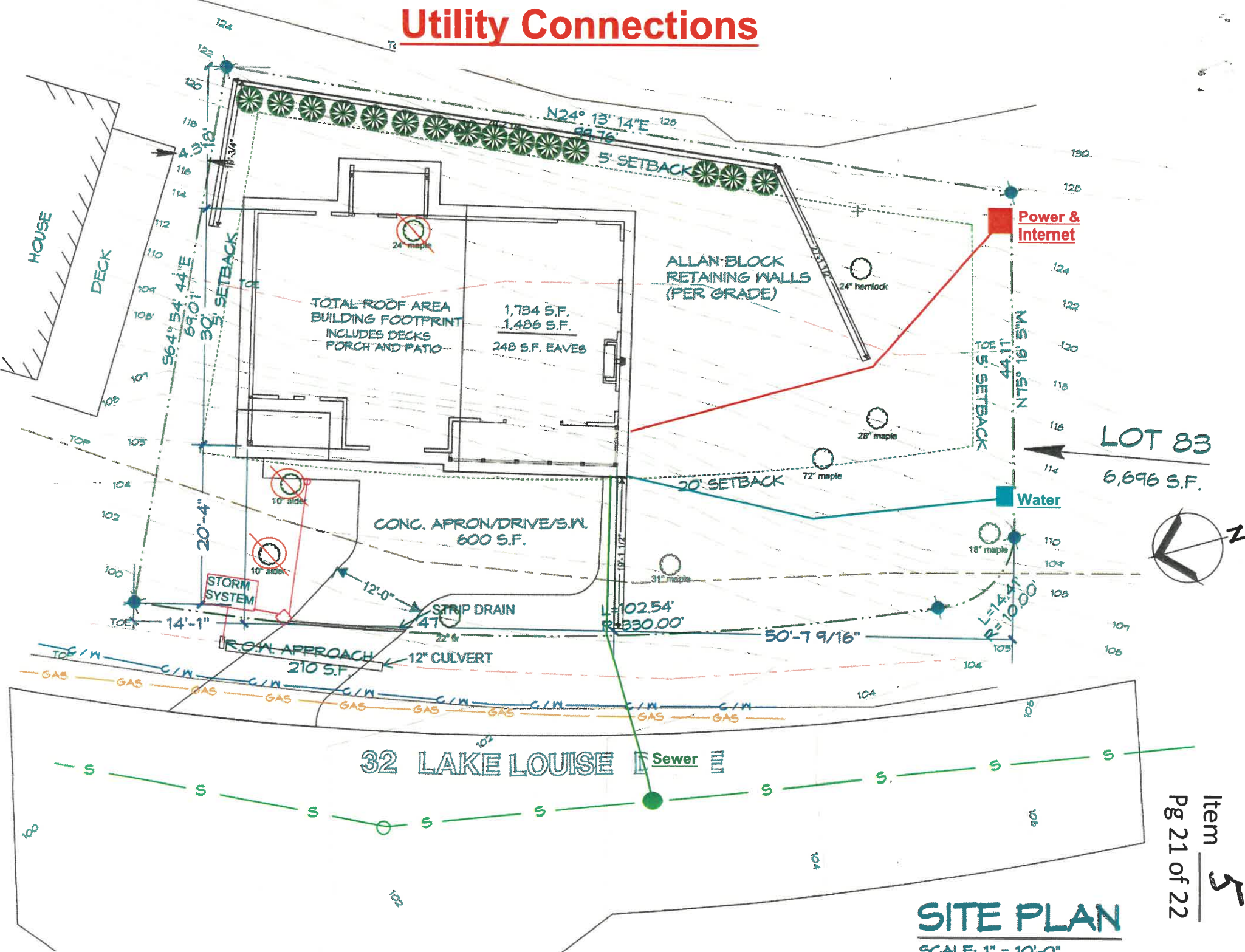
SIDE SEWER LOT 84 DIV 7  
 2-16-73

Item 5  
 Pg 20 of 22



LAB

# Utility Connections



Item **5**  
Pg 21 of 22

**SITE PLAN**  
SCALE: 1" = 10'-0"



**WATER AVAILABILITY FORM  
PUBLIC WATER SYSTEM**

**WHATCOM COUNTY HEALTH  
AND COMMUNITY SERVICES**  
509 Girard Street  
Bellingham, WA 98225  
Telephone: 360-778-6000  
Fax: 360-778-6001

Complete and submit form with original signatures to WCHCS

**Applicant Information:** (copies are not accepted)

Applicant/Owner(s): Eduard Danch Phone: (360) 510-0982  
Address: 41 Maple Ct City: Bellingham State: WA Zip: 98229  
Contact Person: Eduard Danch Phone: \_\_\_\_\_  
Email and/or Alternate Contact: dancheduard@gmail.com

I certify that I am the owner or authorized representative of the below noted property. I have examined this form and know the same to be true and correct. I understand that this approval expires one year after the PWS Authorized Representative signature date and that application for final plat approval and/or building permit must be made before the expiration date. I understand that information submitted is subject to the Public Records Act.

Sign: [Signature] Print: Eduard Danch Date: 4/13/26

Property Information: Project Type:  Single  Multi-Family  ADU  Commercial  Plat

Tax Parcel Number (twelve digit number): 3 7 0 4 0 8 3 2 1 3 2 7

Address of Project: 32 Lake Louise Dr

Building Permit Number: \_\_\_\_\_ Plat Name: Div 7 Lot: 83

Briefly describe project (attach site plan and additional pages as needed)  
Single Family residential home in Sudden Valley.

**Certification of Public Water Availability: to be Completed by the PWS Authorized Representative**

*Group B water systems must have current water tests - bacteriological less than one year old and nitrate less than three years old.*

Public Water System Name: South Shore LWWSO DOH ID#: 959101

The above Public Water System (PWS) is approved by the WA State Department of Health or the WCHD for NA service connections and currently serves NA service connections. The PWS has the necessary water system infrastructure in place to adequately provide service to the above property per WAC 246-290 or WAC 246-291. The PWS is capable of and willing to supply water to the above property, residence, project or plat for ( ) Existing service(s) and/or ( ) New service(s) and/or ( ) Existing service(s).

Direct Connection?  Yes  No (meter ready, no extension required)

Conditions of Service \_\_\_\_\_

I certify that I am an authorized representative of the above PWS. I understand this certification expires one year after the PWS signature date. I understand that information submitted is subject to the Public Records Act 42.56.

Sign: [Signature] Print: Rich Munson Date: 4-14-26

Title: ETSO Address: 1220 Lakeway Dr Phone: 360-738-9224

**For Health Department Use Only:**

Approved Date: \_\_\_\_\_ Approval Expires: \_\_\_\_\_  
 Denied  
By: \_\_\_\_\_ Well Constructed After January 2018:  Yes  No

Comments or Conditions: \_\_\_\_\_

Notify Via:  Email  Phone  Mail

The subdivision/building permit is located in an area that is governed by chapter 173-501 WAC and in which instream flows are not met and/or are subject to closure. In compliance with ch 58 17 RCW/RCW 19.27.097 the County has determined adequate potable water is available for this subdivision/building permit on the basis of evidence supplied by the Applicant. Other authorities, including courts of competent jurisdiction and the Department of Ecology, exercise jurisdiction over water resources in the state of Washington. Those authorities may determine that the proposed source of water for this project identified by the Applicant is not a valid water right appropriation or is subject to curtailment or seasonal restrictions on availability that could impact its reliability for the intended use. The County's issuance of this subdivision/building permit should not be relied upon by the Applicant or any successor in interest as an assurance, warranty or guarantee of the future availability of water to serve the subdivision/building permit.

Intake \_\_\_\_\_  
Entry \_\_\_\_\_  
Notify \_\_\_\_\_

Rec'd 07/01/2026  
10:06 AM

# Sudden Valley Community Association Exterior Alteration Request

Item 6  
Pg 1 of 2  
G2

Street Address: 81 Grand View Ln Div 39 Lot 17  
Owner: Ian Graham, Kimberly Wilkes  
Mailing Address: 81 Grand View Ln, Bellingham WA 98229  
Phone: [REDACTED] Email: [REDACTED]

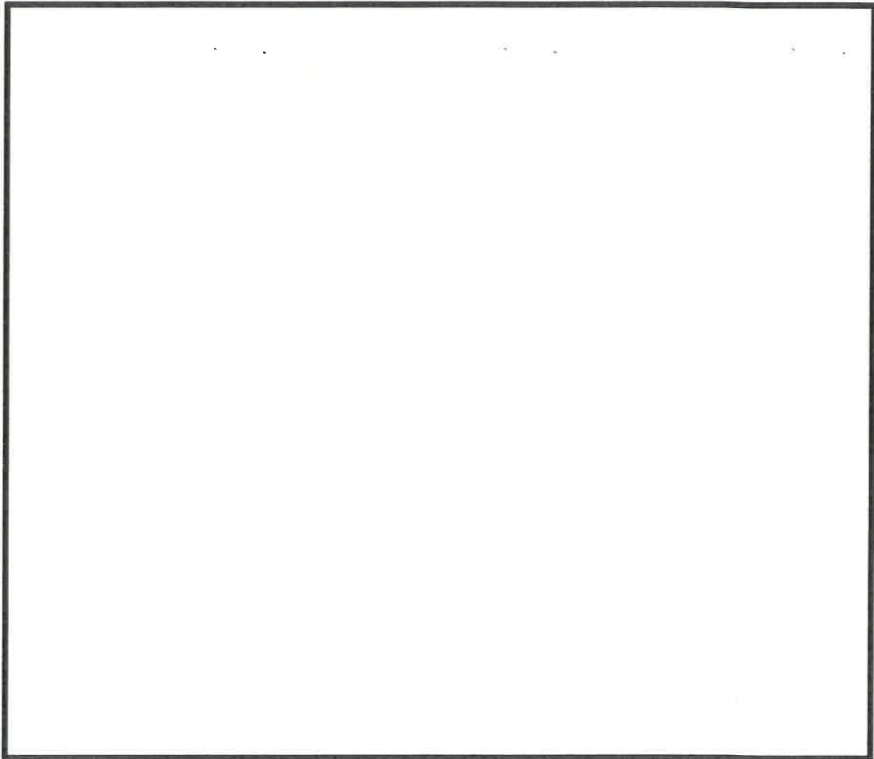
**Requests will not be considered unless the street address is clearly displayed on the residence.  
Please note that in the week(s) following request submittal, ACC members may visit and review property.**

**Requested for:**

- Existing home
- New construction

**The change would affect:**

- Exterior appearance
- Drainage/Erosion control
- Open space & Lot coverage
- Setbacks to property line
- Structure height



**Please refer to ACC Guidelines  
14.2 and 14.11 and for more  
information.**

**Give a full description of the request and attach any additional information if needed:**

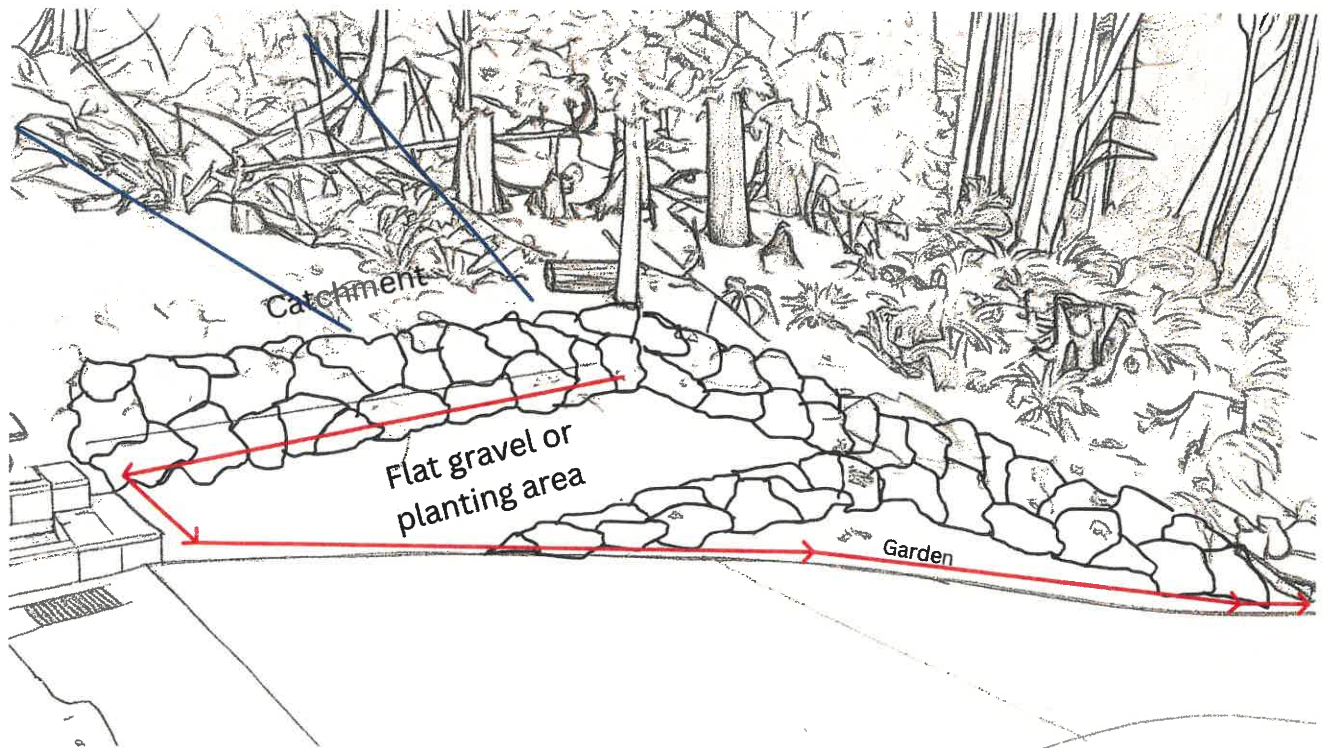
We are requesting a landscaping change to help facilitate mitigating the drainage of our property from a dry creek bed running from the Firs property uphill. We have met with Mike about the drainage plan and he is in agreement. Attached is a rough drawing of the proposed retaining walls that will define the drainage area and hydraulic routing. The blue lines indicate where the water flow has been observed and will be directed into a catchment basin. The red lines indicate the outflow that will connect to the existing strip drain on the uphill side of the driveway. This will flow directly into the ditch. This will stop the water from backflowing our current filtration system that has caused water to overrun the road during heavy rains. The walls will be constructed of quarry rock to match the other rock walls on the property.

***This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.***

**Submission of this form provides notice for the ACC to visit the property during reasonable hours.**

Owner Signature: [Signature]

Date: 7/1/2026





Rec'd 06/08/2026

11:23 AM

### APPLICATION FOR NEW CONSTRUCTION

Item 7  
Pg 1 of 17  
G2

Circle Type:	<input checked="" type="radio"/> Home <input checked="" type="radio"/> Construction	<input type="radio"/> Remodel	<input type="radio"/> Addition	<input type="radio"/> Other (Describe):
Street Address:	14 WOODPECKER PL, Bellingham, WA 98229		Div/Lot Div 20 / Lot 36	
Owner(s) Name(s):	M3S Services LLC (Sunit Tandon)			
Mailing Address:	500 Grover St, Lynden, WA 98264			
Email Address:	<del>XXXXXXXXXX@XXXX.com</del>	Cell Phone:		Work Phone:

**CONTRACTOR:** AC Inspector MUST BE contacted for inspection 24 hours prior to all inspections by completing an ACC Inspection Request form. Required inspections are:

- Installation of **erosion** control measures
- **Setbacks** prior to pouring of any concrete for either slab or foundation/forms
- Installation of **driveway** and/or apron
- **Completion** of work and occupancy of home

I have read and understand the Sudden Valley Community Association Architectural Control Policies.

<b>Contractor Signature:</b>		<b>Date:</b>	
Company Name: AJM Construction		License: CC AJMCOC*897PR	
Mailing Address: 6016 Malloy Avenue, Ferndale, WA 98248			
Email Address: sanghera.5@hotmail.com	Cell Phone: 360-319-4928	Office Phone:	

Bank or Loan Agency: North Coast Credit Union			
Valuation of Structure: \$ 572,000		Square Footage: 3,312 (per permit)	
Use: (Circle)	<input type="radio"/> Permanent Residence	<input type="radio"/> Vacation/Weekend	<input type="radio"/> Rental
Variance Request (Circle):	<input type="radio"/> Yes	<input checked="" type="radio"/> No	If Yes, must attach Variance Request form

The following items must be submitted at time of application:

- SVCA Construction Application and Checklist (**must be signed by property owner**).
- Application fee (per AC Policies 14.8.8).
- Copy of survey by a licensed surveyor including topography, trees, and square footage.
- Two (2) sets of construction plans (including floor plan, elevations, and finished grade).
- Two (2) copies of site plan @ 1"=10' scale (see AC Policies Appendix I for sample)
- Two (2) copies of landscaping plan @ 1"=10' scale
- Driveway cross-section, showing road edge to garage slab
- One (1) copy of specification sheet including paint chips, roof color, and lighting sample
- **Proof of insurance** (see Item 10 above)
- One (1) copy of water/sewer availability
- Property and building corners must be staked and strung
- ALL trees requested for removal must be clearly ribboned and indicated on site plan.
- Written application for variance, if any
- Refundable Completion Deposit (due during permit meeting per AC Policies section 14.8.8)



I agree to construct and maintain the above described single family dwelling in accordance with the plans and specifications submitted as the same may be approved by the ACC and further agree not to allow said single family dwelling to be used as a multiple family dwelling or duplex or to be used in any way which violates the Restrictive Covenants, Rules, and Regulations or Architectural Control Committee Policies.

I hereby acknowledge that the ACC, according to the Restrictive Covenants, is in no way responsible for any defects, of whatever nature, in the plans and specifications submitted. I agree to undertake full responsibility to accurately ascertain the lot lines delineating the boundaries of my property. I understand that the ACC in approving my plans and specifications, including site plan, is in no way warranting or representing the actual location of the lot lines delineating the boundaries of my property. I also understand that an infringement onto adjoining properties due to lot clearing or excavation shall be rectified prior to the framing of the structure.

Application

Submitted by (Print): Sunit Tandon (M3S Services LLC)

Circle One: Owner Contractor Other Representative

Signature of Owner(s): \_\_\_\_\_

Printed Name of Owner: Sunit Tandon Date 05 / 06 / 2026

ACC Inspector Report 14 Woodpecker Ln

Lot size: 8,537 sf

Property coverage: 37.4%

Open Space: 62%

Front setback: 24' 6"

Rear setback: 26' 4"

Side setback: 5' 2"

Side setback: 10' 10"

Driveway grade: 14%

Height: 27' 10"

Definition 1

ACC Inspector Notes

4' under side setback requirements. 2.4% over the property coverage requirements.  
Variances filed.





### SPECIFICATION SHEET

Street Address: 14 WOODPECKER PL, Bellingham, WA 98229	Div/Lot Div 20 / Lot 36
Owner(s)/Contractor Name(s): M3S Services LLC (Sunil Tandon) / AJM Construction	

Siding Type:	T1-11 plywood panel siding (wood product - lowest cost, ACC-allowed) <b>HARDI</b>
Trim Type:	Painted dimensional lumber trim <b>WHITE WOOD</b>
Gable Type:	T4-11 plywood panel (same as walls) <b>HARDI</b>
Roof Type:	3-tab asphalt-fiberglass composition shingle, Class A fire-rated
Lighting Type:	Builder-grade shielded LED soffit downlights, down-directed (Appendix F)
Retaining Wall Materials:	None required per approved plans (N/A)
Other Finish Materials:	Painted exposed concrete foundation <=12" - no veneer (App. G)

### Samples

SIDING/BODY COLOR	TRIM COLOR	ACCENT COLOR
Benjamin Moore Warm Sand CSP-280 	Benjamin Moore Whisper CSP-500 (also trim/doors) 	Garage Door: Warm Sand CSP-280 (matches body)  Front Door: Whisper CSP-500 (trim color)  Other (Specify Locations): None - 2-color scheme (minimizes cost)
ROOF COLOR	RETAINING WALL SAMPLE	LIGHTING SAMPLE
3-tab comp. shingle Charcoal / grey (routine-no ACC review)	N/A - no retaining wall proposed	Shielded LED down-directed (Appendix F)

**Whatcom County Accepted Codes**  
15.04.010 Adoption of referenced codes.

**APPROVED PLANS ON SITE**  
Approved plans, specifications, & Guide Book shall be kept on the site of the building or work at all times during which the work authorized hereby is in progress and shall be open to inspection per IRC Section 150.3.7.

**REVIEWED FOR CODE COMPLIANCE SUBJECT TO FIELD INSPECTIONS, CORRECTIONS AND PROVISIONS OF PLAN REVIEW**

*James P. Kelly*  
PLANS EXAMINER, BLDG. SERVICES

**REQUEST FOR INSPECTION SHALL BE FILED WITH OUR OFFICE AT LEAST ONE WORKING DAY BEFORE SUCH INSPECTION IS DESIRED**

**ANY DEVIATION IN CONSTRUCTION FROM APPROVED PLANS REQUIRES PRIOR REVIEW AND APPROVAL**  
**INSPECTION REQUESTS**  
24 HOUR ANSWERING MACHINE  
(800) 778-8860

**THE OUTDOORPOOL** is part of your approved plans. After the pool is built, all electrical, plumbing, construction, LABELS ON PLANS REFER TO OUTDOORPOOL NUMBERS

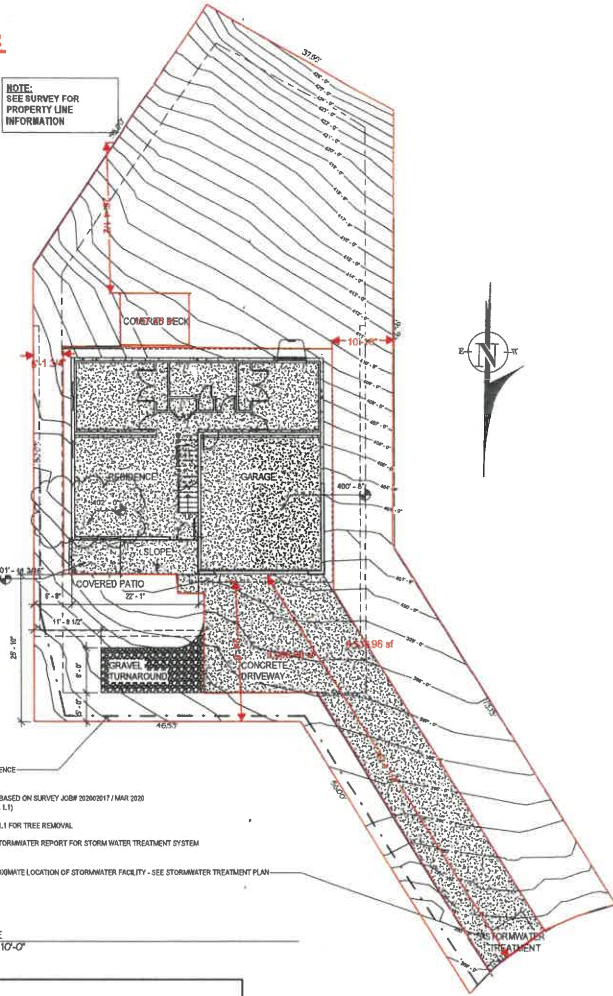
**PRE-CONSTRUCTION MEETING REQUIRED PRIOR TO CONSTRUCTION** - Get Whatcom County Planning & Development Services at 610-735-2329 to arrange for a pre-construction meeting with the Whatcom County Building Inspector.

Certificate of Occupancy required per IRC 502.10.10. Call for one week prior to desired occupancy date

**PROJECT ADDRESS:**  
14 WOODPECKER PLACE  
BELLINGHAM, WA 98225

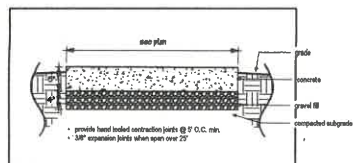
**LEGAL DESCRIPTION:**  
LOT 38, PLAT OF SIDDEN VALLEY, DIVISION NO. 28, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 41 OF PLATS, PAGES 39 THROUGH 41, INCLUSIVE, RECORDS OF WHATCOM COUNTY, WASHINGTON, SITUATE IN WHATCOM COUNTY, WASHINGTON.

**NOTE:**  
SEE SURVEY FOR PROPERTY LINE INFORMATION



SILT FENCE  
TOPO BASED ON SURVEY 200802017 / MAR 2020 (SEE A.1.1)  
SEE A.1 FOR TREE REMOVAL  
SEE STORMWATER REPORT FOR STORM WATER TREATMENT SYSTEM  
APPROXIMATE LOCATION OF STORMWATER FACILITY - SEE STORMWATER TREATMENT PLAN

② SITE  
T = 10'-0"



③ concrete walk  
T = 1'-0"

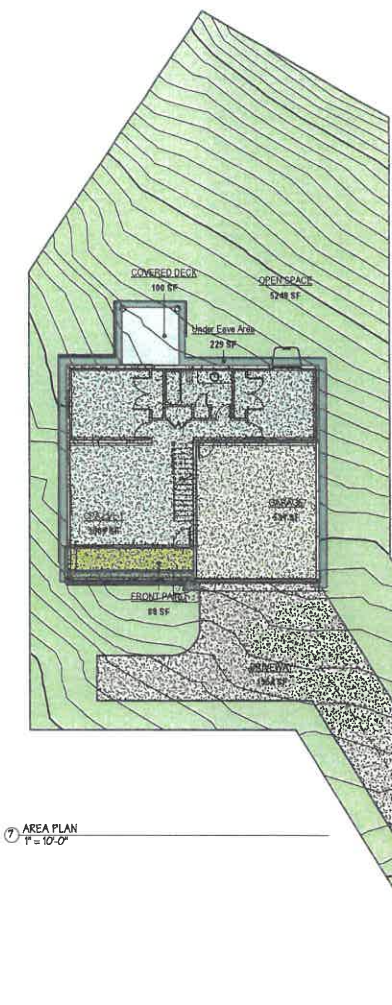
**ZONING APPROVED**  
Zone: RFR3 Use: Single-Family Residence  
Setback/Height: IRC 05/21/2023  
Initials/Date:

SITE AREAS	
2 TOP FLOOR	1009 SF
3 PORCH	937 SF
4 FRONT PATIO	40 SF
1 OPEN SPACE	5340 SF
5 DRIVEWAY	1354 SF
2 COVERED DECK	100 SF
5 Under Eave Area	229 SF
17 CREAM 2	851 SF
8 DECK	100 SF
	1817 SF

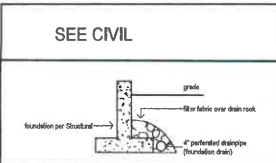


⑤ SECOND FLOOR  
T = 10'-0"

CONDITIONED FLOOR AREA		
CFAM 1	1009 SF	40%
CFAM 2	1817 SF	80%
	2826 SF	



⑦ AREA PLAN  
T = 10'-0"



④ foundation drainage  
1/2" = 1'-0"

**Ryan Peterson**  
1610 J ST #202, Bellingham, WA 98225  
TEL.: 360.319.6477  
E-MAIL: ryanwilliams@gmail.com

**14 WOODPECKER**  
Bellingham, WA  
370408 250091

Revisions	
NO.	Revision Description
1	Revision 1

Issued For:  
**DESIGN**  
Date: 10-15-2022  
Project: 3BR / 2.5BA 2526  
Scale: As Indicated  
DRW: RWP

Drawing Name:  
**SITE PLAN**  
Pg 5 of 17

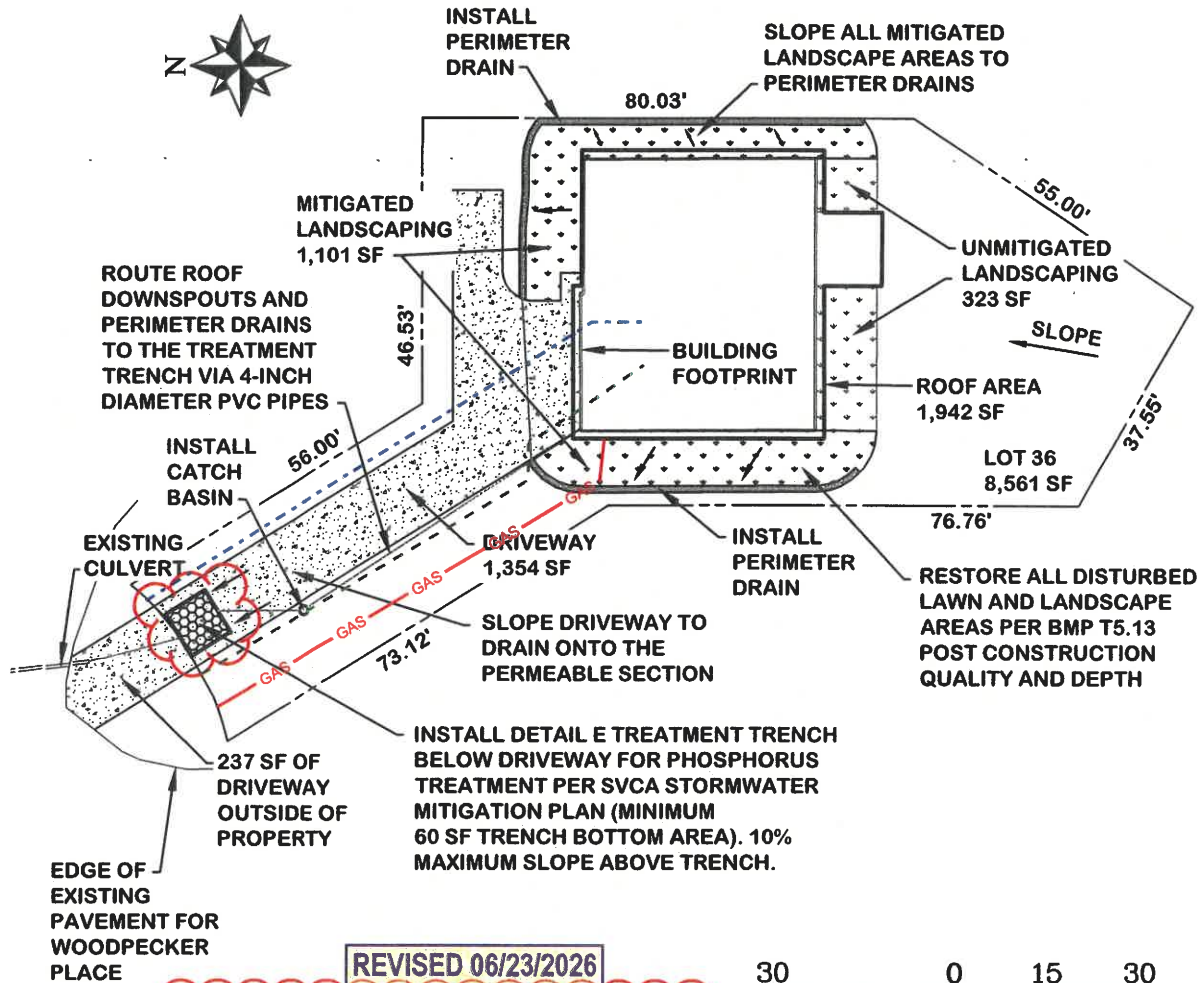
Drawing Number:

**A1**

SHEET LIST	
A1	SITE PLAN
A1.1	SURVEY / TREE REMOVAL
A2	ELEVATIONS (1)
A3	ELEVATIONS (2)
A4	FLOOR PLANS
A5	SECTIONS
A6	FOUNDATION / FRAMING
A7	FRAMING / ROOF
A8	DETAILS

Item 7

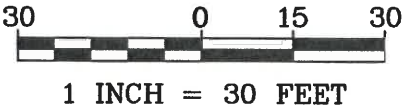
**STORMWATER FACILITY LOCATION SITE PLAN**  
 PROPOSED SINGLE-FAMILY RESIDENCE  
 14 WOODPECKER PLACE (PARCEL 370408 250091)  
 SUDDEN VALLEY, WASHINGTON



**REVISED 06/23/2026**

**SITE PLAN LEGEND:**

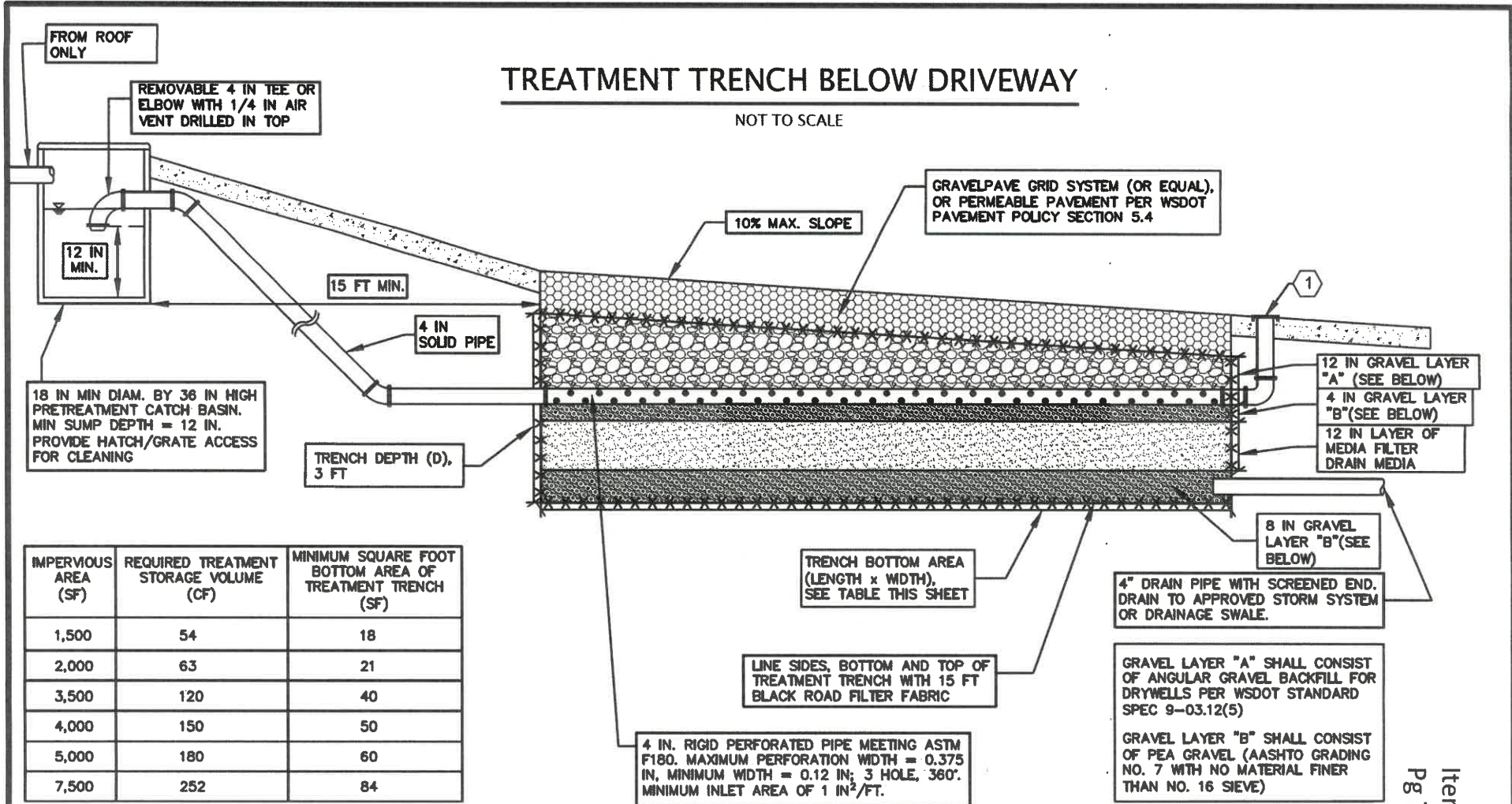
- SEWER (CONNECT TO STUB - LWWSD) ---
- WATER (LWWSD) ---
- GAS (CASCADE NATURAL GAS) ---



**PLEASE NOTE:** BASED ON A SITE PLAN PREPARED BY RYAN PETERSON. THE LOCATION AND CONFIGURATION OF THE PROPOSED PVC PIPES AND CATCH BASIN SHOULD BE FIELD FIT AS NEEDED TO ENSURE PROPER FUNCTION AND TO MEET THE REQUIREMENTS CONTAINED IN THE SUDDEN VALLEY COMMUNITY ASSOCIATION (SVCA) STORMWATER MANAGEMENT AND PHOSPHORUS MITIGATION PLAN APPENDIX D: HOMEOWNER STORMWATER WORKBOOK.

# TREATMENT TRENCH BELOW DRIVEWAY

NOT TO SCALE



IMPERVIOUS AREA (SF)	REQUIRED TREATMENT STORAGE VOLUME (CF)	MINIMUM SQUARE FOOT BOTTOM AREA OF TREATMENT TRENCH (SF)
1,500	54	18
2,000	63	21
3,500	120	40
4,000	150	50
5,000	180	60
7,500	252	84

**TABLE NOTES:**

- VALUES BASED ON 95% TREATMENT FILTRATION WHEN MODELED WITH WWHM2012 STORMWATER MODEL.
- NO INTERPOLATION ALLOWED FOR TABLE. USE NEXT SIZE UP WHEN BETWEEN TABLE VALUES.
- MAXIMUM TRENCH LENGTH = 100FT; MINIMUM TRENCH WIDTH = 2FT.

TRENCH BOTTOM AREA (LENGTH x WIDTH), SEE TABLE THIS SHEET

LINE SIDES, BOTTOM AND TOP OF TREATMENT TRENCH WITH 15 FT BLACK ROAD FILTER FABRIC

4 IN. RIGID PERFORATED PIPE MEETING ASTM F180. MAXIMUM PERFORATION WIDTH = 0.375 IN, MINIMUM WIDTH = 0.12 IN; 3 HOLE, 360'. MINIMUM INLET AREA OF 1 IN<sup>2</sup>/FT.

4" DRAIN PIPE WITH SCREENED END. DRAIN TO APPROVED STORM SYSTEM OR DRAINAGE SWALE.

GRAVEL LAYER "A" SHALL CONSIST OF ANGULAR GRAVEL BACKFILL FOR DRYWELLS PER WSDOT STANDARD SPEC 9-03.12(5)

GRAVEL LAYER "B" SHALL CONSIST OF PEA GRAVEL (AASHTO GRADING NO. 7 WITH NO MATERIAL FINER THAN NO. 16 SIEVE)

1 CLEANOUT WITH CAST IRON OR BRASS RING AND COVER, TRAFFIC RATED.

Item 7  
Pg 7 of 17



WILSON ENGINEERING, LLC  
805 DUPONT STREET  
BELLINGHAM, WA 98225  
(360) 733-6100 • FAX (360) 647-9061  
www.wilsonengineering.com



SUDDEN VALLEY COMMUNITY ASSOCIATION  
STORMWATER MITIGATION PLAN

WHATCOM COUNTY

WASHINGTON

DETAIL E

12/16/2016 UNDER-DRIVEWAY TRENCH FOR PHOSPHORUS TREATMENT

DATE	SHEET
APR 2016	18
SCALE	OF
AS SHOWN	22
JOB NO.	
2014-148	

CONSTRUCTION NOTES:

GENERAL:

- A. SEISMIC DESIGN CATEGORY D
- B. WIND EXPOSURE AND SPEED 110 MPH, EXP.
- C. SNOW LOAD @ 25 PSF.
- D. FLOOR LEVEL LOAD 40 PSF.
- E. DECK LEVEL LOAD 80 PSF.
- F. SOIL BEARING PRESSURE 1500 PSF.
- G. ALL GLASS IN DOORS, SIDELIGHTS, AND OTHER HAZARDOUS LOCATIONS TEMPERED GLASS

Refer to Engineer's "M" pages for structural frame

**Drainage and down aspects:**  
All buildings shall provide a controlled method of water disposal for collection and discharge. System shall consist of gutters/downspouts and down spouts connected to split line drain, or approved splash block.

**ELEVATIONS**  
See Codebook P's 37, 38, 39, 40a, 40b, 41 and 58.

**Doors:** A metal door shall be provided to all lavas and gates per IRC sec. R505.2.8.5

FOUNDATION:

- FOOTING SHOWN AS MINIMUM ON DRAWING AND TO BE POURED ON CENTER OF WALL DIMENSIONS:
- FOOTINGS ARE TO BE POURED ON UNDISTURBED OR PROPERLY COMPACTED SOIL.
- 4" PERF. DRAIN PIPE IS TO BE LAD AROUND PERIMETER OF FOOTING AND OVERLAID W/ 1/2" - 2" DRAIN ROCK.

FRAMING:

- STRUCTURAL LUMBER TO BE #2 DOUGLAS FIR OR BETTER
- EXTERIOR WOOD FRAMED WALLS TO BE 2"x8" DF4, #2 W/ STUDS @ 16" O.C.
- ALL EXTERIOR WALLS SHALL BE SHEATHED W/ 1/2" STRUCTURAL PLYWOOD OR 7/16" OSB
- ALL WINDOWS HEADERS & BEAMS TO BY 4" X 10" DF #2 UNLESS OTHERWISE NOTED
- INTERIOR WALLS TO BE 2"x4" CONSTRUCTION PLACED @ 16" O.C.
- INTERIOR BATHROOM WALLS W/ EXTENSIVE PLUMBING FIXTURES MAY HAVE 2"x8" FRAMED WALLS TO PROVIDE CLEARANCE AND COMFORTABLE WORKING SPACE
- 2" X STUDS NAILED TOGETHER TO A MIN. WIDTH NOT LESS THAN BEAM BEING SUPPORTED @ BEAM BEARING POINTS

ROOF:

- DRAWINGS WILL SPECIFY TRUSS OR RAFTER CONSTRUCTION
- TRUSS ENGINEERING TO BE ON SITE @ FRAMING INSPECTION
- CONTRACTOR TO VERIFY DRAWINGS FROM TRUSS MANUFACTURER
- ROOF SHEATHING TO BE 1/2" CDX STANDARD

CONNECTIONS:

SEE STRUCTURAL

EFFICIENCY:

- ALL WINDOWS & DOORS TO BE SEALED INTO WALL W/ CAULKING & WEATHERSTRIPPING
- ALL FRAMING INTERSECTIONS BETWEEN CONDITIONED TO UNCONDITIONED WALLS & FOUNDATIONS TO BE CAULKED TO STOP AIR LEAKAGE AND PROVIDE INCREASED EFFICIENCY
- ALL PENETRATIONS FOR PLUMBING, WIRING, & DUCTING TO BE SEALED
- EXTERIOR WALLS, TO HAVE EITHER TYPAR OR TYVEK VAPOR BARRIER INSTALLED PER MANUFACTURER'S SPECS. WITH WINDOW & JOINT TAPE

FLASHING:

- CONTRACTOR & HOME OWNER TO INSTALL ADEQUATE FLASHING AT ALL WATER INFILTRATION POINTS SUCH AS, BUT NOT LIMITED TO, WINDOWS, DOORS, DECKS, SKYLIGHTS, CHIMNEYS, VENTS, TRIM BOARDS, BALCONIES AND ROOF VALLEYS.
- ALL CAULKING MUST BE INSPECTED & MAINTAINED ANNUALLY BY HOME OWNER USING APPROVED EXTERIOR SIDING CAULK

- FLASHING CODES:
- IRC 905.2.8 / IRC 905.4.6
  - IRC 905.2.8.5
  - IRC 905.3.8
  - IRC 703.8
  - R703.7.5
  - R613.1 / R703.8

MISC:

- CO DETECTORS SHALL BE LOCATED NEAR SLEEPING ROOMS
- 2014 WBEED RESIDENTIAL ENERGY COMPLIANCE CERTIFICATE SHALL BE POSTED WITHIN 3' OF ELECTRICAL PANEL
- INSULATION MARKERS REQUIRED FOR BLOW-IN INSULATION PLACED EVERY 300 SF
- BLOWER DOOR TEST REQUIRED
- ALL LUMINARIES OUTSIDE CONDITIONED SPACE & 70% OF INTERIOR LUMINARIES HIGH EFFICIENCY

**R310.2.3 Window wells.** The horizontal area of the window well shall be not less than 9 square feet (0.9 m<sup>2</sup>), with a horizontal projection and width of not less than 36 inches (914 mm). The area of the window well shall allow the emergency escape and rescue opening to be fully opened. Exception: The ladder or steps required by Section R310.2.3.1 shall be permitted to encroach not more than 6 inches (152 mm) into the required dimensions of the window well.

**R310.2.3.1 Ladder and steps.** Window wells with a vertical depth greater than 44 inches (1118 mm) shall be equipped with a permanently affixed ladder or steps usable with the window in the fully open position. Ladders or steps required by this section shall not be required to comply with Section R311.7. Ladders or rungs shall have an inside width of not less than 12 inches (305 mm), shall project not less than 3 inches (76 mm) from the well and shall be spaced not more than 18 inches (457 mm) on center vertically for the full height of the window well.

**R310.2.3.2 Drainage.** Window wells shall be designed for proper drainage by connecting to the building's foundation drainage system required by Section R405.1 or by an approved alternative method. Exception: A drainage system for window wells is not required where the foundation is on well-drained soil or sand-gravel mixtures soils in accordance with the United Soil Classification System, Group I Soils, as detailed in Table R405.1.



① FRONT ELEVATION  
1/4" = 1'-0"

R308.4.2 Glazing adjacent to doors



② REAR ELEVATION  
1/4" = 1'-0"

SHEET LIST	
A1.	SITE PLAN
A1.1	SURVEY / TREE REMOVAL
A2.	ELEVATIONS (1)
A3.	ELEVATIONS (2)
A4.	FLOOR PLANS
A5.	SECTIONS
A6.	FOUNDATION / FRAMING
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A8.	DETAILS

Ryan Peterson  
1610 7 ST # 203, Bellingham, WA 98225  
TEL: 360.319.6477  
E-MAIL: ryanwilliam@gmail.com

14 WOODPECKER  
Bellingham, WA  
370408.250091

Revisions

NO.	DATE	REVISION DESCRIPTION
		noted / signed
		noted / signed
		noted / signed

Issued For:  
**DESIGN**  
Date: 10-16-2022  
Project: 3BA / 2.5BA.2526  
Scale: 1/4" = 1'-0"  
DRW: RWP

Drawing Name:  
**ELEVATIONS (1)**

Drawing Number:

Item 7  
Pg 8 of 17  
A2

Whatcom County Accepted Codes  
15.04.010 Adoption of referenced codes.

CONSTRUCTION NOTES (CONTINUED):

- APPLICABLE BUILDING CODES:

1. 2018 IRC
2. WASHINGTON STATE ENERGY CODES
3. WASHINGTON STATE AMENDMENTS AND ORDINANCES

- ANY MODIFICATIONS TO THE PROJECT WILL MEET THE PRESCRIPTIVE REQUIREMENTS OF THE WASHINGTON STATE RESIDENTIAL ENERGY CODE, WITH THE FOLLOWING CONSTRUCTION:

1. ROOF INSULATION = R-49 MIN
2. WALL INSULATION = R-21 MIN
3. PERIMETER SLAB INSULATION = R-10 MIN
4. ALL GLAZING = U VALUE MIN 0.28
5. PROVIDE VENTILATION SYSTEM CONNECTING ALL TOILET ROOMS & LAUNDRY ROOM. VENTILATE KITCHEN SEPARATELY

- PLUMBING:

- PROVIDE PRESSURE RELIEF VALVE FOR HOT WATER TANK, DRAIN TO THE OUTSIDE OF THE BUILDING WITH DRAIN END NOT MORE THAN TWO FEET NOR LESS THAN 6" ABOVE THE GROUND, POINTING DOWN

- PROVIDE AN APPROVED BACK FLOW PREVENTION DEVICE AT ALL HOSE BIBS

- PROVIDE A CLEAN-OUT WHERE BUILDING DRAIN AND BUILDING SEWER LINES CONNECT

- EACH HORIZONTAL DRAINAGE PIPE SHALL BE PROVIDED WITH A CLEANOUT AT ITS UPPER TERMINAL

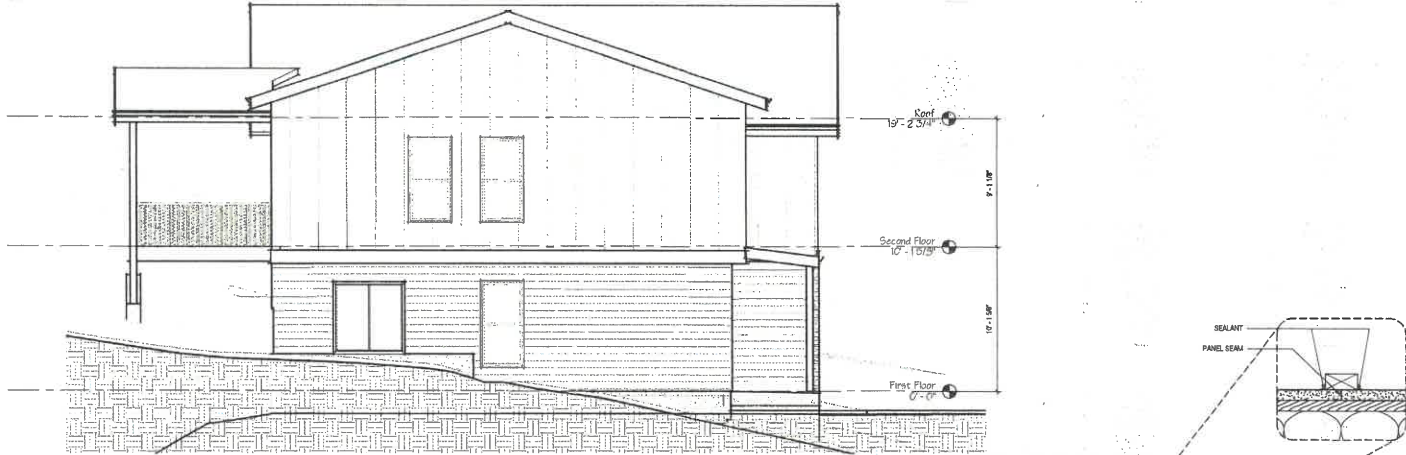
- CO DETECTORS SHALL BE LOCATED NEAR SLEEPING ROOMS

- 2018 WSEC RESIDENTIAL ENERGY COMPLIANCE CERTIFICATE SHALL BE POSTED WITHIN 3' OF ELECTRICAL PANEL

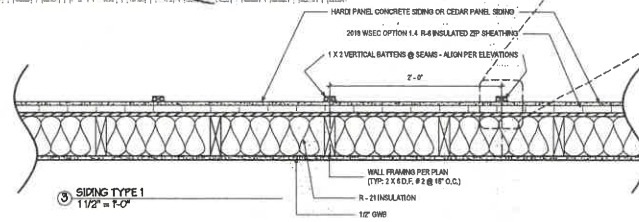
- INSULATION MARKERS REQUIRED FOR BLOWN-IN INSULATION PLACED EVERY 300 SF

- BLOWER DOOR TEST REQUIRED

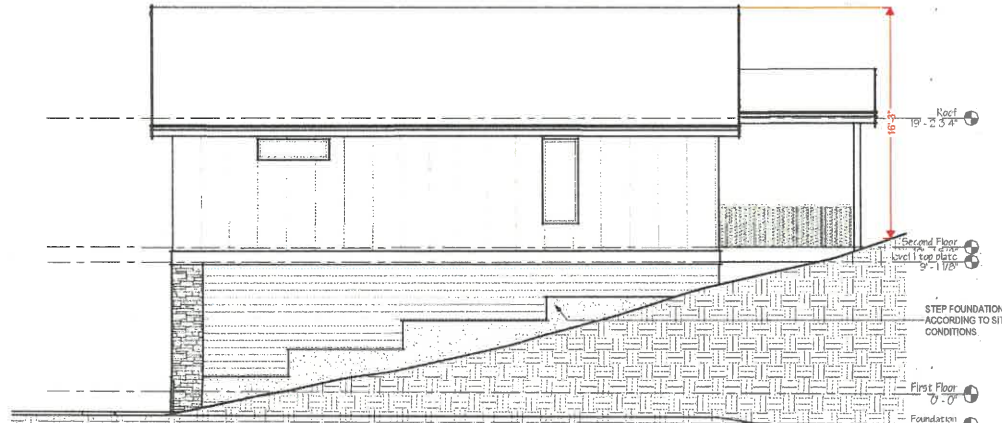
- ALL LUMINARIES OUTSIDE CONDITIONED SPACE & 70% OF INTERIOR LUMINARIES HIGH EFFICIENCY



① LEFT ELEVATION (SOUTH WEST)  
1/4" = 1'-0"



③ SIDING TYPE 1  
1/2" = 1'-0"



② RIGHT ELEVATION (NORTH WEST)  
1/4" = 1'-0"

WSEC 2018

MEDIUM DWELLING UNIT - 6 CREDITS required

Options:	Description:	CREDITS:
2.	HEATING OPTIONS HEAT PUMP	1.0
1.4	ENERGY OPTIONS: EFFICIENT BUILDING ENVELOPE	1.0
2.2	AIR LEAKAGE CONTROL AND EFFICIENT VENTILATION	1.0
3.5	HIGH EFFICIENCY HVAC	1.5
5.3	EFFICIENT WATER HEATING	1.0
7.1	APPLIANCE PACKAGE	5.0
	<b>Total</b>	<b>6.0</b>

Ryan Peterson  
1610 1 ST # 203 Bellingham, WA 98225  
TEL: 360.315.6477  
E-MAIL: ryanwilliams@gmail.com

Contractor shall verify all dimensions, conditions, etc. indicated on this sheet, before construction. It is the contractor's responsibility to verify the accuracy of all dimensions and conditions shown on this sheet. The contractor shall verify all dimensions and conditions shown on this sheet, before construction. It is the contractor's responsibility to verify the accuracy of all dimensions and conditions shown on this sheet.

14 WOODPECKER  
Bellingham, WA  
370408 250091

Revisions

NO.	Revision Description
	verified/signed
	verified/signed
	verified/signed

Issued For:  
DESIGN

Date: 10-16-2022  
Project: 3BR / 2.5BA 2526  
Scale: As indicated  
DRW: RWP

Drawing Name:  
ELEVATIONS  
(2)

SHEET LIST	
A1	SITE PLAN
A1.1	SURVEY / TREE REMOVAL
A2	ELEVATIONS (1)
A3	ELEVATIONS (2)
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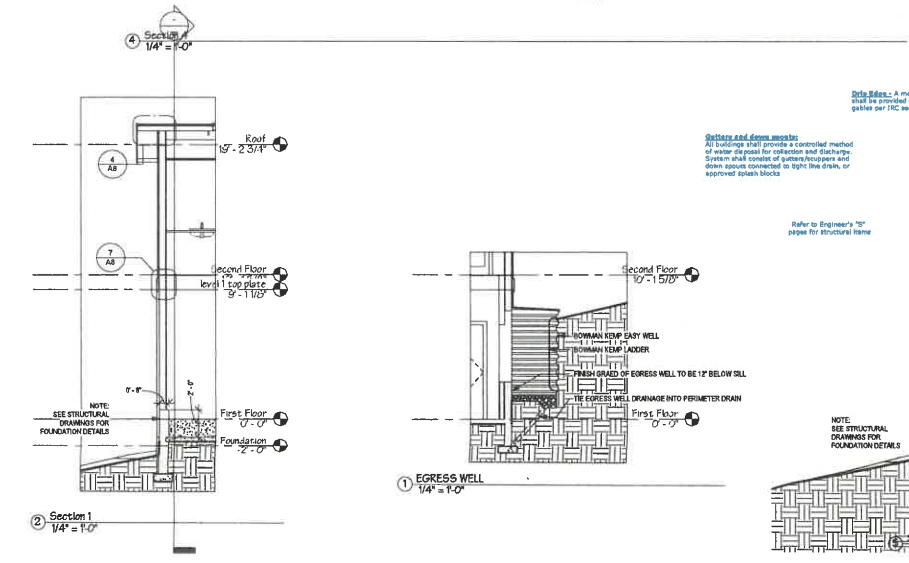
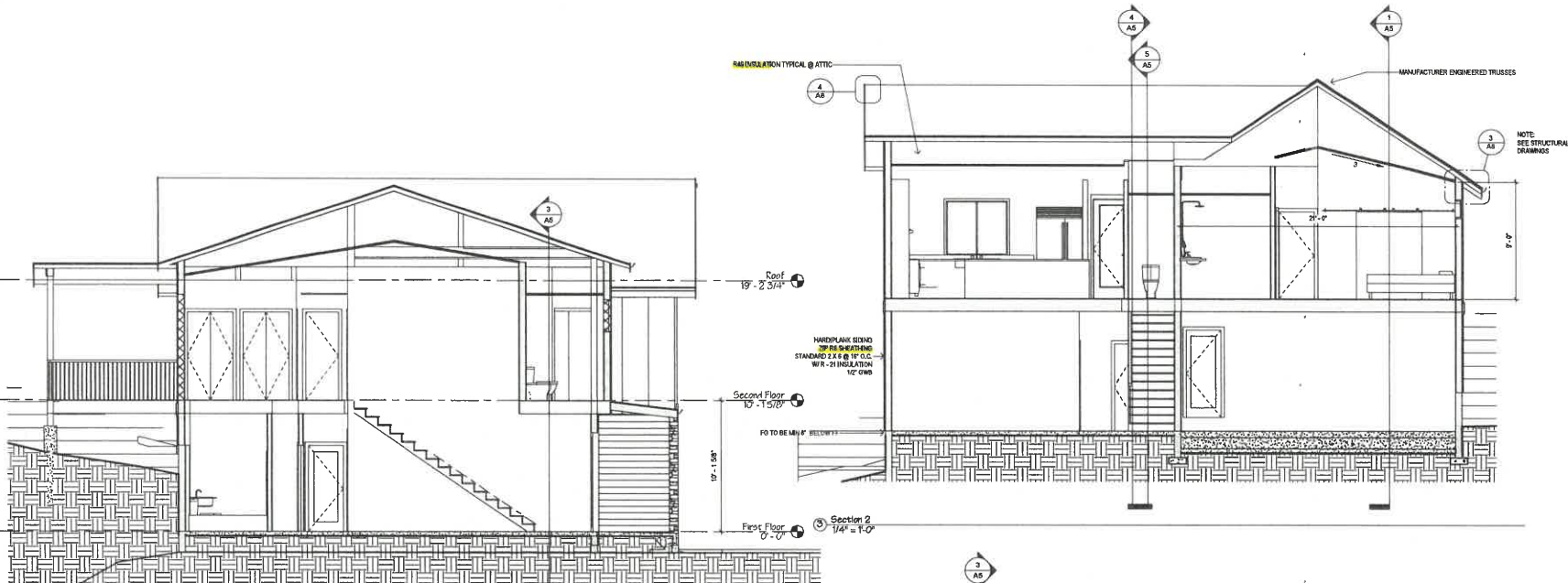
Drawing Number:

A3

Item 7  
Pg 9 of 17



**SECTION DRAWINGS**  
 See Schedule 1 for 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.



Ryan Peterson  
 1510 J ST #203, Bellingham, WA 98225  
 TEL: 360.319.6477  
 E-MAIL: ryanwilliam@gmail.com

Contractor shall verify all dimensions and materials. No responsibility for the work. Under no circumstances shall the contractor be held liable for any damages to the property or any other person or property. The contractor shall be responsible for any damage to the property or any other person or property. The contractor shall be responsible for any damage to the property or any other person or property. The contractor shall be responsible for any damage to the property or any other person or property.

14 WOODPECKER  
 Bellingham, WA  
 370408 250091

Revisions	Revision Description
NO.	Revision Description

Issued For:  
**DESIGN**  
 Date: 10-16-2022  
 Project: 3BR / 2.5BA 2526  
 Scale: 1/4" = 1'-0"  
 DRW: RWP

Drawing Name:  
**SECTIONS**

Item 7  
 Pg 11 of 17

A5

Drawing Number:

SHEET LIST	
AS	SITE PLAN
AT	SURVEY / TREE REMOVAL
AA	ELEVATIONS (1)
AT	ELEVATIONS (2)
AA	FLOOR PLANS
AS	SECTIONS
AS	FOUNDATION / FRAMING
A7	FRAMING / ROOF
A8	DETAILS







Structural Design Associates  
 3006 RUCKER AVE  
 Everett, WA 98201  
 PHONE: 425-339-0293 FAX: 425.252.0916  
 www.sdaerett.com

NO. DATE BY REVISION

WOODPECKER RESIDENCE  
 14 WOODPECKER PL  
 BELLINGHAM, WA 98229



MAR 01, 2023

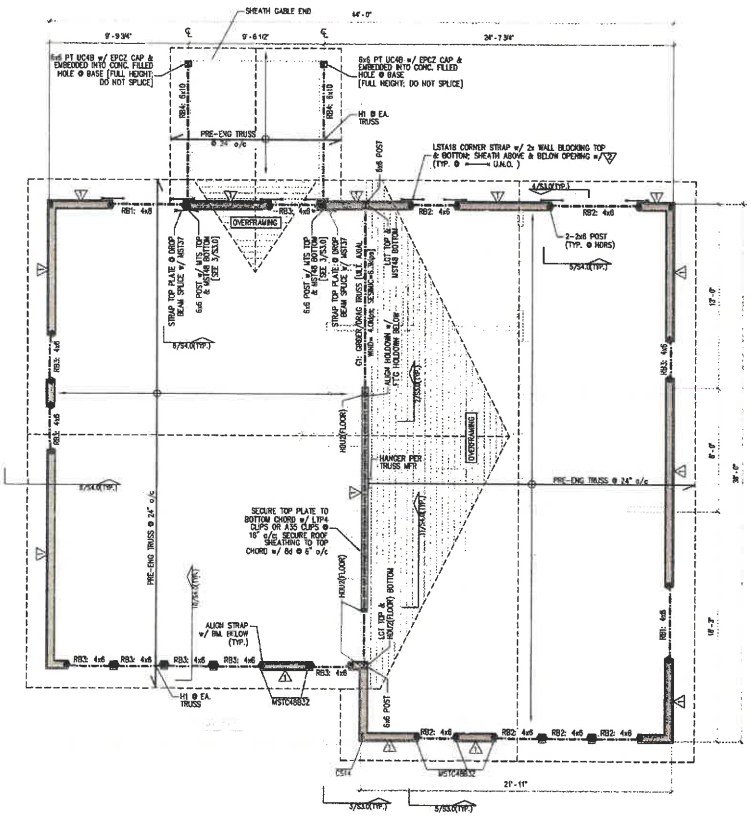
Drawn By: JJB  
 Checked By: CCC  
 Date: 02-28-2023

SDA JOB NO.  
 9738

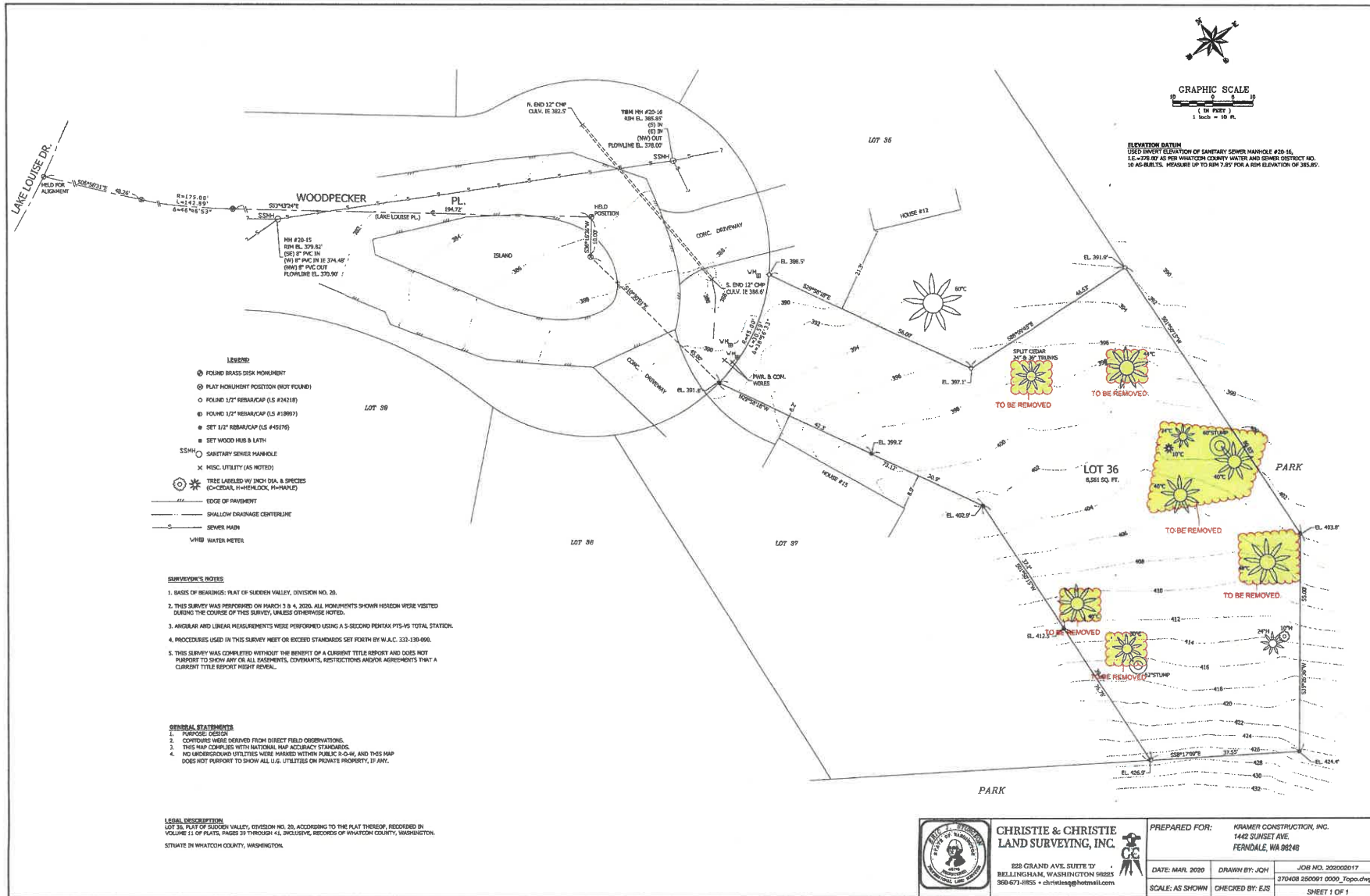
STRUCTURAL  
 PLANS

S-1.2

Item 7  
 Pg 14 of 17



1 SHEARWALLS SUPPORTING ROOF & ROOF FRAMING PLAN  
 SCALE 1/4"=1'-0"



- LEGEND**
- ⊙ FOUND BRASS DISK MONUMENT
  - ⊙ PLAT MONUMENT POSITION (NOT FOUND)
  - FOUND 1/2" REBAR/CAP (LS #14218)
  - FOUND 1/2" REBAR/CAP (LS #18997)
  - SET 1/2" REBAR/CAP (LS #45176)
  - SET WOOD HUB & LATH
  - SSM ○ SANITARY SEWER MANHOLE
  - × MISC. UTILITY (AS NOTED)
  - ⊙ TREE LABELED W/ INCH DIA. & SPECIES (C=CEDAR, H=HEMLOCK, M=MAPLE)
  - EDGE OF PAVEMENT
  - SHALLOW DRAINAGE CENTERLINE
  - SEWER MAIN
  - WATER METER

- SURVEYOR'S NOTES**
1. BASIS OF BEARINGS: PLAT OF SUDEN VALLEY, DIVISION NO. 20.
  2. THIS SURVEY WAS PERFORMED ON MARCH 3 & 4, 2020. ALL MONUMENTS SHOWN HEREON WERE VISITED DURING THE COURSE OF THIS SURVEY, UNLESS OTHERWISE NOTED.
  3. ANGULAR AND LINEAR MEASUREMENTS WERE PERFORMED USING A 5-SECOND PENTAX PT5-V5 TOTAL STATION.
  4. PROCEDURES USED IN THIS SURVEY MEET OR EXCEED STANDARDS SET FORTH BY W.A.C. 333-130-090.
  5. THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND DOES NOT PURPORT TO SHOW ANY OF ALL EASEMENTS, COVENANTS, RESTRICTIONS AND/OR AGREEMENTS THAT A CURRENT TITLE REPORT MIGHT REVEAL.

- GENERAL STATEMENTS**
1. PURPOSE: DESIGN
  2. CONTOURS WERE DERIVED FROM DIRECT FIELD OBSERVATIONS.
  3. THIS MAP CONFORMS WITH NATIONAL MAP ACCURACY STANDARDS.
  4. NO UNDERGROUND UTILITIES WERE PASSED WITHIN PUBLIC R.O.W. AND THIS MAP DOES NOT PURPORT TO SHOW ALL U.G. UTILITIES ON PRIVATE PROPERTY, IF ANY.

**LEGAL DESCRIPTION**  
 LOT 36, PLAT OF SUDEN VALLEY, DIVISION NO. 20, ACCORDING TO THE PLAT THEREOF, RECORDED IN VOLUME 11 OF PLATS, PAGES 25 THROUGH 44, INCLUDING RECORD OF WHATCOM COUNTY, WASHINGTON, SITUATE IN WHATCOM COUNTY, WASHINGTON.

**ELEVATION DATUM**  
 USED INVERT ELEVATION OF SANITARY SEWER MANHOLE #20-16, 15'-0" RISE AS PER WHATCOM COUNTY WATER AND SEWER DISTRICT NO. 10 AS RESULTS. MEASURE UP TO RIM 7.95' FOR A RIM ELEVATION OF 385.85'.

14 WOODPECKER  
 Bellingham, WA  
 370408 250091

NO.	Revision Description
-----	----------------------

Item 7  
 Pg 15 of 17

Issued For:  
**DESIGN**  
 Date: 10-16-2022  
 Project: 3BR / 2,5BA 2526  
 Scale:  
 DRW: Author

Drawing Name:  
**SURVEY /  
 TREE  
 REMOVAL**

Drawing Number:

**A1.1**

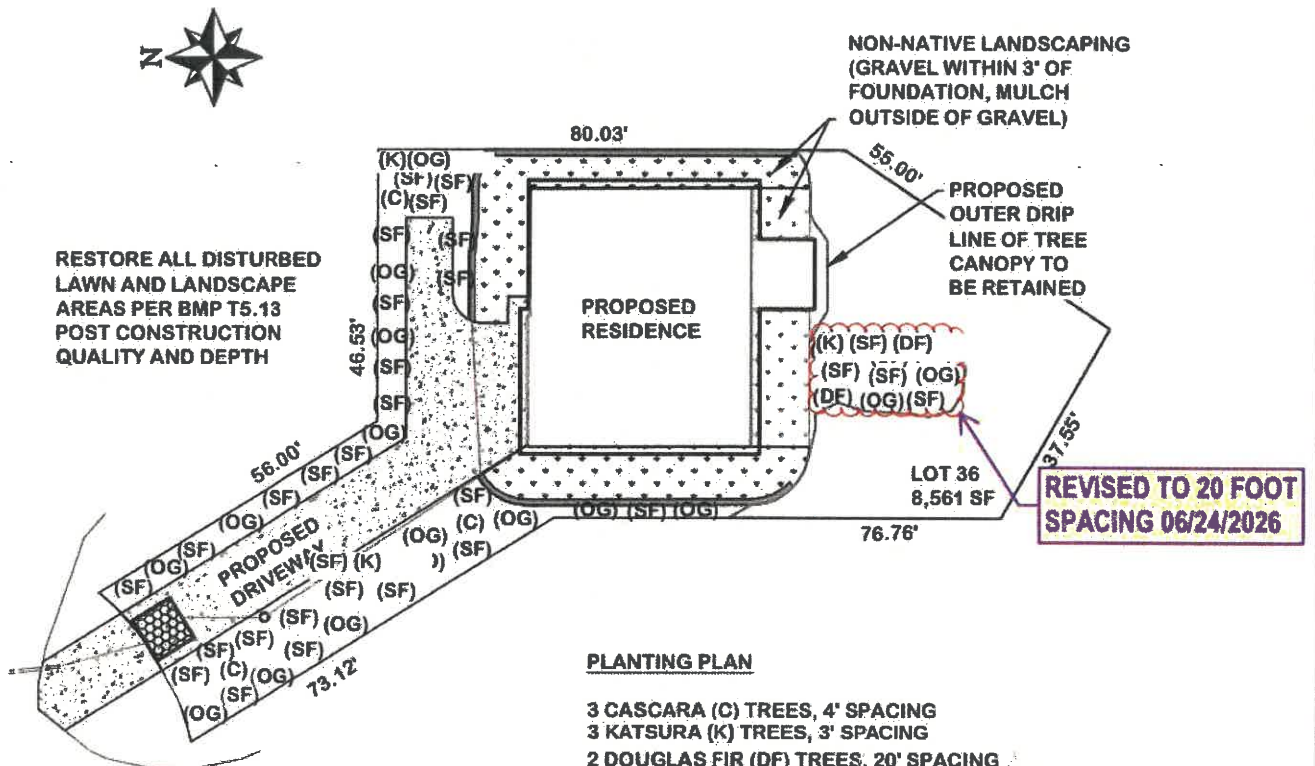
Ryan Peterson  
 1610 J ST #203, Bellingham, WA 98225  
 TEL.: 360.319.6477  
 E-MAIL: ryanwilliams@gmail.com

Contractor shall verify all elevations, contours, etc. pertained to the work under construction. The client is responsible for any variance to the design and any work done on the site. The client is responsible for any variance to the design and any work done on the site. The client is responsible for any variance to the design and any work done on the site.

	<b>CHRISTIE &amp; CHRISTIE          LAND SURVEYING, INC.</b> 820 GRAND AVE. SUITE 17 BELLINGHAM, WASHINGTON 98225 360-671-8855 • christie@hotm.com	PREPARED FOR: <b>KRAMER CONSTRUCTION, INC.</b> 1402 SUNSET AVE. FERNDALE, WA 98248
	DATE: MAR. 2020 SCALE: AS SHOWN	DRAWN BY: JQH CHECKED BY: EJS

# LANDSCAPE AND NATIVE VEGETATION PLAN

PROPOSED SINGLE-FAMILY RESIDENCE  
14 WOODPECKER PLACE (PARCEL 370408 250091)  
SUDDEN VALLEY, WASHINGTON



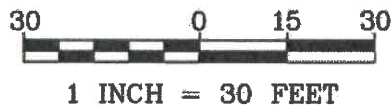
## PLANTING PLAN

- 3 CASCARA (C) TREES, 4' SPACING
- 3 KATSURA (K) TREES, 3' SPACING
- 2 DOUGLAS FIR (DF) TREES, 20' SPACING
- 30 SWORD FERNS (SF), 2' SPACING
- 15 OREGON GRAPE (OG), 3' SPACING

TOTAL PLANTING AREA = 2,176 SF

PLANT NUMBERS WERE ESTIMATED BASED ON THE LAKE WHATCOM NATIVE LANDSCAPING PLANTING WORKSHEET

ALL PLANT NUMBERS, LOCATIONS AND SPACING ARE APPROXIMATE AND SHOULD BE FIELD FIT TO MEET THE NATIVE LANDSCAPE REQUIREMENTS

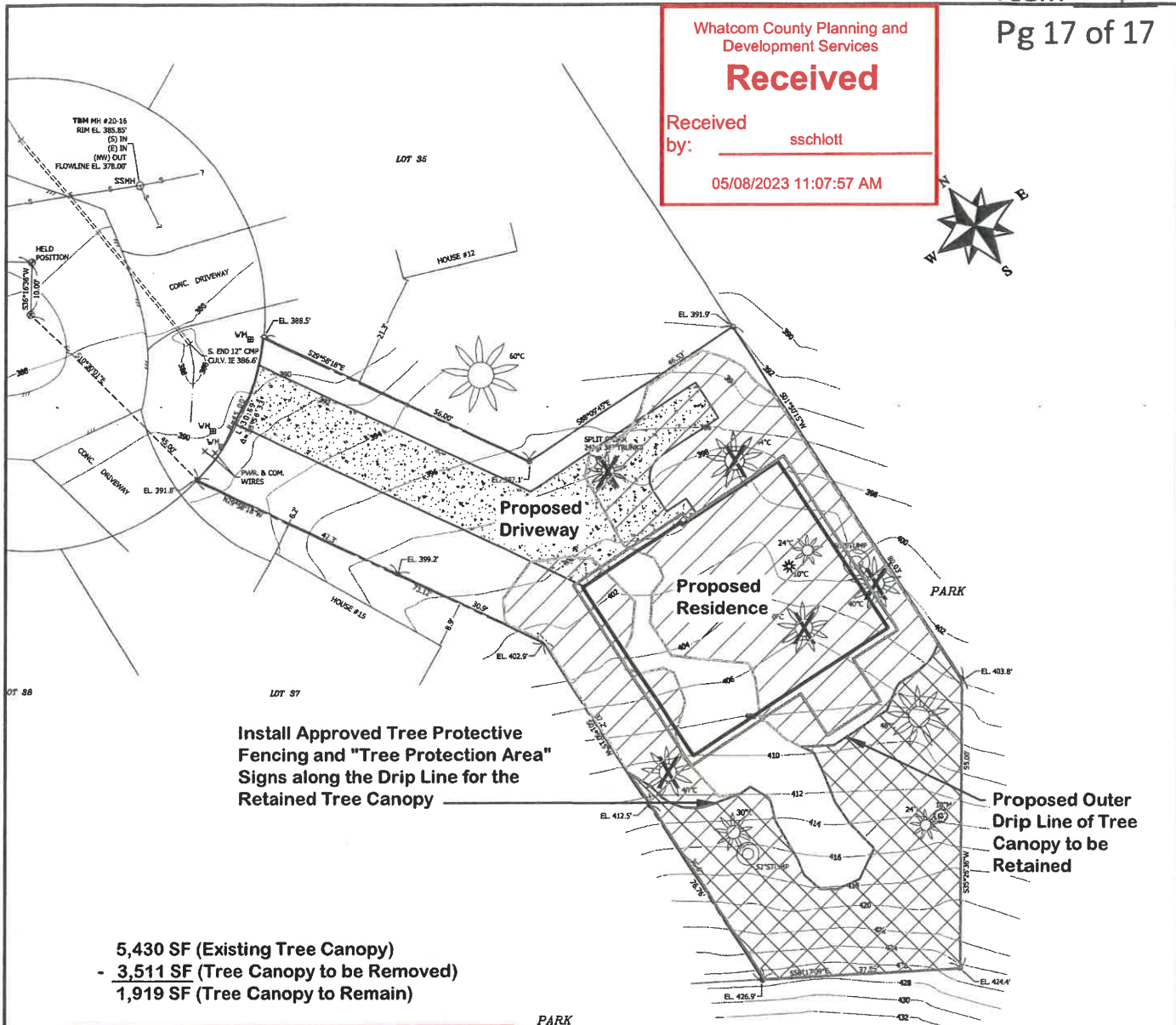
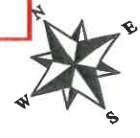


**Stormwater Management Plan  
Approved**  
PDS - Stormwater *[Signature]* 05/30/2023

**REVISED 06/23/2026**

ALL PROPOSED TREES SHALL BE INSTALLED AT A MINIMUM SIZE OF 5'-0" HEIGHT AT TIME OF PLANTING, UNLESS OTHERWISE REQUIRED BY THE ACC. SHRUBS AND UNDERSTORY PLANTINGS SHALL BE INSTALLED AT A MINIMUM 1-GALLON SIZE. PLANT LOCATIONS SHALL BE FIELD FIT AS REQUIRED TO MEET NATIVE LANDSCAPE REQUIREMENTS AND SITE CONDITIONS.

Whatcom County Planning and Development Services  
**Received**  
Received by: sschlott  
05/08/2023 11:07:57 AM

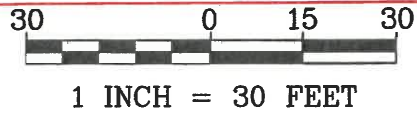




Install Approved Tree Protective Fencing and "Tree Protection Area" Signs along the Drip Line for the Retained Tree Canopy

Proposed Outer Drip Line of Tree Canopy to be Retained


5,430 SF (Existing Tree Canopy)  
- 3,511 SF (Tree Canopy to be Removed)  
1,919 SF (Tree Canopy to Remain)

**Stormwater Management Plan Approved**  
PDS - Stormwater *WPK* 05/30/2023



-  = Existing Tree Canopy (~5,430 SF) Estimated from 2022 Aerial Imagery
-  = Proposed Tree Canopy (~1,919 SF)
- X** = Tree to be Removed

Reference: Survey by Christie & Christie Land Surveying, Inc. Proposed improvements per the site plan by Ryan Peterson.

 <b>SOUND GEOLOGY</b> 360.306.6171 www.soundgeology.com	Date 5-4-2023	<b>Tree Canopy Retention Plan</b> Proposed Single-Family Residence 14 Woodpecker Place (Parcel 370408 250091) Sudden Valley, Washington	FIGURE  <b>1 of 1</b>
	File No. 22017		
	Drawn By DEJ		
	Scale 1" = 30'		

Rec'd 06/08/2026

# Sudden Valley Community Association Variance Request

Item 8  
Pg 1 of 1  
G2

Street Address: 14 WOODPECKER PL, BELLINGHAM WA 98229 Div 20 Lot 36  
Owner: M3S SERVICES LLC (SUMIT TANDON)  
Mailing Address: \_\_\_\_\_  
Phone: 500 GROVER ST. LYNDEN, WA 98264 Email: [REDACTED]

Requests will not be considered unless the street address is clearly displayed on the residence.  
Please note that in the week(s) following request submittal, ACC members may visit and review property.

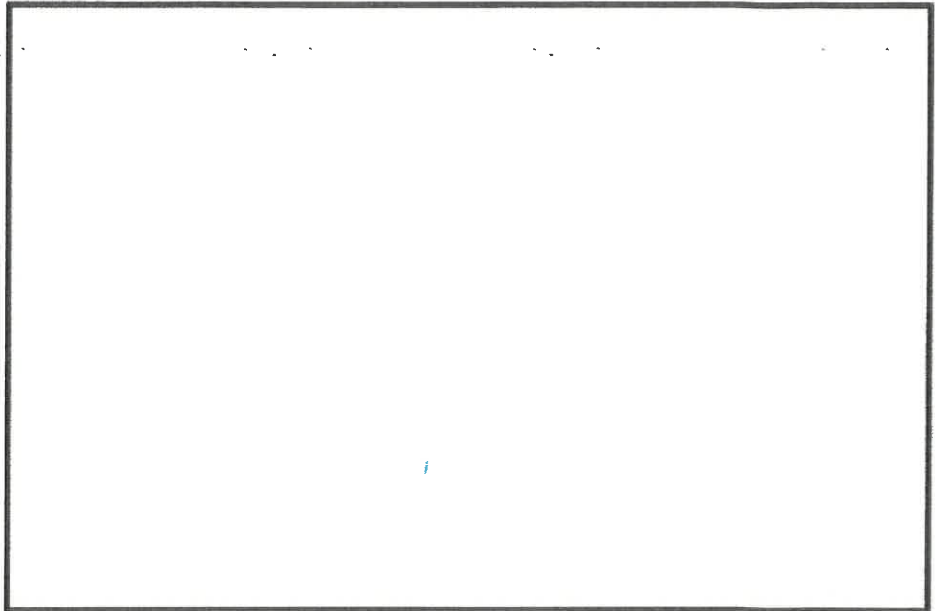
**Requested for:**

- New construction
- Existing home
- Other

**The variance would affect:**

- Exterior appearance
- Drainage/Erosion control
- Open space & Lot coverage
- Tree/Vegetation removal
- Setbacks to property line
- Interior living space
- Structure height

Please refer to ACC  
Guideline 14.8.12 for  
more information.



Give a full description of the request and need for the variance: I request for a variance as this is an old plan, approved in May, 2023. The plan approved by whatcom county was based on the specifications/code in 2023. Therefore, I humbly request to grant us approval with the variance.  
Your help and support will be highly appreciated.

**This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.**

Owner Signature: Sumit Tandon (M3S SERVICES LLC) Date: 06/08/2026

AC Staff Comments: \_\_\_\_\_

RECEIVED

JUL 09 2026  
@ 9:41 AM

# Sudden Valley Community Association Exterior Alteration Request

Item 9  
Pg 1 of 1  
G2

Street Address: 9 Whispering Cedars Ct Div 39 Lot 5  
Owner: Matthew & Kim Spivak  
Mailing Address: 9 Whispering Cedars Ct, Bellingham, WA 98229  
Phone: [REDACTED] Email: [REDACTED]

Requests will not be considered unless the street address is clearly displayed on the residence.  
Please note that in the week(s) following request submittal, ACC members may visit and review property.

**Requested for:**  
 Existing home  
 New construction

**The change would affect:**



SW 9557  
Autonomous  
SW 7005  
Pure White

Give a full description of the request and attach any additional information if needed:

Repainting exterior - requested new color chips and photo of old house color attached

Main color - Sherwin Williams 9557 "Autonomous" - (grey)

Trim color - Sherwin Williams SW7005 "Pure White". Note that this is one of the pre-approved trim colors

Previous color - beige with brown trim. Digital photo submitted electronically to SVCA with a scan of this request

To take advantage of an unexpectedly available slot with our painter, an expedited response is requested.

***This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.***

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: [Signature] Kim S.L. Spivak Date: 7/8/26

Rec'd 07/07/2026  
10:07 AM

# Sudden Valley Community Association Construction Change Request

Item 10  
Pg 1 of 2  
G3

Street Address: 14 deer run ln Div 16 Lot 116  
Owner: sv tiny home llc - vitali  
Mailing Address: 932 northshore dr bellingham wa 98226  
Phone: ~~5092291086~~ Email: ~~1111240@svca.com~~

Requests will not be considered unless the street address is clearly displayed on the residence.  
Please note that in the week(s) following request, the applicant will be required to view property.

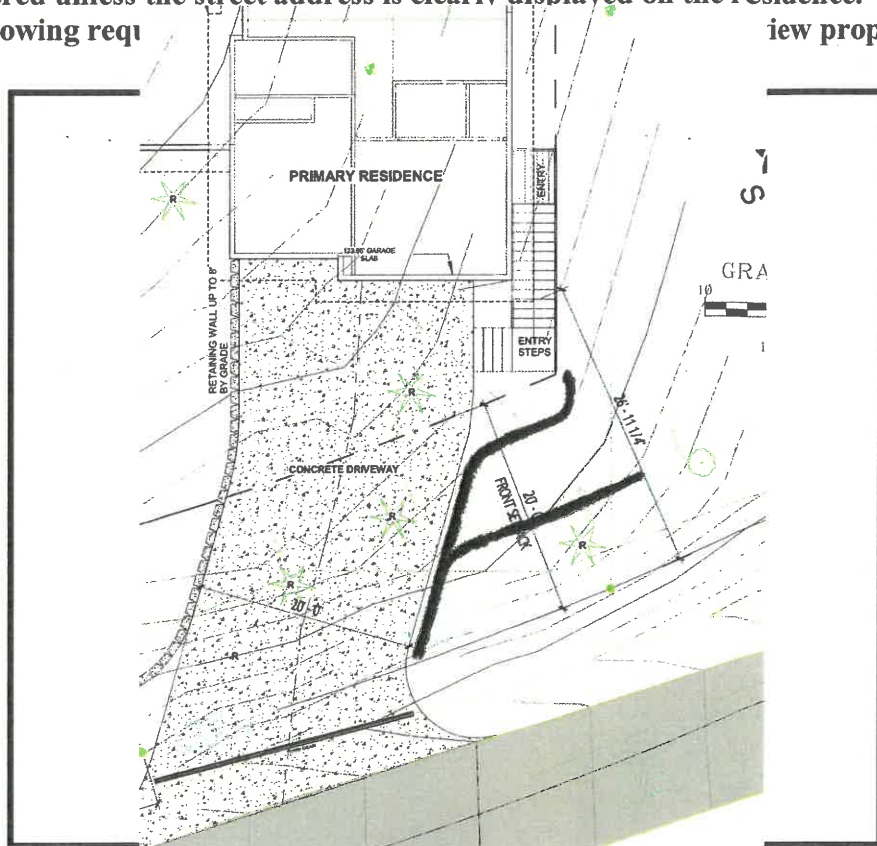
**Requested for:**

- Existing home
- New construction

**The change would affect:**

- Exterior appearance
- Drainage/Erosion control
- Open space & Lot coverage
- Setbacks to property line
- Structure height

Please refer to ACC Guidelines 14.2 and 14.11 and for more information.

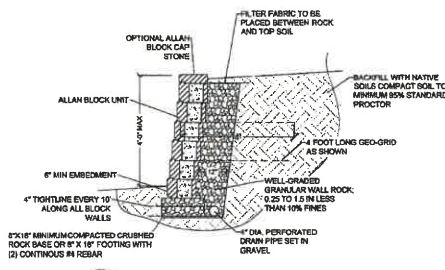


Give a full description of the request and attach any additional information if needed.  
need to build a retaining wall in front of the house on the right side apprx. 6' away from and pallel with the front property line  
4' - 6' tall , no more than 6'  
grey allen block to match other retaining wals

***This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.***

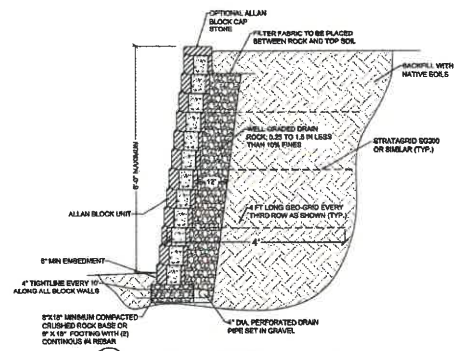
Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature:  Date: 7/6/26



**Y 4'-0" ALLEN BLOCK WALL**  
SCALE: 1/2" = 1'-0"

**TIERED WALL OPTION**  
SCALE: 1/2" = 1'-0"  
OKAY TO TIER RETAINING WALL AS SHOWN. MAINTAIN 1' DISTANCE BETWEEN WALLS. FOR EXAMPLE, 4' TALL WALLS REQUIRE 4' SPACING.



**Z 8'-0" ALLEN BLOCK WALL**  
SCALE: 1/2" = 1'-0"



Item 10  
Pg 2 of 2



**Customer:**  
BAMBI LLC  
**Phone:**  
(360) 201-3698  
**Email:**  
vitalia24@gmail.com

**Designed by:**  
CTM DESIGNS  
**Email:**  
mark.ctmdesign@gmail.com

**Date:**  
12/3/25

**SITEPLAN STRUCTURAL DETAILS**

1/2" = 1'-0"

**Deer Run Residence**  
Project Address:  
14 Deer Run, Bellingham WA 98229  
Tax Parcel: 3704064481670000  
LOT 116, DIV 16

**A102**  
SITEPLAN  
STRUCTURAL  
DETAILS

Rec'd 07/09/2026  
11:29 AM

# Sudden Valley Community Association Fence Request


Item 11  
Pg 1 of 4  
G3

Street Address: 29 Maple Ct Div 22 Lot 188  
Owner: Katrina Munsterman  
Mailing Address: 29 Maple Ct Bellingham WA 98229  
Phone: [REDACTED] Email: [REDACTED]

**Requests will not be considered unless the street address is clearly displayed on the residence.  
Please note that in the week(s) following request submittal, ACC members may visit and review property.**

**Intended use:**  Privacy  Protection  Pet Enclosure  
**Fence type:**  Split Rail  Wood and Wire  Vegetative Hedge  Other

**On the diagram below, please indicate the road, property line, house, fence outline with dimensions, and any proposed vegetative screening (may attach larger sketch if needed).**



This is my third submission to add a fence on my property for my dogs. On May 7 I was denied my original fence idea that covered the entire top terrace of my property. On May 21, I was approved by ACC to add simple gates to create a small dog run at the back retaining wall. Over time, I realized that having a fenced space for my dogs is critical. I have downscaled my fence proposal, making more of the fenced space on the side yard as opposed to the front (more out of sight from the road). Building this fence is essential for 3 main reasons:

1. I would like to spend time outdoors with my dogs in a safe, enclosed space (which is limited here in SV).
2. My neighbors behind me have a dog (with no fence) that often comes down to my property. There have not be any issues yet but I would like to keep my dogs safe and secure in case of an interaction.
3. I just adopted a second dog (< 1 year old) that needs a larger safe, fenced space for training.

LARGER IMAGES ATTACHED

**Corners of the proposed fence MUST be staked prior to submittal.  
Please refer to ACC Guideline 14.6.8 for more information.**

Give a full description, additional considerations, and attach additional information if needed:

5' ft tall wood and wire fence (approx 100') surrounding left side yard of house and part of top terrace  
2 5' wide gates - 1 across the concrete path at front of house, 1 on back right side of house.

Fence constructed of 4x4" hog wire panel fence with cedar trim and 4x4" posts

*This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.*

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: Katrina Munsterman Date: 7/9/2026

AC Staff Comments: \_\_\_\_\_



**MAPLE CT ROAD**

**Approx. Property Line in Red**  
**Retaining Wall in Blue**

**Proposed Fence in Pink**

**Two GATES IN WHITE**





Rec'd 06/28/2026  
12:38 PM

### Sudden Valley Community Association Extension and Re-Approval Request

Street Address: 20 Tumbling Water Dr Div \_\_\_\_\_ Lot 77, 78  
Owner: Stephen DeLoak, Cheryl Wallace  
Mailing Address: 212 16th St SW Lynnwood WA 98087  
Phone: ~~425-771-1111, 425-771-1111~~ Email: ~~stephen@delovak.com, cheryl@delovak.com~~

Requests will not be considered unless the street address is clearly displayed on the residence.  
Please note that in the week(s) following request submittal, ACC members may visit and review property.

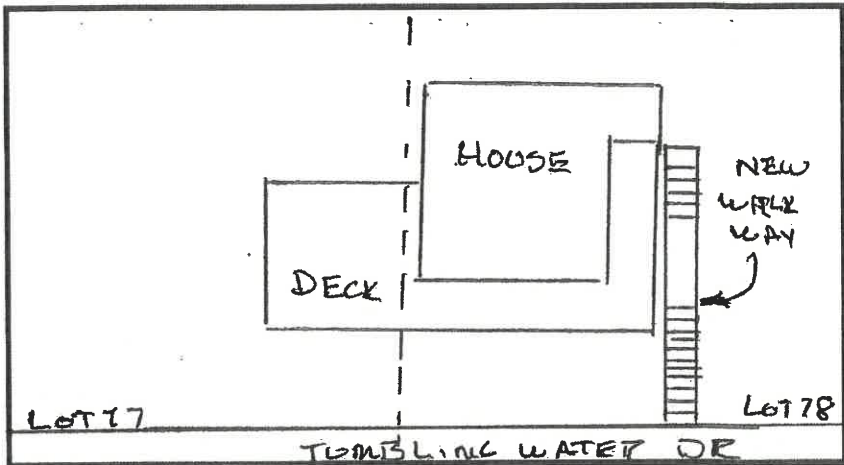
**Requested for:**

- Extension
- Re-approval

**The change would affect:**

- Start date
- Completion date

Please refer to ACC Guideline  
14.8 for more information.



Give a full description of the request, a detailed timeline, and attach any additional information if needed: INSTALL NEW WALKWAY FROM STREET TO FRONT DOOR.  
INITIAL FRA REQUEST WAS APPROVED DURING 10/15/20 ACC  
MEETING. ALSO REQUEST TO REMOVE 3 TREES TO INSTALL  
WALKWAY WAS APPROVED 10/15/20 ACC MEETING. COVID  
PREVENTED INSTALLATION OF WALKWAY.

*This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.*

Owner Signature: Cheryl S. Wallace Date: 4/28/26

AC Staff Comments: \_\_\_\_\_



October 20, 2020

Stephen DeCock and Cheryl Wallace  
20 Tumbling Water Drive  
Bellingham, WA 98229

**RE: Exterior Alteration Request at 20 Tumbling Water Drive (24/77-78):**

Dear Stephen and Cheryl:

I am writing on behalf of the Sudden Valley Architectural Control Committee regarding your application for an **Exterior Alteration Request**. The committee reviewed your submittal and voted to:

- **Approve new walkway. ACC recommends a broom finish or exposed aggregate for concrete finish.**
- **Defer paint until homeowner submits paint chips or selects colors from preapproved paint list.**
- **Any partial or complete road blockage requires notification to SVCA security and local fire department at least 3 working days in advance.**
  - SVCA Security 360.319.8200
  - Fire Department 360.676.8080

Approved projects must be completed within **six months** of the date of this letter. Failure to complete projects by that date will require re-submittal to the ACC. Completed projects shall be revisited and reviewed by an ACC member to note the final project status and adherence to approved plan and specifications.

If you have any questions, please contact the SVCA office at 360.746.8431.

Sincerely,

*for* Joe Acla  
General Manager  
Sudden Valley Community Association

cc: RBB



October 20, 2020

Stephen DeCock and Cheryl Wallace  
20 Tumbling Water Drive  
Bellingham, WA 98229

**RE: Tree Request for 20 Tumbling Water Place (24/78):**

Dear Stephen and Cheryl:

I am writing on behalf of the Sudden Valley Architectural Control Committee regarding your application for **Tree Removal/Limbing**. The committee reviewed your submittal and voted to:

- **Approve as submitted.**
- **Any partial or complete road blockage requires notification to SVCA security and local fire department at least 3 working days in advance.**
  - **SVCA Security 360.319.8200**
  - **Fire Department 360.676.8080**

Work may take place any time within 180 days of the date on this letter.

Please come to the Administration Office to pick up your permit 48 hours prior to starting tree removal/limbing. When you come to pick up your permit, please present the name of your tree service as well. You will have 14 days to complete tree/limb removal and debris cleanup from the date the permit was issued.

If you have any questions, please contact the SVCA office at 360.734.6430.

Sincerely,

*for*  
Joe Acla  
General Manager  
Sudden Valley Community Association

cc: RBB



247 VAN WYCK RD.  
BELLINGHAM, WA 98226  
[PEAKTOVALLEYBUILDERS@GMAIL.COM](mailto:PEAKTOVALLEYBUILDERS@GMAIL.COM)  
360.594.2955

June 26, 2026

Bid to: Steve Decock

Location: 20 Tumbling Water Drive. Sudden Valley.

Bid: Prep grounds and build 2 staircases

Includes:

- Remove 3 trees including roots that are marked
- Remove old timber staircase along side of deck area
- Prep area with compacted crushed gravel (base course)
- 5 yards of gravel delivered and placed
- Install new precast stairs (8 steps total- Rise of 4 feet in upper section alongside deck.
- Prep area to parking area
- Install 16 steps with rise in elevation of 8 feet
- Gravel placed alongside edges at 8" thick to prevent settling and erosion
- 24 6" steps included

Notes:

- Flexible start dates from September 20th to October 20th.
- \$1500 deposit required to secure scheduling.

Sub Total:	\$6800.00
Tax(8.8%):	\$ 598.40
Total:	\$7398.40

Thank you,  
Adam and Brittney

Rec'd 07/08/2026  
10:21 AM

Item 13  
Pg 1 of 3

# Sudden Valley Community Association Tree/Vegetation Trimming and/or Removal Request G5

Street Address: 9 Sweet Clover Cir Div 25 Lot 122  
Owner: Nutter Rental Properties LLC  
Mailing Address: 1004 Commercial Ave., PMB 508, Anacortes, WA 98221  
Phone: ~~360-732-2121~~ Email: ~~bonita@rentalproperties.com~~

**All trees must be clearly flagged (no spray paint) before applying.**

Requests will *not be considered if flagging is missing* OR if street address isn't clearly displayed on residence.

**IMPORTANT NOTE:** Within an individual's clearly distinguished property boundaries, routine maintenance can be performed and is encouraged **without ACC permission**. This includes the pruning of **dead branches** and those branches that are **6" or less in diameter**. Removal of those branches may **not exceed 30%** of the foliage density of an individual specimen. Small trees, branches and vegetation **10" or less in diameter and within 10' of a residential structure** may be removed without ACC approval.

**\*\* Per Whatcom County Canopy Retention Regulation effective October 22, 2016 any significant tree being removed in Lake Whatcom Watershed requires county permit. Significant is defined as evergreen trees 12" in diameter or greater and deciduous 8" in diameter or greater. Any limbing 25% and under does not require a county permit. If a county permit is required for you proposed tree removal/ limbing request, please attach your approved county permit to this application. \*\***

1 Number of trees/shrubs  
1 # Removal      # Limbing

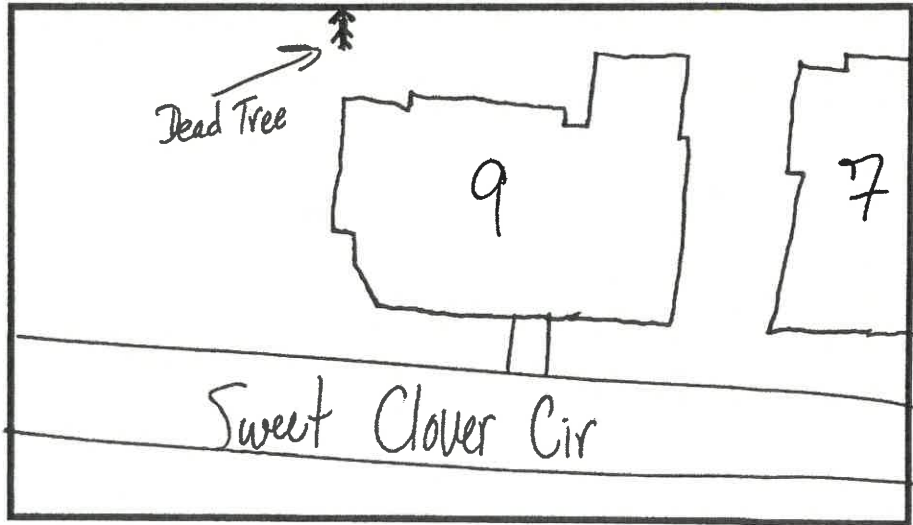
On the diagram below, please indicate the location of the road, property line, house, and each tree (numbered individually).

Type:  
 Fir     Cedar     Hemlock  
 Alder     Maple     Other

Check any that apply:  
 Property or personal danger  
 Dead/Diseased  
 Leaning  
 Roots exposed  
 On a slope  
 Creation/maintenance of view  
 Replanting trees/shrubs

Located on SVCA property

Located on neighbor's property - *For trees that are not on the applicant's property, written permission from the owner is required prior to submittal.*



Please refer to ACC Guideline 14.10 for more information. Please email to: [office@suddenvalley.com](mailto:office@suddenvalley.com)

Give a full description, the reason for the requested action and diameter on each tree, and attach any additional information if needed:

Tree has died and leaning towards house. Roughly 1.5' diameter. Professional arborist will be performing work.

*This request form in no way constitutes an approval from the ACC or Whatcom County. You MUST receive written approval and an SVCA permit before commencing any work.*

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: Bonita Nutter

Date: 6/2/2026

RentSigned by:  
Bonita Nutter



# WHATCOM COUNTY

---

## WASHINGTON

Planning & Development Services  
5280 Northwest Drive  
Bellingham, WA 98226  
[PDS@co.whatcom.wa.us](mailto:PDS@co.whatcom.wa.us)  
360-778-5900

### Tree Removal Permit Determination

Item 13

Applicant: Dane Larsen  
Date: July 7, 2026  
Location: Address: 9 Sweetclover Circle  
APN: 3704074551940000  
Case No: LCP2026-00046

Pg 2 of 3

---

Staff has reviewed the information you submitted with the Tree Removal Permit application and have determined that the proposed work is consistent with all applicable codes. The trees may be removed upon receipt of this determination.

For specific requirement questions, please contact the applicable NR staff person listed below by email or at (360) 778-5900.

**Please note:** This document and attachments may include appealable decisions pursuant to the applicable regulations. Please contact the reviewing staff person for additional information and associated time limitations.

**Wetlands & HCA (WCC 16.16)** – Nathan Goldschmidt - [NGoldsch@co.whatcom.wa.us](mailto:NGoldsch@co.whatcom.wa.us)  
Determination

- Tree removal is approved for compliance with WCC 16.16 Articles 6 & 7 (wetlands and habitat conservation areas).

**PDS Stormwater (Title 20)** – Belinda Burk - [BBurk@co.whatcom.wa.us](mailto:BBurk@co.whatcom.wa.us)  
Determination

- Approval is granted but replanting of three (3) native tree species is required within 90 days of removal.

Staff Analysis

- Proposal to remove one (1) significant Douglas Fir tree in the Lake Whatcom watershed. No tree assessment or supporting documentation for hazard tree claim was submitted.
- **Prior development approval (SFR2018-00177) required the tree in question to be retained as part of an engineered stormwater design and canopy retention requirements.**

Conditions of Approval

1. Photo documentation of installed trees is required and can be submitted to the email address associated with this determination.
2. No stump removal is permitted.
3. No dirt work or land clearing activity exceeding 5000 sq. ft. is allowed after September 30<sup>th</sup>.

**Geohazards (WCC 16.16) - Andrew Wiser - AWiser@co.whatcom.wa.us**

Determination

- The project is approved as proposed in consideration of Article 3 of the Whatcom County Critical Areas Ordinance subject the conditions listed below requirements.

Staff Analysis

- While the steep slope located below the subject residence meet the definition of a regulated potential landslide hazard area in accordance with WCC 16.16.310(C.1.a.ii), the proposed tree removal will not result in any land disturbance and stumps will remain in place. No geomorphic evidence of past or present slope failure was noted during image interpretation of a lidar-derived hillshade of the subject property and surrounding area.

Conditions of Approval

1. Removed trees shall be replaced with similar, deep-rooted vegetation at a 3:1 replacement ratio.
2. Replacement shall be required for all failed trees for 5 years following installation.
3. Any replaced trees shall be maintained for a period of 5 years until established.

Rec'd 07/09/2026  
9:49 AM

# Sudden Valley Community Association Exterior Alteration Request

Item 14  
Pg 1 of 2  
G5

Street Address: 4 Loganberry Lane Div 30 Lot 62  
Owner: Michael Titus  
Mailing Address: 4 Loganberry Lane, Bellingham, WA 98229  
Phone: ~~360-889-7009~~ Email: ~~mt@nititus.com~~

**Requests will not be considered unless the street address is clearly displayed on the residence.  
Please note that in the week(s) following request submittal, ACC members may visit and review property.**

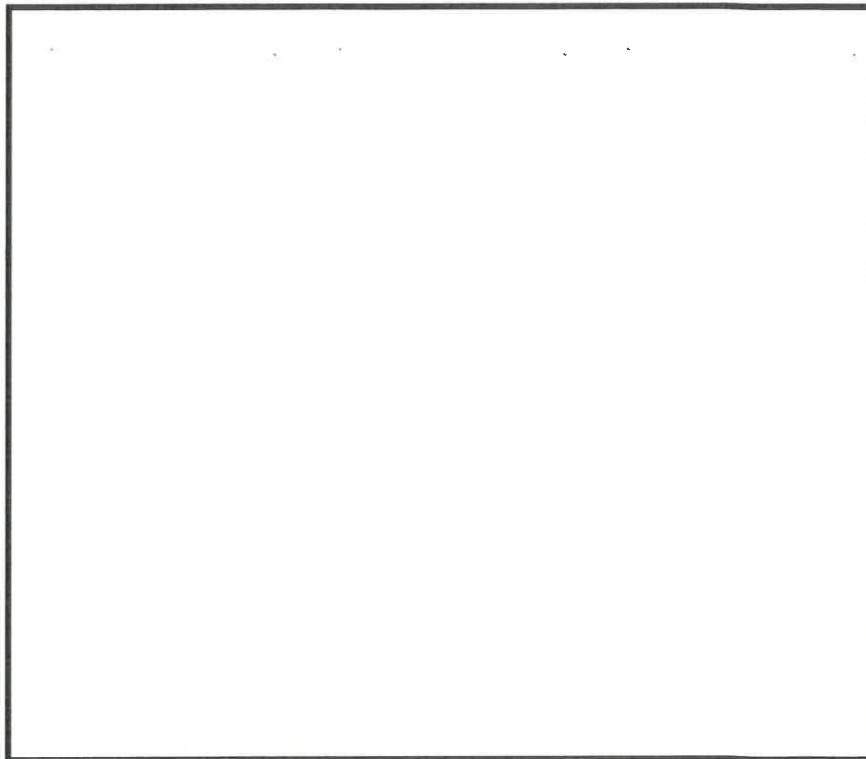
**Requested for:**

- Existing home
- New construction

**The change would affect:**

- Exterior appearance
- Drainage/Erosion control
- Open space & Lot coverage
- Setbacks to property line
- Structure height

**Please refer to ACC Guidelines  
14.2 and 14.11 and for more  
information.**



Give a full description of the request and attach any additional information if needed:

Please see attached page

*This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.*

**Submission of this form provides notice for the ACC to visit the property during reasonable hours.**

Owner Signature: Michael Titus Date: 07/09/2026

Request to replace my 20-year-old propane furnace with a modern heat-pump. The heat-pump air-handler will be placed in the garage where the furnace is currently located and will use the house's existing ducting. The heat-pump outdoor unit could be placed at the front of the house beneath the front porch (and concealed by cedar lattice), or it could be placed on the west side of the house alongside the garage. Either of these locations would allow for short-runs of the line set and electrical wiring. Alternately, the outdoor unit could be placed behind the house, but this would require a much longer and more expensive run of line set and wiring. The new homes on either side of my house have heat-pump units.

Rec'd 07/09/2026  
9:49 AM

# Sudden Valley Community Association Exterior Alteration Request

Item 15  
Pg 1 of 1  
G5

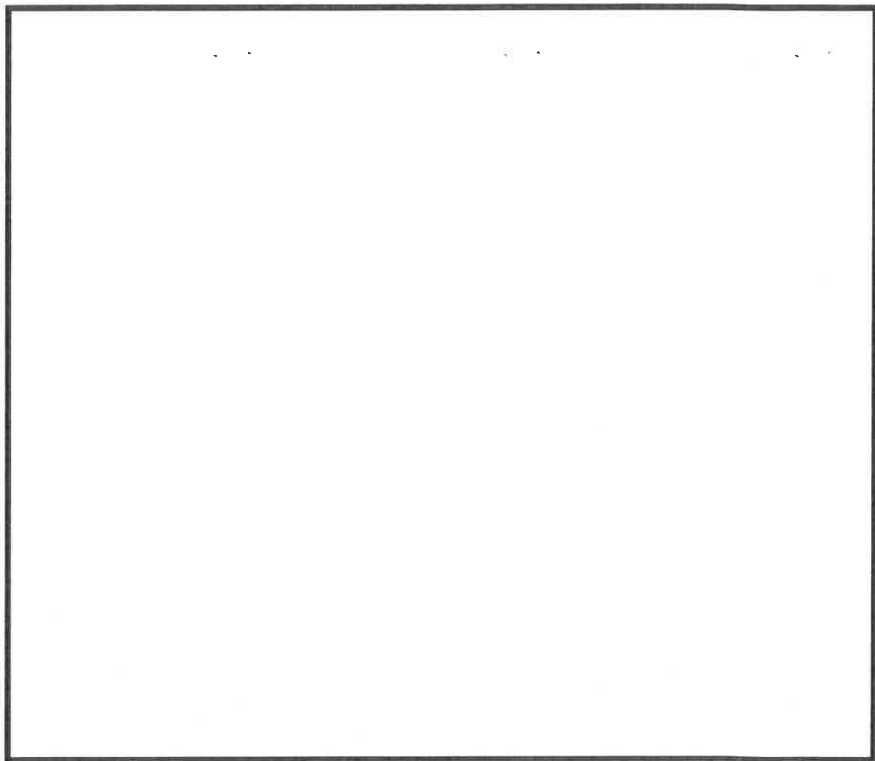
Street Address: 4 Loganberry Lane Div 30 Lot 62  
Owner: Michael Titus  
Mailing Address: 4 Loganberry Lane, Bellingham, WA 98229  
Phone: ~~360-389-7079~~ Email: ~~mike@miketitus.com~~

**Requests will not be considered unless the street address is clearly displayed on the residence.  
Please note that in the week(s) following request submittal, ACC members may visit and review property.**

**Requested for:**  
 Existing home  
 New construction

**The change would affect:**  
 Exterior appearance  
 Drainage/Erosion control  
 Open space & Lot coverage  
 Setbacks to property line  
 Structure height

**Please refer to ACC Guidelines  
14.2 and 14.11 and for more  
information.**



Give a full description of the request and attach any additional information if needed:  
Request to attach an iron planter hanger to each of the two large cedar posts on my front porch  
/ deck. These hangers will support hanging flower baskets that are 14" in diameter.  
These hangers will be mounted on the front of the cedar posts, facing the street.

***This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.***

**Submission of this form provides notice for the ACC to visit the property during reasonable hours.**

**Owner Signature:** Michael Titus Date: 07/09/2026

RECEIVED

JUN 25 2026

@ 1:49 PM

# Sudden Valley Community Association Exterior Alteration Request

Item 16  
Pg 1 of 3  
G9

Street Address: 11 Little Strawberry Lane Div 03 Lot 050  
Owner: Rhiana Broedlove and Jessica Taranenko  
Mailing Address: 11 Little Strawberry Lane, Bellingham, WA 98229  
Phone: (360) 738-1234 Email: jessicataranenko@gmail.com

Requests will not be considered unless the street address is clearly displayed on the residence. Please note that in the week(s) following request submittal, ACC members may visit and review property.

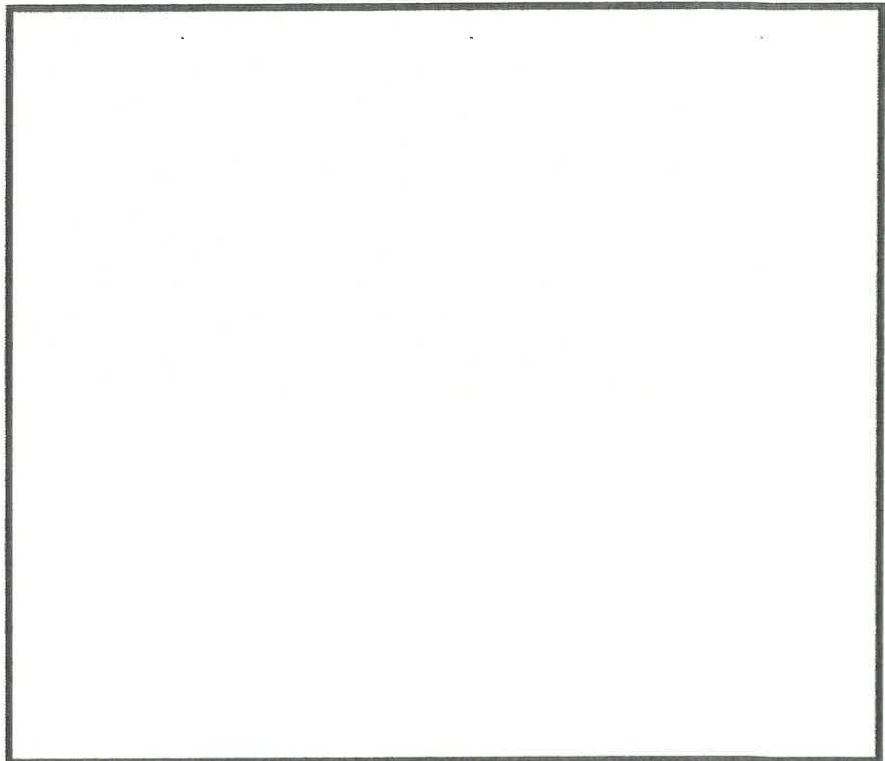
**Requested for:**

- Existing home
- New construction

**The change would affect:**

- Exterior appearance
- Drainage/Erosion control
- Open space & Lot coverage
- Setbacks to property line
- Structure height

Please refer to ACC Guidelines 14.2 and 14.11 and for more information.



Give a full description of the request and attach any additional information if needed:


*I would like to replace rotten/damaged boards, sand, and restain my front deck a different color than it is currently. I would like to stain my front deck a semi-transparent.*

**This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.**

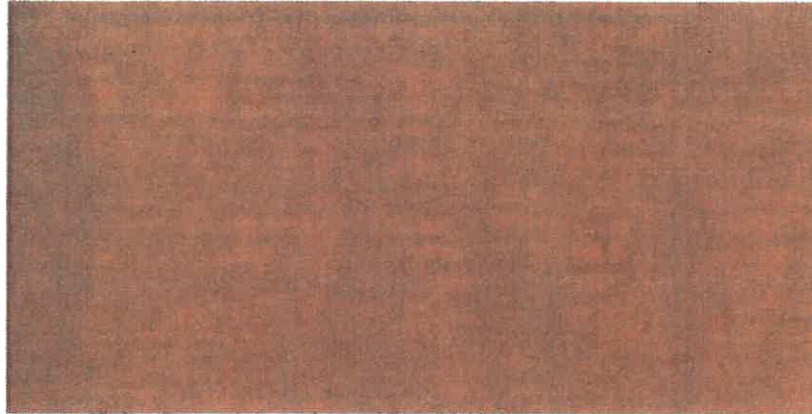
Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: [Signature] Date: 06/23/26

**SHERWIN-WILLIAMS**

☰  🔍  0 - \$0.00

Colors — Redwood (Superdeck)



[Find Available Deck Stains](#)

[Find Available Siding Stains](#)

Your Sherwin-Williams 

Click the link below and get directions to your closest Sherwin-Williams store.

[Get Directions](#)

Feedback

## SW 3563 Redwood (Superdeck)

Exterior Semi-Transparent Stain

[View all Exterior stain colors](#)

[Add to Project List](#) 

[Save to My Account](#) 



REC'D  
JUL 02 2026

# Sudden Valley Community Association Exterior Alteration Request

Item 17  
Pg 1 of 2  
G9

Street Address: 52 Morning Glory Dr. Div 11 Lot 116  
Owner: Dana and Eric Fenner  
Mailing Address: 50 Morning Glory Dr.  
Phone: (360) 879-1522 Email: ~~eric.fenner@suddenvalley.com~~

Requests will not be considered unless the street address is clearly displayed on the residence.  
Please note that in the week(s) following request submittal, ACC members may visit and review property.

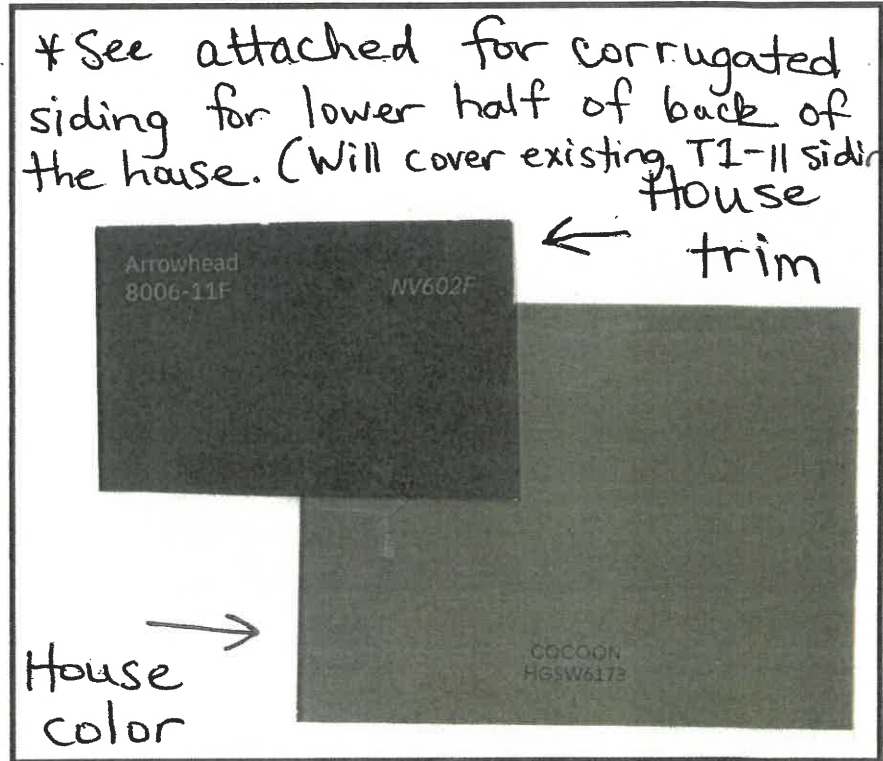
**Requested for:**

- Existing home
- New construction

**The change would affect:**

- Exterior appearance
- Drainage/Erosion control
- Open space & Lot coverage
- Setbacks to property line
- Structure height

Please refer to ACC Guidelines 14.2 and 14.11 and for more information.



Give a full description of the request and attach any additional information if needed:

We are requesting to paint the house and add corrugated siding over top the T1-11 that is currently on the lower sides and lower back of the house.

*This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.*

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: Dana Fenner Date: 7-2-26

# COLOR CHART



Not all colors and profiles are available at all locations. Please see back of color card for details.

## STANDARD COLORS

We recommend you request a physical sample to review before ordering. We are not responsible for color variations.



**ZINCALUME® Plus\***  
SRI: 64 • LRV: 67



**WINTER WHITE**  
SRI: 88 • LRV: 74



**SURF WHITE**  
SRI: 74 • LRV: 59



**LIGHT STONE**  
SRI: 70 • LRV: 53



**DESERT BEIGE**  
SRI: 58 • LRV: 39



**CASCADIA GRAY**  
SRI: 58 • LRV: 41



**TAUPE**  
SRI: 53 • LRV: 28



**PATINA STEEL**  
SRI: 38 • LRV: 17



**CHESTNUT BROWN**  
SRI: 36 • LRV: 12



**CLASSIC BROWN**  
SRI: 29 • LRV: 7



**MATTE BLACK**  
SRI: N/A • LRV: 5



**CANYON RED**  
SRI: 45 • LRV: 16



**RUSTIC RED**  
SRI: 43 • LRV: 13



**OLD TOWN GRAY**  
SRI: 43 • LRV: 27



**OLD ZINC GRAY**  
SRI: 43 • LRV: 22



**WEATHERED COPPER**  
SRI: 32 • LRV: 11



**SLATE GRAY**  
SRI: 32 • LRV: 13



**TAHOE BLUE**  
SRI: 33 • LRV: 14



**EVERGLADE**  
SRI: 35 • LRV: 19



**DENALI GREEN**  
SRI: 29 • LRV: 11



**FOREST GREEN**  
SRI: 36 • LRV: 8



**COPPER PENNY<sup>1</sup>**  
SRI: 53 • LRV: 28

## PREMIUM COLOR



**NATURAL RUST<sup>1</sup>**  
SRI: 32 • LRV: 10  
(Subject to upcharge)



**IRONOX<sup>2</sup>**  
SRI: N/A • LRV: N/A

0 25 50 75 100

MEASURED ON A SCALE OF 0 - 100

**Light Reflective Value (LRV)**  
Measures how much visible light a color reflects and how much it absorbs. The higher the LRV, the more reflective it will be.

**Solar Reflective Index (SRI)**  
Measures the amount of heat reflected from painted metal roof. The higher the SRI value, the cooler the metal will be, helping cut down on energy costs to keep your home cool.

SRI values in accordance with ASTM E1980 and are based on independent testing. Cool Roof Rating Council (CRRC) performance values (for CA Title 24) are based on color families and will differ from above.

SRI=Solar Reflective Index. LRV=Light Reflectance Value. GA= Gauge of Steel. \*Clear acrylic coated.

<sup>1</sup>Please note, these colors are batch sensitive (may have color variation) and are directional in nature. Different batches are not to be mixed on projects.  
<sup>2</sup>IronOx is black steel (uncoated and unpainted), that rusts naturally. No warranty is offered or implied. Only available in 22 GA Nu-Wave® Corrugated.

**REPRESENTATION OF COLORS MAY VARY DUE TO PRINTING LIMITATIONS.**  
Sample color chips are available upon request. Consult your ASC Building Products representative for more information.

Item 17  
Pg 2 of 2

Rec'd 07/07/2026  
3:52 PM

# Sudden Valley Community Association Extension and Re-Approval Request

Item 18  
Pg 1 of 1  
G9

Street Address: 34 Morning Glory Dr Div 11 Lot 125  
Owner: Arrow Homes  
Mailing Address: PO Box 30678 Bellingham, WA 98228  
Phone: ~~509-961-2911~~ Email: ~~Romark2911@gmail.com~~

Requests will not be considered unless the street address is clearly displayed on the residence.  
Please note that in the week(s) following request submittal, ACC members may visit and review property.

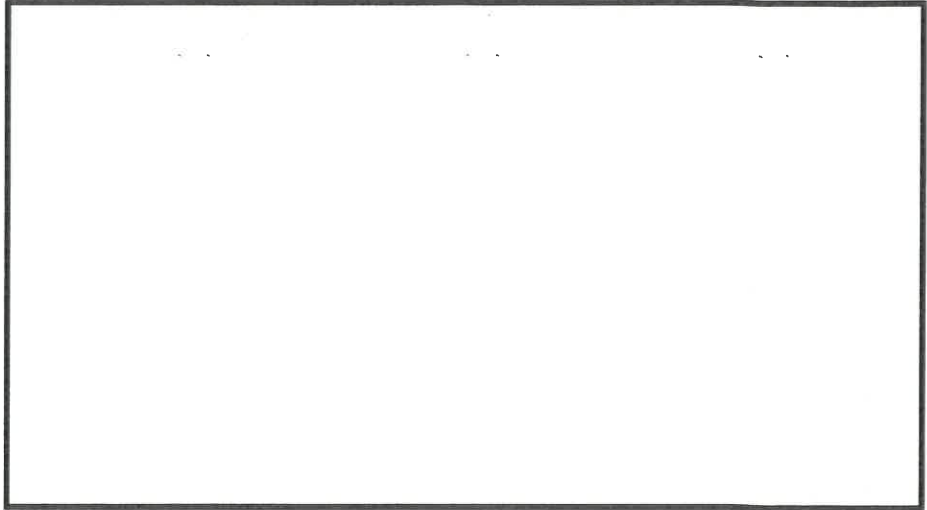
**Requested for:**

- Extension
- Re-approval

**The change would affect:**

- Start date
- Completion date

Please refer to ACC Guideline  
14.8 for more information.



Give a full description of the request, a detailed timeline, and attach any additional information if

needed: We are requesting an extension on this project. We are needing  
1-2 months to finish and go for the SV Final and WC Building  
Final.

*This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.*

Owner Signature: Sergey Savchuk Date: 07/07/2026

AC Staff Comments: \_\_\_\_\_

Rec'd 07/07/2026  
11:08 AM

## Sudden Valley Community Association Exterior Alteration Request

Item 19  
Pg 1 of 1  
G9

Street Address: 5 RAVENWOOD CT Div 11 Lot 146  
Owner: MATTHEW FLANDERS  
Mailing Address: 11104 W GEDDES AVG LITTLETON CO 80127  
Phone: ~~303-441-1122~~ Email: ~~matthew.flanders@suddenvalley.com~~

Requests will not be considered unless the street address is clearly displayed on the residence.  
Please note that in the week(s) following request submittal, ACC members may visit and review property.

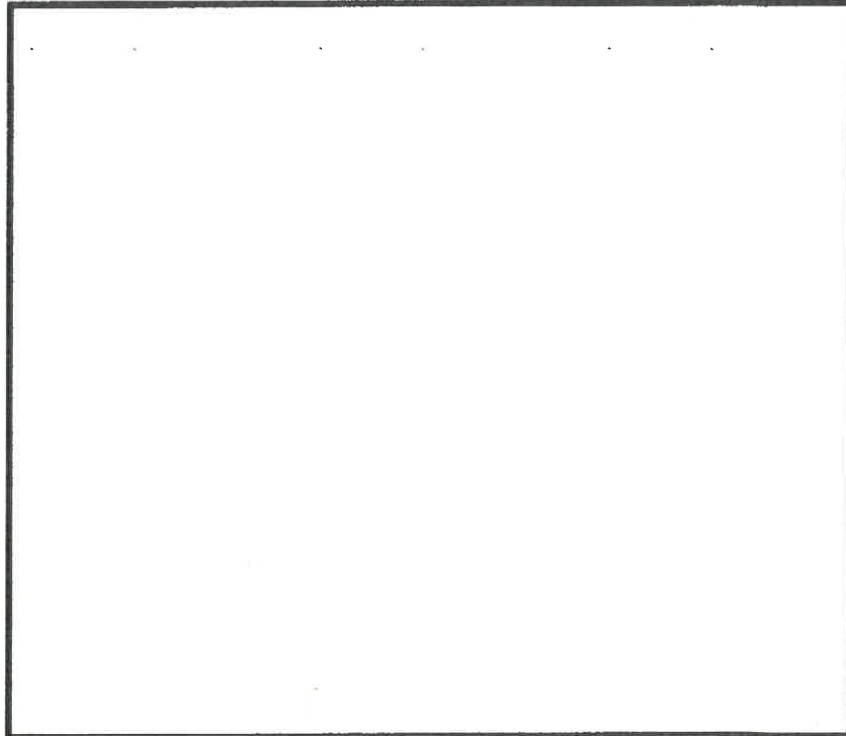
**Requested for:**

- Existing home  
 New construction

**The change would affect:**

- Exterior appearance  
 Drainage/Erosion control  
 Open space & Lot coverage  
 Setbacks to property line  
 Structure height

Please refer to ACC Guidelines  
14.2 and 14.11 and for more  
information.



Give a full description of the request and attach any additional information if needed:

Replacing existing bathroom window on back side of house on 3rd floor with new window. window is on uphill side on back of house. Window will be 48x24 sliding with frosted pane, to be framed outside to match siding

*This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.*

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: Matthew Flanders Date: 6/28/2026

# Sudden Valley Community Association Tree/Vegetation Trimming and/or Removal Request

Street Address: 192 POLO PARK DRIVE Div 9 Lot 106  
Owner: Michele Eva Armstrong  
Mailing Address: 192 Polo Park Drive, Bellingham, WA 98229  
Phone: [REDACTED] Email: [REDACTED]

**All trees must be clearly flagged (no spray paint) before applying.**

Requests will *not be considered if flagging is missing* OR if street address isn't clearly displayed on residence.

**IMPORTANT NOTE:** Within an individual's clearly distinguished property boundaries, routine maintenance can be performed and is encouraged **without** ACC permission. This includes the pruning of **dead branches** and those branches that are **6" or less in diameter**. Removal of those branches **may not exceed 30%** of the foliage density of an individual specimen. Small trees, branches and vegetation **10" or less in diameter and within 10' of a residential structure** may be removed without ACC approval.

**\*\* Per Whatcom County Canopy Retention Regulation effective October 22, 2016 any significant tree being removed in Lake Whatcom Watershed requires county permit. Significant is defined as evergreen trees 12" in diameter or greater and deciduous 8" in diameter or greater. Any limbing 25% and under does not require a county permit. If a county permit is required for you proposed tree removal/ limbing request, please attach your approved county permit to this application. \*\***

1 Number of trees/shrubs  
1 # Removal        # Limbing

On the diagram below, please indicate the location of the road, property line, house, and each tree (numbered individually).

**Type:**

       Fir        Cedar   1   Hemlock  
       Alder        Maple        Other

**Check any that apply:**

- Property or personal danger
- Dead/Diseased
- Leaning
- Roots exposed
- On a slope
- Creation/maintenance of view
  
- Replanting trees/shrubs



Located on SVCA property

Located on neighbor's property - *For trees that are not on the applicant's property, written permission from the owner is required **prior** to submittal.*

**Please refer to ACC Guideline 14.10 for more information. Please email to: office@suddenvalley.com**

Give a full description, the reason for the requested action and diameter on each tree, and attach any additional information if needed:

I have, what has been deemed a "MASSIVE" Hemlock on my property in the forest behind my home. The arborist says it has a split & growing mushrooms. It is leaning south in the direction of my property. I have been told I should have it removed. Before it falls on my house. This is the only tree on my property that is a possible a danger to me or my neighbors. The trunk diameter is 10 ft 10in & approximately 180-200 feet tall. I plan to leave the stump at least 10 f-15 eet high to not disturb the soil and provide food and shelter to forest animals and insects see attached WC permit

***This request form in no way constitutes an approval from the ACC or Whatcom County. You MUST receive written approval and an SVCA permit before commencing any work.***

**Submission of this form provides notice for the ACC to visit the property during reasonable hours.**

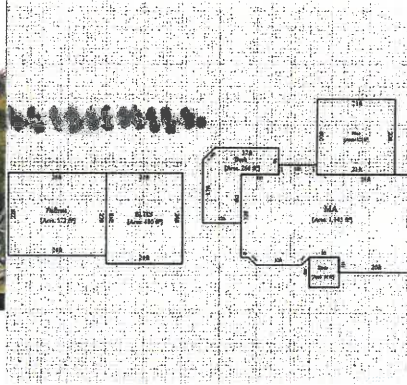
Owner Signature: [Handwritten Signature]

Date: 7/7/2026

21105  
192 POLO PARK DR,  
BELLINGHAM, WA

MICHELE E ARMSTRONG  
192 POLO PARK DR, BELLINGHAM  
WA 98229

Item 20  
Pg 2 of 7



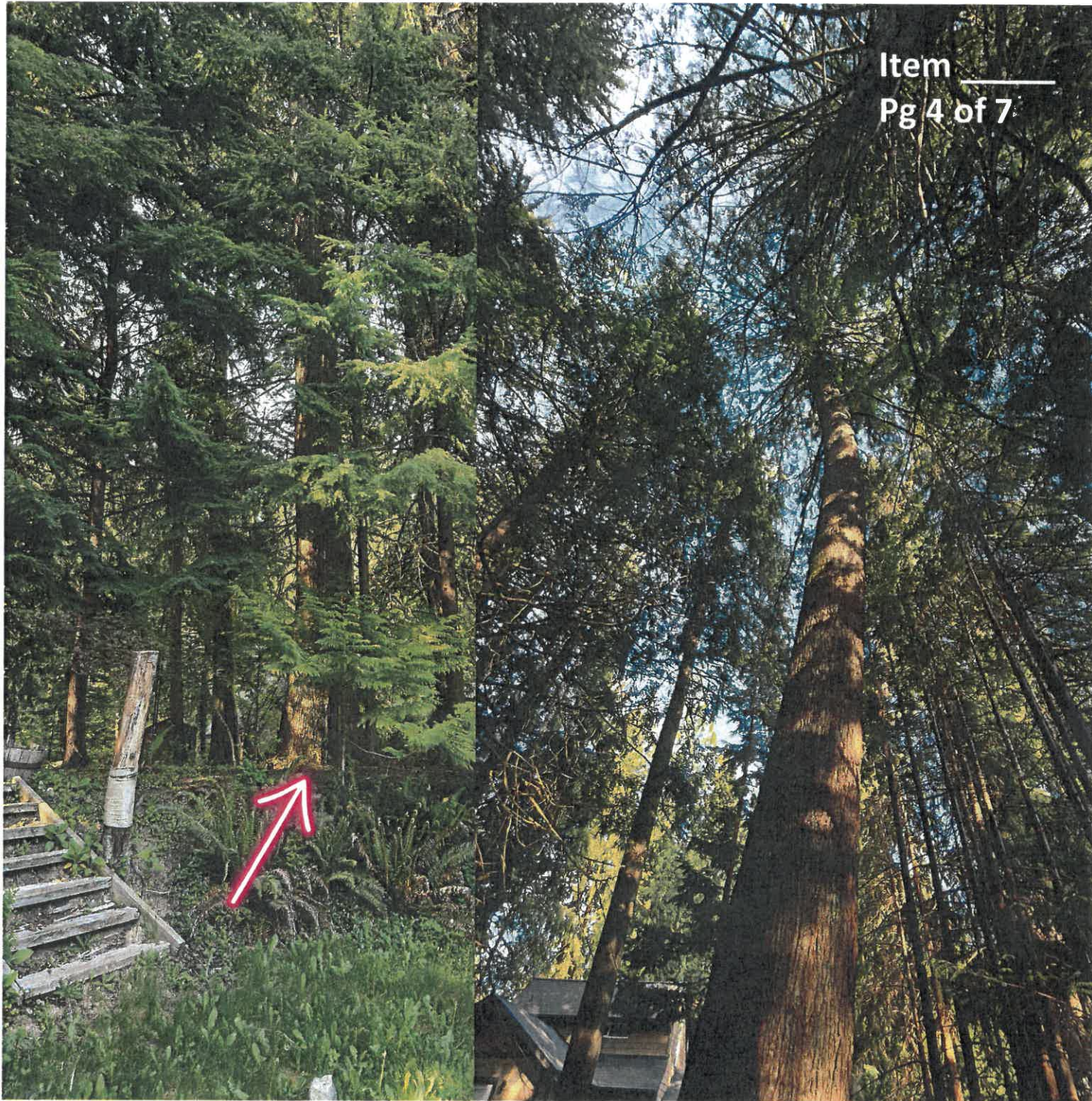
### KEY INFORMATION

Property ID	21105
Parcel # / Geo ID	3703015661520000
Property Type	Real
Neighborhood	SV 5311012000 SFR-LOT 1
Land Use Code	11
Tax Area	1015 - 501 R L FSW LWWS
Open Space	N
Township	T37N
Section	01
Range	R03E
Legal Acres	0.0000
Abbreviated Legal Descr.	SUDDEN VALLEY DIV 9 LOTS 105-106-SUBJ TO IRREVOCABLE COVENANT TO BIND PROPERTIES AF 2050905759-LOT 106 SUBJ TO 25 YEAR SEWER RESTRICTION REC AF 2021202903



Polo Park Dr

Item \_\_\_\_\_  
Pg 4 of 7





**This is my house  
on lot 105**



Rec'd 06/29/2026  
11:39 AM

# Sudden Valley Community Association Exterior Alteration Request

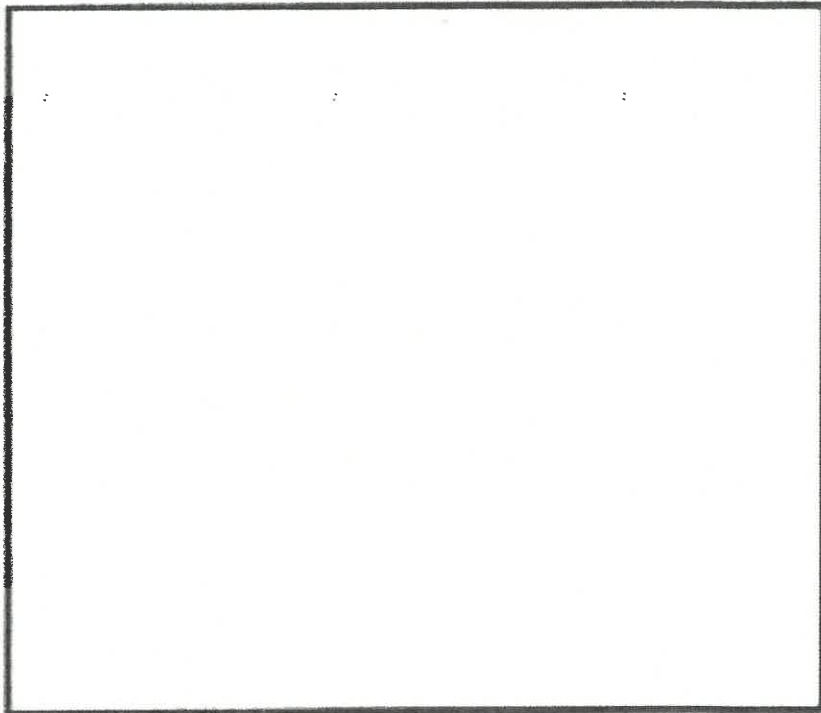
Item 21  
Pg 1 of 2  
G13

Street Address: 32 Canyon Ct Div 5 Lot 053  
Owner: Jordan Roberts  
Mailing Address: 185 Flamingo Dr Malabar Beach, FL 32951  
Phone: [Redacted] Email: [Redacted]

Requests will not be considered unless the street address is clearly displayed on the residence.  
Please note that in the week(s) following request submittal, ACC members may visit and review property.

Requested for:  
 Existing home  
 New construction

The change would affect:  
 Exterior appearance  
 Drainage/Erosion control  
 Open space & Lot coverage  
 Setbacks to property line  
 Structure height



Please refer to ACC Guidelines  
14.2 and 14.11 and for more  
information.

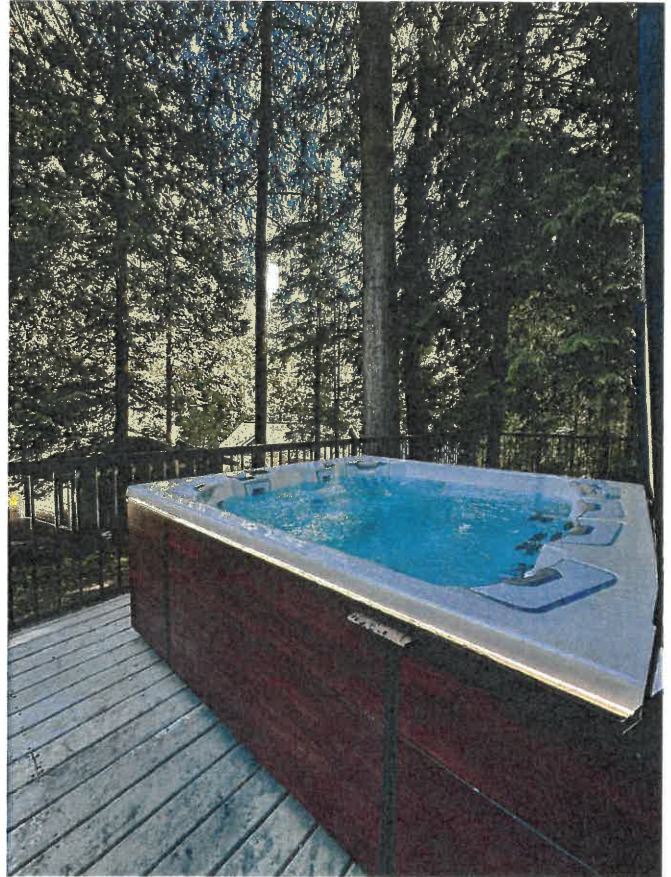
Give a full description of the request and attach any additional information if needed:

I purchased 32 Canyon Ct in 2017. It came with an old hot tub that was functioning. I upgraded the hot tub with a beautiful Bullfrog hot tub. I did not realize that an alteration request needed to be submitted as I purchased the home with a hot tub in the same location on the property.

This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: [Signature] Date: 6/29/2026



Rec'd 07/09/2026  
10:08 AM

# Sudden Valley Community Association Fence Request

Item 22  
Pg 1 of 2  
G13

Street Address: ~~1234~~ 65 STABLE LN. Div 06 Lot 019  
Owner: RAINA LANDER & MAURICIO MENARD  
Mailing Address: 65 STABLE LN.  
Phone: ~~503-233-1234~~ Email: ~~rainalander@comcast.net~~

Requests will not be considered unless the street address is clearly displayed on the residence.  
Please note that in the week(s) following request submittal, ACC members may visit and review property.

Intended use:  Privacy  Protection  Pet Enclosure  
Fence type:  Split Rail  Wood and Wire  Vegetative Hedge  Other

On the diagram below, please indicate the road, property line, house, fence outline with dimensions, and any proposed vegetative screening (may attach larger sketch if needed).



Corners of the proposed fence MUST be staked prior to submittal.  
Please refer to ACC Guideline 14.6.8 for more information.

Give a full description, additional considerations, and attach additional information if needed:

REQUESTING TO FENCE A GRASSY PORTION OF OUR PROPERTY TO ALLOW OUR DOGS TO USE THE BATHROOM FREQUENTLY, & ACCESS THE OUTSIDE FROM ALL FLOORS. ONE DOG IS SMALL, OLDER, & NEEDS TO BE OUT OFTEN, AS HE HAS BOUTS OF INCONTINENCE. HE ALSO CANNOT EASILY CLIMB STAIRS. WE ARE ALSO ASKING FOR A VARIANCE ON THE RIGHT SIDE OF THE PROPERTY AS THERE ISNT ROOM TO LEAVE 5 FEET BETWEEN OUR PROPERTY & THE NEIGHBORS.

*This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.*

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: \_\_\_\_\_ Date: \_\_\_\_\_

AC Staff Comments:

→ OUR NEIGHBOR STATED HE IS FINE WITH THAT, BUT I WILL GET IT IN WRITING IN THE NEXT PAY OR SO, AS HE HAS NOT BEEN HOME.

# DISCOUNT FENCE

## Contact Us

Office: (360) 873 4005  
 Email: info@discountfence.com  
 Web: http://www.discountfence.com

Mailing Address  
 2236 Pacific St  
 Bellingham, WA 98229

White Copy - Contractor  
 Yellow Copy - Customer

## RESIDENTIAL Fencing Estimate

Additional Terms & Conditions on Reverse

Estimate/Contract # 2026 0114  
 Date/Time \_\_\_\_\_ Item 22  
 Pg 2 of 2  
 Estimate valid for 30 days

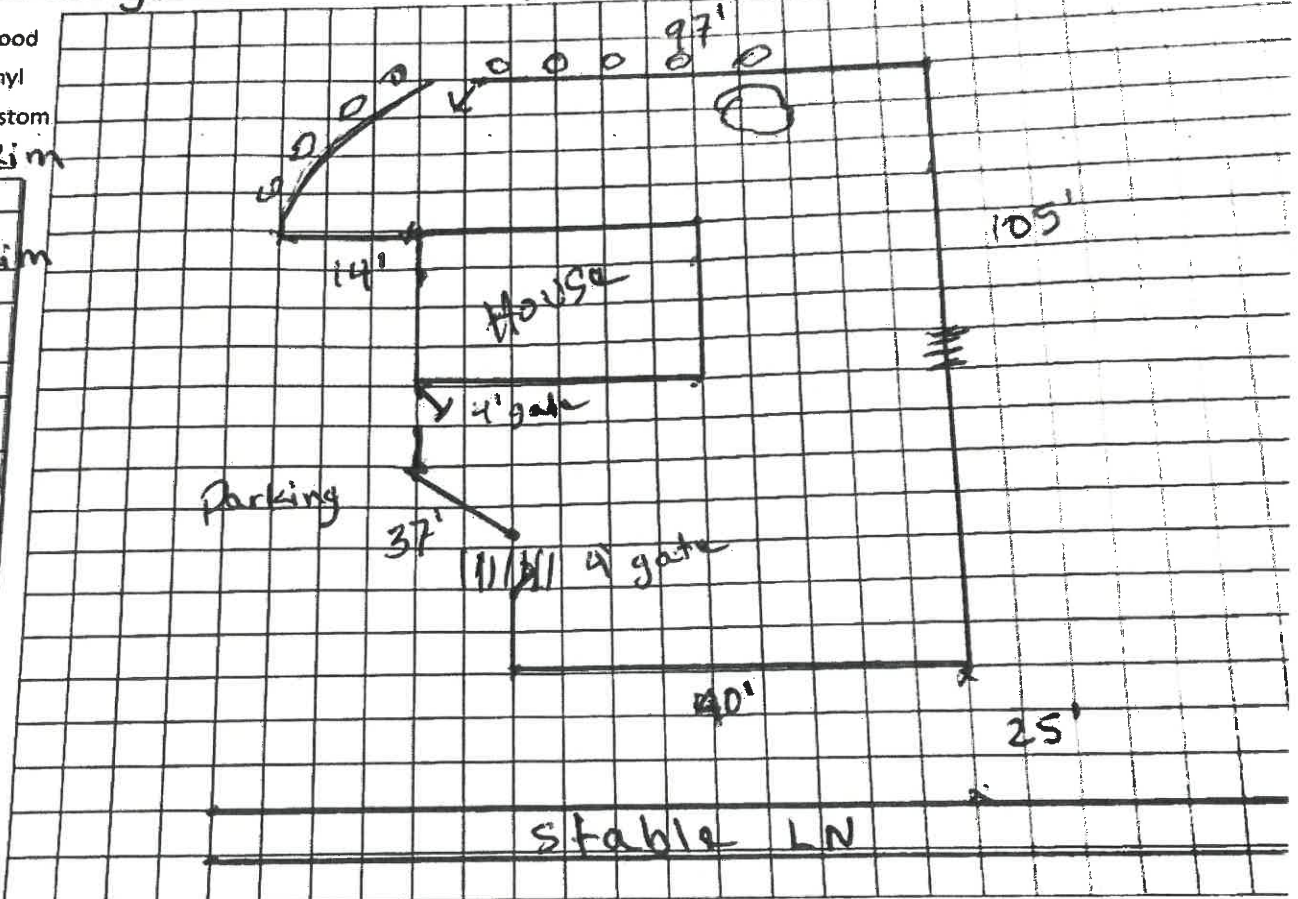
Interested in \_\_\_\_\_

Customer: Raina Hanger / Marty  
 Address: 65 Stable Ln  
 City/Zip: Bellingham wa 98229

Phone 1: 786 - 301 - 7306  
 Phone 2: m.menard@icloud.com  
 Email: Rainahanger@gmail.com

- Chain Link
- Wood
- Ornamental
- Vinyl
- Deco Mesh
- Custom
- Other: No Trim

Height	Style
<u>5'</u>	<u>Deco</u>
Walk Gate	Drive Gate
<u>4'</u>	<u>Ø</u>
Post Type	Concrete
	<u>24"±</u>
Posts	Gate Posts
<u>4x4</u>	<u>4x4</u>
Posts	Top Rail
<u>2x4</u>	<u>2x4</u>
Facing	Post Size
	<u>4x4</u>
3	Facing
<u>3'</u>	<u>OUT</u>
Wire	Barb Wire



Site Conditions: Level  Slope  Hill  Rocky  Loose Soil  Clearing  Removal/Disposal  A  
 Fence Info:  Contour  Stepped  Dog Tight  Onsite Dirt Disposal  (SEE PRICING C)  
 Fence Line

293' LF of 5' Deco No Trim 3)4' w  
pipe frame fill with 4x4, top & b  
2x4 frame

Site Conditions WILL

be completed prior  
 to owner will be  
 and/or trip fee

Disposal NOT  
 unless specifically  
 noted

to backfill on

to NOT  
 cost

Rec'd 07/07/2026  
3:51 PM

# Sudden Valley Community Association Extension and Re-Approval Request

Item 23  
Pg 1 of 1  
G13

Street Address: 190 Sudden Valley DR. Bellingham Wa 98229 Div 6 Lot 78

Owner: Arrow Homes

Mailing Address: PO Box 30678 Bellingham, WA 98228

Phone: 509-861-2922 Email: Savchuk@svca.com

Requests will not be considered unless the street address is clearly displayed on the residence.  
Please note that in the week(s) following request submittal, ACC members may visit and review property.

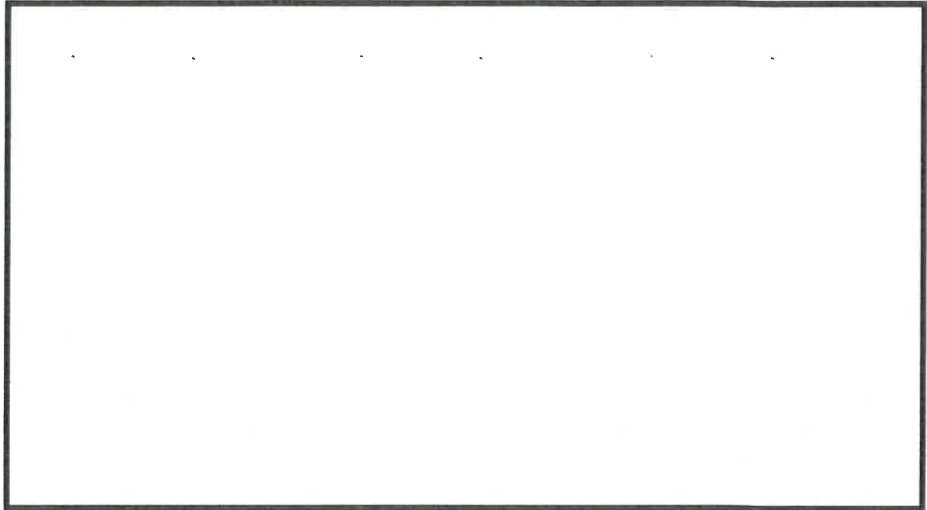
**Requested for:**

- Extension
- Re-approval

**The change would affect:**

- Start date
- Completion date

**Please refer to ACC Guideline  
14.8 for more information.**



Give a full description of the request, a detailed timeline, and attach any additional information if needed: We are requesting an extension on this project. We are needing  
1-2 months to finish and go for the SV Final and WC Building  
Final.

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**This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.**

**Owner Signature:** Sergey Savchuk Date: 7/07/2026

AC Staff Comments: \_\_\_\_\_

Rec'd 07/02/2026  
7:54 AM

# Sudden Valley Community Association Extension and Re-Approval Request

Item 24  
Pg 1 of 1  
G13

Street Address: 101 Polo Park Dr. Bellingham WA 98229 Div 9 Lot 23  
Owner: J Hansen Investments LLC  
Mailing Address: 1001 E Maple St Bellingham WA 98225  
Phone: ~~360-222-1222~~ Email: ~~jhansen@jhaninvestments.com~~

Requests will not be considered unless the street address is clearly displayed on the residence.  
Please note that in the week(s) following request submittal, ACC members may visit and review property.

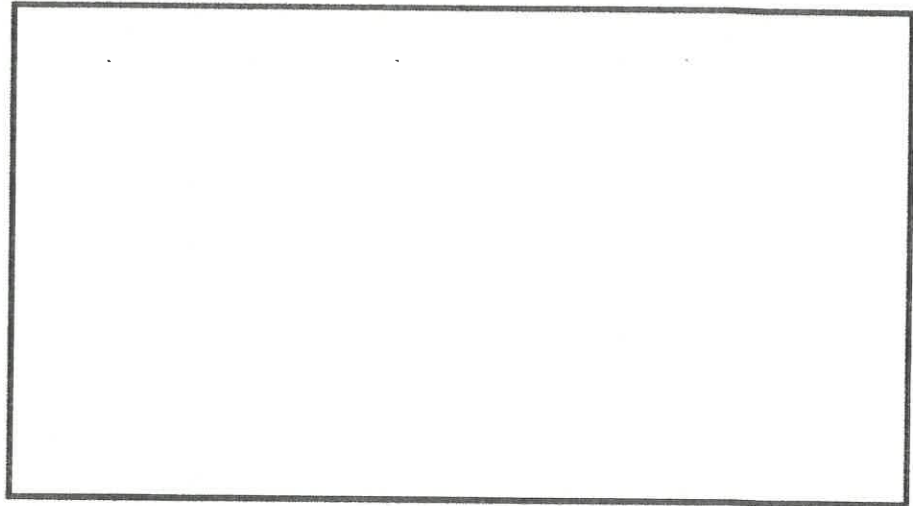
**Requested for:**

- Extension
- Re-approval

**The change would affect:**

- Start date
- Completion date


Please refer to ACC Guideline  
14.8 for more information.



Give a full description of the request, a detailed timeline, and attach any additional information if

needed: We have only just begun construction. We ran into some final permitting issues with our stormwater that took time to resolve. But we're ready to get rolling, now that we're able to do dirt work. We hope to be dried in by fall and completed late spring 2027.

*This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.*

Owner Signature: 

Date: 7/1/2026

AC Staff Comments: \_\_\_\_\_

Rec'd 06/29/2026

Sudden Valley Community Association  
Exterior Alteration Request

Item 25  
Pg 1 of 4  
G13

Street Address: 137 Sudden Valley Drive Div 10 Loc. 131  
Owner: Karma Ansbacher  
Mailing Address: 137 Sudden Valley Drive  
Phone: ~~203-228-7554~~ Email: ~~karma.ansbacher@gmail.com~~

Requests will not be considered unless the street address is clearly displayed on the residence.  
Please note that in the week(s) following request submittal, ACC members may visit and review property.

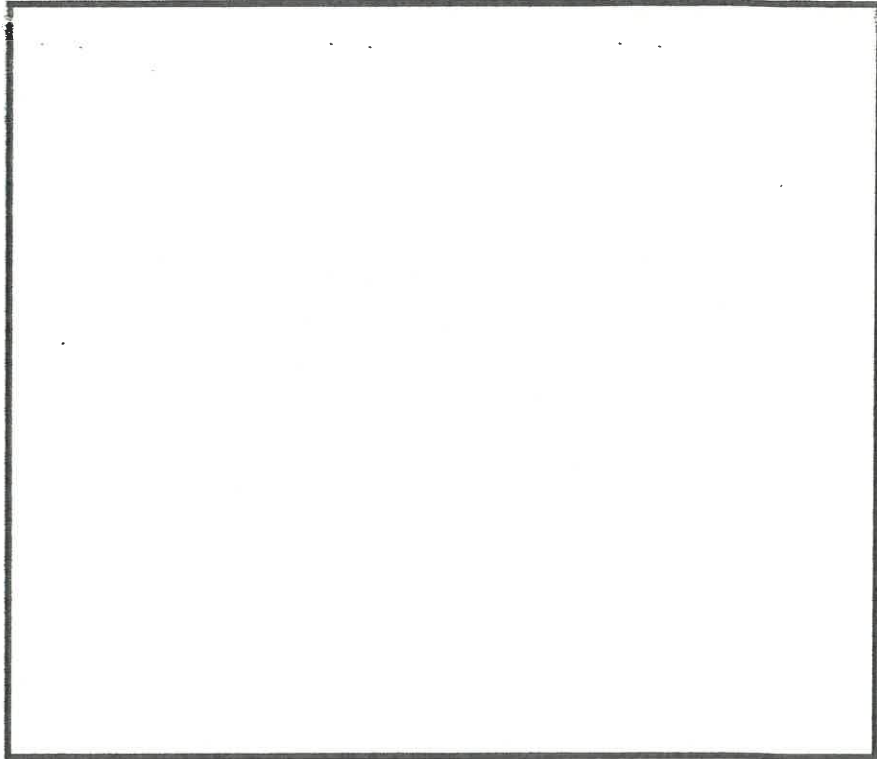
**Requested for:**

- Existing home
- New construction

**The change would affect:**

- Exterior appearance
- Drainage/Erosion control
- Open space & Lot coverage
- Setbacks to property line
- Structure height

Please refer to ACC Guidelines  
14.2 and 14.11 and for more  
information.



Give a full description of the request and attach any additional information if needed:

I would like to add a small deck off the garage side of my house. It will extend from the home over  
the ground needing some support on the garage side of the deck. The dimensions will be 9' 6" X 11'  
with a simple railing to match existing patio or a post and cable railing on two sides of the deck.  
There may also be some stairs or paver steps descending from the deck edge to the driveway.

*This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.*

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature:  Date: June 29, 2026

RECEIVED  
JUN 29 2026

**ANSBACHER  
RESIDENCE**

137 SUDDEN VALLEY DRIVE  
BELLINGHAM, WAHSINGTON 98229  
WHATCOM COUNTY

LOT 137, SUDDEN VALLEY DIVISION 10  
SEC. 06, TWN. 37, RNG 04E

**PROJECT DESCRIPTION**

EXISTING RESIDENCE WITH PROPOSED ADDITION  
OF EXTERIOR DECK MEASURING 24'-6" x 24'-7"

**SITE PLAN NOTES:**

ALL NEW HARDSCAPE MATERIALS, COLORS, AND FINISHES SHALL BE CONSISTENT WITH THE EXISTING RESIDENCE AND SITE IMPROVEMENTS.

ANY NEW LANDSCAPING SHALL MATCH THE CHARACTER, SCALE, AND PLANT PALETTE OF EXISTING SITE LANDSCAPING.

NO IMPACT TO EXISTING PROPERTY DRAINAGE PATTERNS, ADJACENT PROPERTIES, OR HOA COMMON AREAS SHALL OCCUR.

ALL WORK SHALL BE COMPLETED WITHIN PROPERTY BOUNDARIES AND COMPLY WITH APPLICABLE HOA GUIDELINES AND LOCAL CODES. IT IS THE SOLE RESPONSIBILITY OF THE BUILDER/CONTRACTOR TO VERIFY AND COMPLY WITH ALL APPLICABLE CODES, ORDINANCES, PERMITS, AND CONSTRUCTION REQUIREMENTS PRIOR TO COMMENCEMENT OF WORK.

BUILDER/CONTRACTOR TO COORDINATE ELEC, CABLE, WATER, GAS & SEWER SERVICES & METER LOCATIONS.

PROPERTY LINES, BASEMENTS, AND BUILDING ENVELOPE IS APPROXIMATE INFORMATION BASED ON SHARED SITE MAP PROVIDED BY OWNER.

**GENERAL NOTES:**

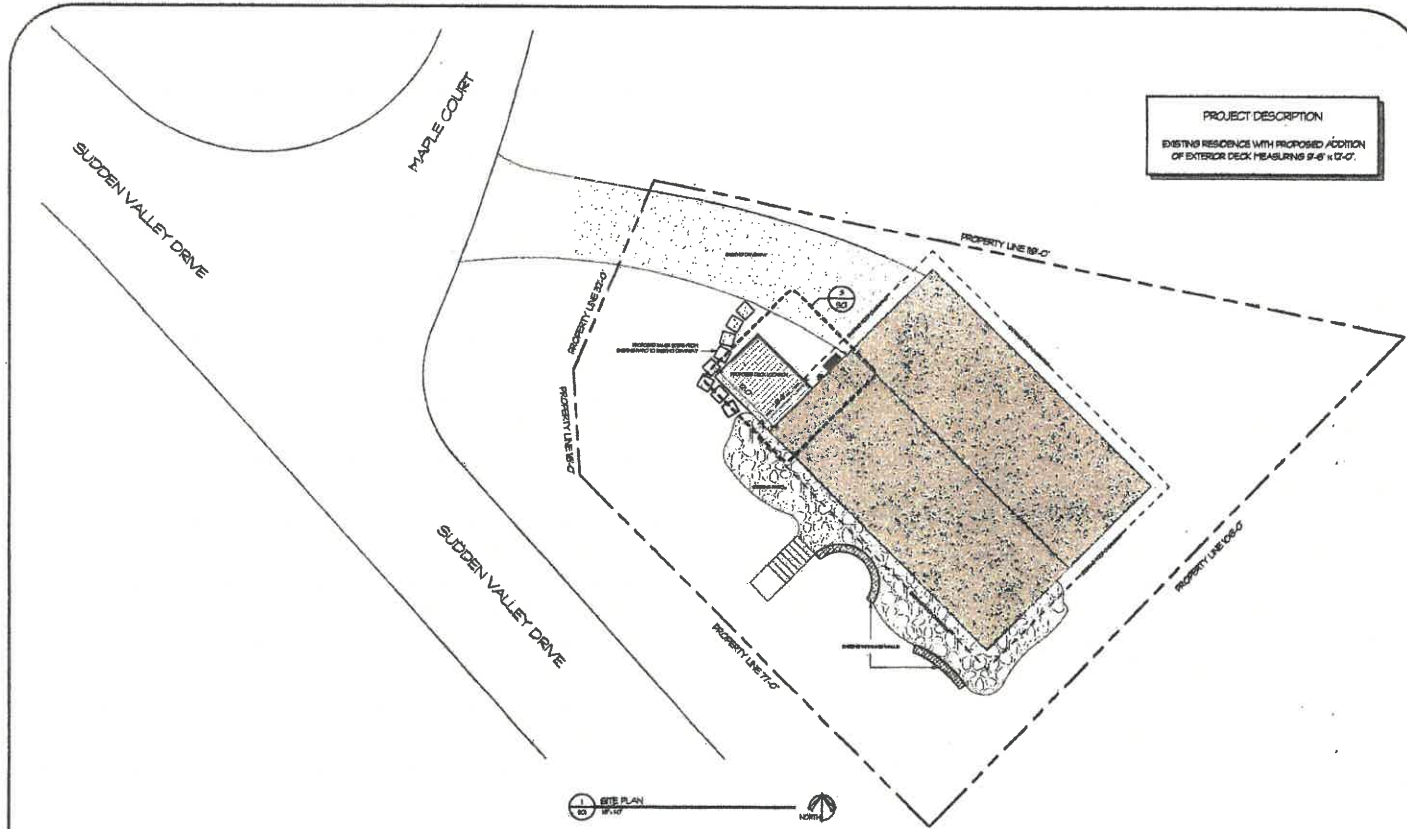
THESE DRAWINGS INDICATE GENERAL BASIS OF DESIGN INTENT ONLY. IT IS THE BUILDER/CONTRACTORS RESPONSIBILITY TO PROVIDE ANY ADDITIONAL CONSTRUCTION DETAILS REQUIRED AND TO DICTATE METHODS OF CONSTRUCTION. THE BUILDER/CONTRACTOR SHALL VERIFY ALL DIMENSIONS OF MANUFACTURED COMPONENTS AND RELATIONSHIPS BETWEEN MATERIALS OR COMPONENTS. THE BUILDER/CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS SHOWN ON THE DRAWINGS INCLUDING ALL EXISTING GRADES AT THE SITE.

THE OWNER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES OR DEFICIENCIES IN THE DRAWINGS PRIOR TO CONSTRUCTION. FAILURE TO NOTIFY THE OWNER SHALL CONSTITUTE ACCEPTANCE BY THE BUILDER/CONTRACTOR OF ALL RESPONSIBILITY. CONTRACTOR SHALL VERIFY DIMENSIONS OF ALL NECESSARY FLUR CHASES, DUCTS, AND EQUIPMENT.

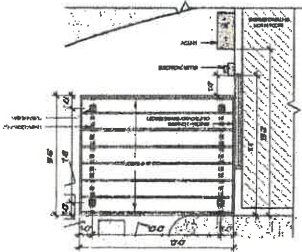
THE BUILDER/CONTRACTOR AND ALL SUBCONTRACTOR SHALL CONFORM TO ALL APPLICABLE BUILDING CODES.

**SITE PLAN**

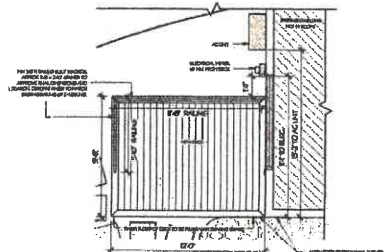
SOI



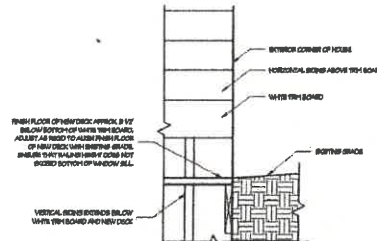
1 00 SITE PLAN  
1/10/20



1 01 DECK FRAMING PLAN  
1/10/20

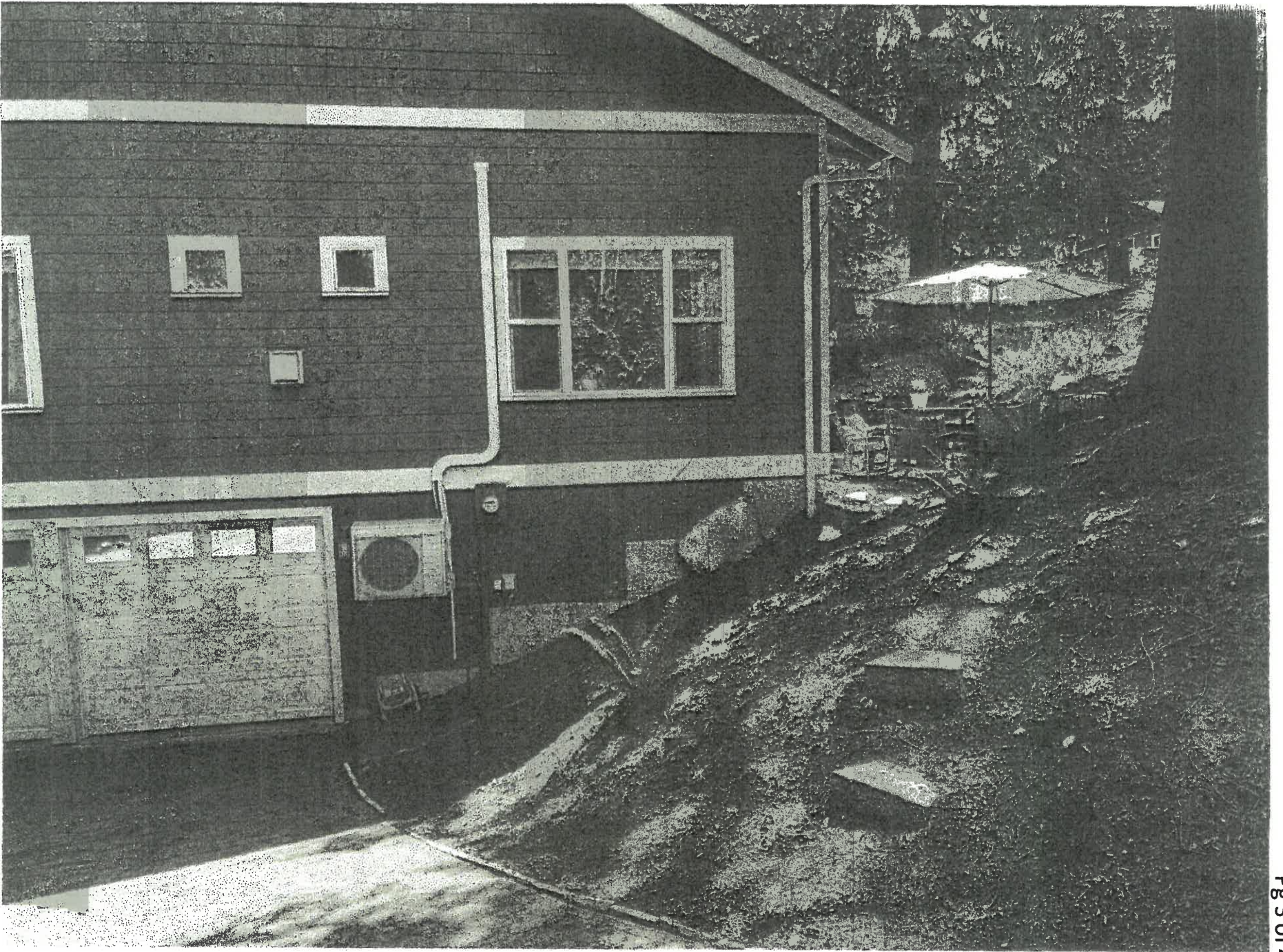


1 02 DECK FINISH PLAN  
1/10/20



1 03 EXPOSED DECK HEIGHT  
1/10/20

Item 25  
Pg 2 of 4





Rec'd 06/29/2026  
11:15 AM

# Sudden Valley Community Association Exterior Alteration Request

Item 26  
Pg 1 of 1  
G13

Street Address: 168 HARBORVIEW DR Div 22 Lot 208  
Owner: Valentin Pikalov  
Mailing Address: PO BOX 245 BLAINE WA 98231  
Phone: [REDACTED] Email: [REDACTED]

**Requests will not be considered unless the street address is clearly displayed on the residence.  
Please note that in the week(s) following request submittal, ACC members may visit and review property.**

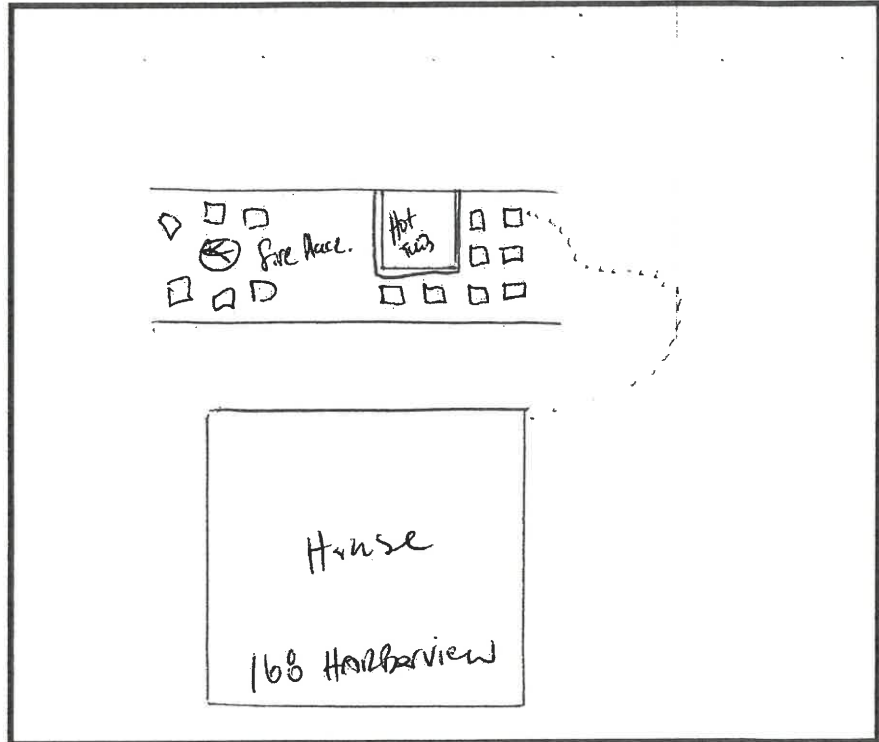
**Requested for:**

- Existing home
- New construction

**The change would affect:**

- Exterior appearance
- Drainage/Erosion control
- Open space & Lot coverage
- Setbacks to property line
- Structure height

**Please refer to ACC Guidelines  
14.2 and 14.11 and for more  
information.**



Give a full description of the request and attach any additional information if needed:

Hot tub in the back of the house. it is on the ground, sitting on landscaping stones. Hot tub is not visible from street.

. No intent to violate rules would just like it to be all in compliance.

***This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.***

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature:

Date:

6/29/2026

RECEIVED

JUL 07 2026

Sudden Valley Community Association

Item 27  
Pg 1 of 1  
G13

### Tree/Vegetation Trimming and/or Removal Request

Street Address: 144 Harborview Dr Div 22 Lot 240

Owner: Ann Marie Bowen

Mailing Address: Same

Phone: ~~509 328 4446~~ Email: ~~annmariebowen@suddenvalley.com~~

**All trees must be clearly flagged (no spray paint) before applying.**

Requests will *not be considered if flagging is missing* OR if street address isn't clearly displayed on residence.

**IMPORTANT NOTE:** Within an individual's clearly distinguished property boundaries, routine maintenance can be performed and is encouraged **without** ACC permission. This includes the pruning of **dead branches** and those branches that are **6" or less in diameter**. Removal of those branches **may not exceed 30%** of the foliage density of an individual specimen. Small trees, branches and vegetation **10" or less in diameter and within 10'** of a residential structure may be removed without ACC approval.

**\*\* Per Whatcom County Canopy Retention Regulation effective October 22, 2016 any significant tree being removed in Lake Whatcom Watershed requires county permit. Significant is defined as evergreen trees 12" in diameter or greater and deciduous 8" in diameter or greater. Any limbing 25% and under does not require a county permit. If a county permit is required for you proposed tree removal/ limbing request, please attach your approved county permit to this application. \*\***

3 Number of trees/shrubs  
3 # Removal      # Limbing

On the diagram below, please indicate the location of the road, property line, house, and each tree (numbered individually).

Type:

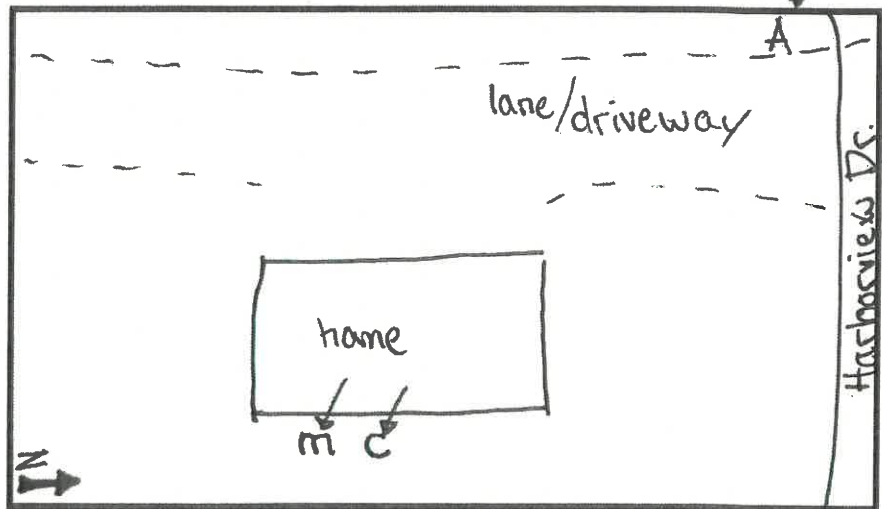
Fir     Cedar     Hemlock  
 Alder    Maple     Other

Check any that apply:

- AMC Property or personal danger
- C Dead/Diseased
- A M Leaning
- Roots exposed
- On a slope
- Creation/maintenance of view
- Replanting trees/shrubs

Located on SVCA property

Located on neighbor's property - For trees that are not on the applicant's property, written permission from the owner is required **prior** to submittal.



Please refer to ACC Guideline 14.10 for more information. Please email to: [office@suddenvalley.com](mailto:office@suddenvalley.com)

Give a full description, the reason for the requested action and diameter on each tree, and attach any additional information if needed:

After a firewise review the leaning alder at the end of the driveway and the maple near the home were identified as issues. An arborist identified a decaying section on a cedar just north of the maple.

**This request form in no way constitutes an approval from the ACC or Whatcom County. You MUST receive written approval and an SVCA permit before commencing any work.**

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: *Ann Marie Bowen*

Date: \_\_\_\_\_

Resubmission (Re-Approval due to time lapse)

Item 28  
Pg 1 of 1  
G13

Rec'd 06/30/2026  
8:10 AM

# Sudden Valley Community Association Exterior Alteration Request

Street Address: 24 Western Lane Div 29 Lot 009  
Owner: Christine Kessler and Tom Timmel  
Mailing Address: 24 Western Lane, Bellingham, WA 98229  
Phone: [REDACTED] Email: [REDACTED]

Requests will not be considered unless the street address is clearly displayed on the residence.  
Please note that in the week(s) following request submittal, ACC members may visit and review property.

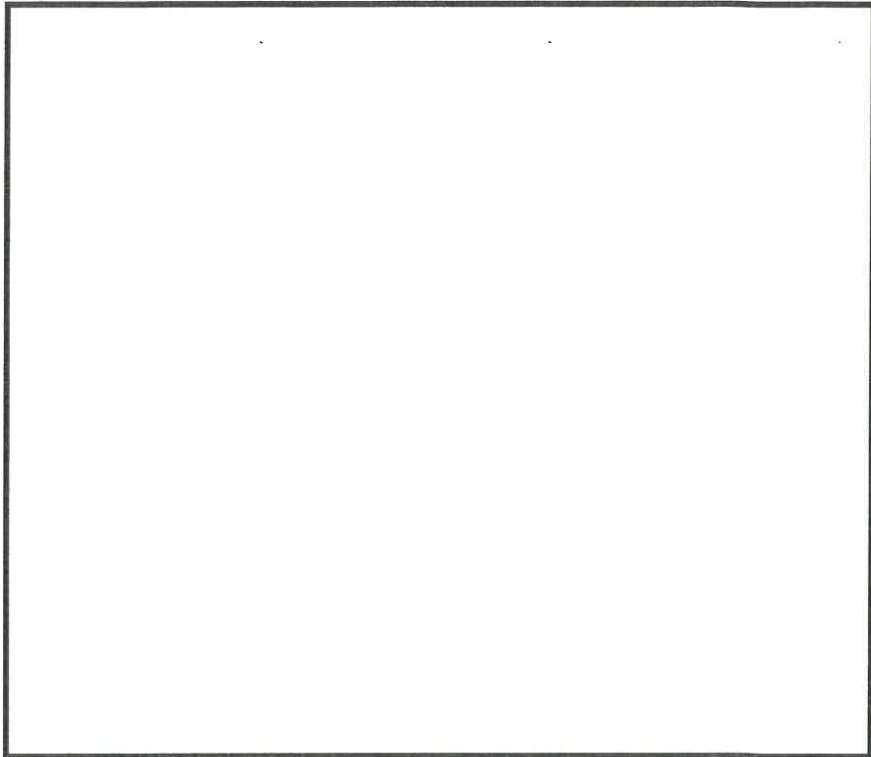
**Requested for:**

- Existing home
- New construction

**The change would affect:**

- Exterior appearance
- Drainage/Erosion control
- Open space & Lot coverage
- Setbacks to property line
- Structure height

Please refer to ACC Guidelines  
14.2 and 14.11 and for more  
information.



Give a full description of the request and attach any additional information if needed:

We would like to revise our front porch landing. Right now there is a wooden platform landing down seven steps from the front door. The wooden landing is hard to maintain in the PNW weather and is often unsightly. We'd like to remove the wood and make that a solid rock platform instead. This would be almost the exact same footprint that it currently is, maybe only extending 8-10 inches into the yard to account for one additional step being added to reach the landing at its new lower height.

*This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.*

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: Christine Kessler Date: 5/5/2025

Rec'd 07/08/2026  
4:21 PM

Item 29  
Pg 1 of 1

# Sudden Valley Community Association Tree/Vegetation Trimming and/or Removal Request

Street Address: 1953 LakeWhatcom Blvd Div 58 Lot 01A - 06B  
Owner: Deer Creek HOA - Submitted by Christopher with Earthworks Tree Service - Consulting Arborist  
Mailing Address: Same  
Phone: [REDACTED] Email: christopher@earthworkstreeservice.com

**All trees must be clearly flagged (no spray paint) before applying.**

Requests will *not be considered if flagging is missing* OR if street address isn't clearly displayed on residence.

**IMPORTANT NOTE:** Within an individual's clearly distinguished property boundaries, routine maintenance can be performed and is encouraged **without** ACC permission. This includes the pruning of **dead branches** and those branches that are **6" or less in diameter**. Removal of those branches **may not exceed 30%** of the foliage density of an individual specimen. Small trees, branches and vegetation **10" or less in diameter and within 10' of a residential structure** may be removed without ACC approval.

\*\* Per Whatcom County Canopy Retention Regulation effective October 22, 2016 any significant tree being removed in Lake Whatcom Watershed requires county permit. Significant is defined as evergreen trees 12" in diameter or greater and deciduous 8" in diameter or greater. Any limbing 25% and under does not require a county permit. If a county permit is required for you proposed tree removal/ limbing request, please attach your approved county permit to this application. \*\*

2 Number of trees/shrubs  
2 # Removal        # Limbing

On the diagram below, please indicate the location of the road, property

**Type:**

1 Fir        Cedar 1 Hemlock  
       Alder        Maple        Other

**Check any that apply:**

- Property or personal danger
- Dead/Diseased
- Leaning
- Roots exposed
- On a slope
- Creation/maintenance of view
- Replanting trees/shrubs

Located on SVCA property  
 Located on neighbor's property - If on neighbor's property, the owner is required **prior** to submit



Please refer to ACC Guideline 14.10 for more information. Please email to: [office@suddenvalley.com](mailto:office@suddenvalley.com)

Give a full description, the reason for the requested action and diameter on each tree, and attach any additional information if needed:

Earthworks Tree Service was hired to assess all trees on the deer creek preoperty. 2 were found needing immedate removal attached is the tree inventory.

***This request form in no way constitutes an approval from the ACC or Whatcom County. You MUST receive written approval and an SVCA permit before commencing any work.***

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: \_\_\_\_\_ Date: \_\_\_\_\_