



Sudden Valley Community Association Architectural Control Committee

Agenda

Date 08/06/2026

Time 9:00 AM

Location - Zoom

Type of meeting: Request and Plan Review

Facilitator: Daniel Rodriguez, Chair

Committee Attendees:

Excused Absence:

Attendees:

Observers:

Item – 1	Approval of 08/06/2026 ACC Meeting Agenda
Item – 2	Property Owner Comments
Item – 3	Consent Agenda – Approval of the 07/16/2026 ACC Meeting Minutes
Item – 4	48 North Point Dr, G1, Tree (Remove 1)
Item – 5	5 Spinnaker Ln, G1, 1st Extension (New Home) <i>Six Months</i>
Item – 6	5 Spinnaker Ln, G1, Const Change (Deck stairs)
Item – 7	98 Windward Dr, G1, Ext Alt (Deck)
Item – 8	9 Par Lane, G1, Ext Alt (Garage Doors)
Item – 9	4 Sanwick Pt Ct, G1, Variance (Setback) <i>Resubmission</i>
Item – 10	6 Sanwick Pt Ct, G1, Variance (Setback) <i>Resubmission</i>
Item – 11	11 Marigold Dr, G2, Ext Alt (Siding, Porch, Railing, Paint)
Item – 12	32 Lake Louise Dr, G2, New Construction, <i>Resubmission</i>
Item – 13	19 Grand View Ln, G2, Tree (Remove 2)
Item – 14	2 Marigold Dr #36 Center Condos, G2, Ext Alt (Storm Door)
Item – 15	2 Marigold Dr #40 Center Condos, G2, Ext Alt (Mini-Split)
Item – 16	8 Hawks Hill Pl, G3, Ext Alt (Paint)
Item – 17	40 Rocky Ridge Dr, G3, Tree (Remove 1)
Item – 18	9 Doe Ct, G3, Ext Alt (Roof)
Item – 19	26 Shetland Ct, G5, New Construction <i>Resubmission</i>
Item – 20	4 Arabian Way, G5, Ext Alt (Retaining Wall) <i>Resubmission</i>
Item – 21	15 Bramble Way, G5, Tree (Remove 1)
Item – 22	2 Sweetclover Cir, G5, Const Change (Remove 6th Tree)
Item – 23	5 Cold Spring Ln, G9, 1st Extension (New Home) <i>Six Months</i>



Item – 24	5 Stable Ln, G13, Tree (Remove 1)
Item – 25	12 Summer Bell Ln, G13, Ext Alt (Hot Tub)
Item – 26	12 Summer Bell Ln, G13, Ext Alt (Kayak Rack)
Item – 27	168 Harbor View Dr, G13, Ext Alt (Hot Tub Privacy Screen) <i>Resubmission</i>


Meeting Called to Order 00:00 AM

Item – 1	Approval of 08/06/2026 ACC Meeting Agenda	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 2	Property Owners Comments	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 3	Consent Agenda – Approval of the 07/16/2026 ACC Meeting Minutes	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 4	48 North Point Dr, G1, Tree (Remove 1)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 5	5 Spinnaker Ln, G1, 1st Extension (New Home) <i>Six Months</i>	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 6	5 Spinnaker Ln, G1, Const Change (Deck stairs)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 7	98 Windward Dr, G1, Ext Alt (Deck)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:



Item – 8	9 Par Lane, G1, Ext Alt (Garage Doors)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 9	4 Sanwick Pt Ct, G1, Variance (Setback) <i>Resubmission</i>	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 10	6 Sanwick Pt Ct, G1, Variance (Setback) <i>Resubmission</i>	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 11	11 Marigold Dr, G2, Ext Alt (Siding, Porch, Railing, Paint)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 12	32 Lake Louise Dr, G2, New Construction, <i>Resubmission</i>	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 13	19 Grand View Ln, G2, Tree (Remove 2)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 14	2 Marigold Dr #36 Center Condos, G2, Ext Alt (Storm Door)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 15	2 Marigold Dr #40 Center Condos, G2, Ext Alt (Mini-Split)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 16	8 Hawks Hill Pl, G3, Ext Alt (Paint)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 17	40 Rocky Ridge Dr, G3, Tree (Remove 1)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 18	9 Doe Ct, G3, Ext Alt (Roof)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 19	26 Shetland Ct, G5, New Construction <i>Resubmission</i>	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 20	4 Arabian Way, G5, Ext Alt (Retaining Wall) <i>Resubmission</i>	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 21	15 Bramble Way, G5, Tree (Remove 1)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:



Item – 22	2 Sweetclover Cir, G5, Const Change (Remove 6th Tree)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 23	5 Cold Spring Ln, G9, 1st Extension (New Home) <i>Six Months</i>	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 24	5 Stable Ln, G13, Tree (Remove 1)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 25	12 Summer Bell Ln, G13, Ext Alt (Hot Tub)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 26	12 Summer Bell Ln, G13, Ext Alt (Kayak Rack)	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Item – 27	168 Harbor View Dr, G13, Ext Alt (Hot Tub Privacy Screen) <i>Resubmission</i>	Video 00:00:00 – 00:00:00
Comments:		
Discussion:		
Action:		Motion:

Meeting Adjourned at 00:00 AM



Sudden Valley Community Association Architectural Control Committee

Date 07/16/2026

Time 5:00 PM

Location - Multi-Purpose Room "A"

Minutes

Type of meeting:	Request and Plan Review
Facilitator:	Daniel Rodriguez
Committee Attendees:	Jo Jean Kos, Patric Zwolenski Terry Niblack, Dan Vink (via Zoom)
Excused Absence:	
Attendees:	Jerry Gangle, Allen Helvajian
Observers:	Eduard & Nadiya Danch and Gary Bara & Libby Feller (Item 5), Sunit Tandon (Items 7 & 8), Vitali Pikalov (Item 10), Katrina Munsterman (Item 11) , Stephen DeCock (Item 12), Chad Schmitt (Items 18 & 23), Mauricio Menard & Raina Langer (Items 22 & 32), Christopher Hunsaker (Items 27 & 29), Matt Griscom (Observer)

Item – 1	Approval of 07/16/2026 ACC Meeting Agenda
Item – 2	Property Owner Comments
Item – 3	Consent Agenda – Approval of the 07/02/2026 ACC Meeting Minutes
Item – 4	5 Spinnaker Ln, G1, Const Change (Driveway)
Item – 5	32 Lake Louise Dr, G2, New Construction, Resubmission
Item – 6	81 Grand View Ln, G2, Ext Alt (Retaining Wall)
Item – 7	14 Woodpecker Pl, G2, New Construction Resubmission
Item – 8	14 Woodpecker Pl, G2, Variance (Lot Cov & Side Setback) Resubmission
Item – 9	9 Whispering Cedars Ct, G2, Ext Alt (Paint)
Item – 10	14 Deer Run Ln, G3, Const Change (Retaining Wall) Resubmission
Item – 11	29 Maple Ct, G3, Fence (Pet) Resubmission
Item – 12	20 Tumbling Water Dr, G5, Ext Alt (Walkway) Resubmission
Item – 13	9 Sweetclover Cir, G5, Tree (Remove 1)
Item – 14	4 Loganberry Ln, G5, Ext Alt (Heat Pump)
Item – 15	4 Loganberry Ln, G5, Ext Alt (Plant Hangers)
Item – 16	11 Little Strawberry Ln, G9, Ext Alt (Deck)
Item – 17	52 Morning Glory Dr, G9, Ext Alt (Siding & Paint)
Item – 18	34 Morning Glory Dr, G9, 1st Extension (New Home) Six Months
Item – 19	5 Ravenwood Ct, G9, Ext Alt (Window)
Item – 20	192 Polo Park Dr, G13, Tree (Remove 1)
Item – 21	32 Canyon Ct, G13, Ext Alt (Hot Tub)



Item – 22	65 Stable Ln, G13, Fence (Pet)
Item – 23	190 Sudden Valley Dr, G9, 1st Extension (New Home) <i>Six Months</i>
Item – 24	101 Polo Park Dr, G13, 1st Extension (New Home) <i>Six Months</i>
Item – 25	137 Sudden Valley Dr, G13, Ext Alt (Deck)
Item – 26	168 Harbor View Dr, G13, Ext Alt (Hot Tub)
Item – 27	144 Harbor View Dr, G13, Tree (Remove 3)
Item – 28	24 Western Ln, G13, Ext Alt (Front Porch) <i>Resubmission</i>
Item – 29	1953 Lake Whatcom Blvd, Tree (Remove 2)
Item – 30	72 Windward Dr, G1, New Construction <i>Resubmission</i>
Item – 31	72 Windward Dr, G1, Variance (Setback)
Item – 32	65 Stable Ln, G13, Variance (Setback)
Item – 33	Executive Session

**Meeting Called to Order 5:00 PM**

Item – 1	Approval of 07/16/2026 ACC Meeting Agenda		Video 00:00:07 – 00:01:25
Comments:	Add Items #30 & #31 - 72 Windward Dr, #32 – 65 Stable Ln, and #33 Executive Session to the Agenda.		
Discussion:			
Action:	Approved	Motion: Terry	Unanimous

Item – 2	Property Owner Comments		Video 00:02:22 – 00:03:27
Comments:			
Discussion:			
Action:		Motion: N/A	

Item – 3	Consent Agenda – Approval of the 07/02/2026 ACC Meeting Minutes		Video 00:03:28 – 00:03:45
Comments:			
Discussion:			
Action:	Approved	Motion: Patric	Unanimous

Item – 4	5 Spinnaker Ln, G1, Const Change (Driveway)		Video 00:03:50 – 00:04:13
Comments:			
Discussion:			
Action:	Approved	Motion: Dan	Unanimous

Item – 5	32 Lake Louise Dr, G2, New Construction, Resubmission		Video 00:35:48 – 01:22:52
Comments:	Address and resolve the following issues: 1.) Consider your neighbors perspective, 2.) Resolve the		
Discussion:	inconsistency of materials to be used, 3.) Consider and explore horizontal drilling versus excavation.		
Action:	Denied	Motion: Terry	Unanimous

Item – 6	81 Grand View Ln, G2, Ext Alt (Retaining Wall)		Video 00:04:20 – 00:05:08
Comments:			
Discussion:			
Action:	Approved	Motion: Terry	Unanimous

Item – 7	14 Woodpecker Pl, G2, New Construction Resubmission		Video 00:32:06 – 00:34:34
Comments:	The two trees shown on page 17 are to remain. Landscaping plans are on page 16.		
Discussion:			
Action:	Approved	Motion: Daniel	Unanimous



Item – 8	14 Woodpecker Pl, G2, Variance (Lot Cov & Side Setback) <i>Resubmission</i>		Video 00:32:06 – 00:34:59
Comments:			
Discussion:			
Action:	Approved	Motion: Patric	Unanimous

Item – 9	9 Whispering Cedars Ct, G2, Ext Alt (Paint)		Video 00:35:11 – 00:35:30
Comments:			
Discussion:			
Action:	Approved	Motion: Dan	Unanimous

Item – 10	14 Deer Run Ln, G3, Const Change (Retaining Wall) <i>Resubmission</i>		Video 00:06:12 – 00:06:50
Comments:			
Discussion:			
Action:	Approved	Motion: Dan	Unanimous

Item – 11	29 Maple Ct, G3, Fence (Pet) <i>Resubmission</i>		Video 00:27:27 – 00:31:54
Comments:			
Discussion:			
Action:	Approved	Motion: Patric	Unanimous

Item – 12	20 Tumbling Water Dr, G5, Ext Alt (Walkway) <i>Resubmission</i>		Video 00:05:27 – 00:06:02
Comments:			
Discussion:			
Action:	Approved	Motion: Terry	Unanimous

Item – 13	9 Sweetclover Cir, G5, Tree (Remove 1)		Video 01:23:07 – 01:23:33
Comments:			
Discussion:			
Action:	Approved	Motion: Terry	Unanimous

Item – 14	4 Loganberry Ln, G5, Ext Alt (Heat Pump)		Video 01:23:35 – 01:26:50
Comments:	Please pick your final installation location and plans for noise mitigation and resubmit your request.		
Discussion:			
Action:	Denied	Motion: Terry	Majority (Patric opposed)



Item – 15	4 Loganberry Ln, G5, Ext Alt (Plant Hangers)	Video 01:27:04 – 01:27:37
Comments:		
Discussion:		
Action:	Approved	Motion: Dan Unanimous

Item – 16	11 Little Strawberry Ln, G9, Ext Alt (Deck)	Video 01:27:53 – 01:28:18
Comments:		
Discussion:		
Action:	Approved	Motion: Dan Unanimous

Item – 17	52 Morning Glory Dr, G9, Ext Alt (Siding & Paint)	Video 01:28:22 – 01:29:26
Comments:		
Discussion:		
Action:	Approved	Motion: Patric Unanimous

Item – 18	34 Morning Glory Dr, G9, 1st Extension (New Home) <i>Six Months</i>	Video 00:07:03 – 00:07:34
Comments:		
Discussion:		
Action:	Approved	Motion: Patric Unanimous

Item – 19	5 Ravenwood Ct, G9, Ext Alt (Window)	Video 01:29:31 – 01:29:46
Comments:		
Discussion:		
Action:	Approved	Motion: Terry Unanimous

Item – 20	192 Polo Park Dr, G13, Tree (Remove 1)	Video 01:29:48 – 01:31:05
Comments:		
Discussion:		
Action:	Approved	Motion: Dan Unanimous

Item – 21	32 Canyon Ct, G13, Ext Alt (Hot Tub)	Video 01:31:13 – 01:32:23
Comments:	Please resubmit your request showing a privacy screen on the three exposed sides of the hot tub.	
Discussion:		
Action:	Denied	Motion: Dan Unanimous



Item – 22	65 Stable Ln, G13, Fence (Pet)	Video 00:08:24 – 00:18:35
Comments:	Please reconfigure and scale back the size of the fence. Please submit a Variance request as appropriate.	
Discussion:		
Action:	Denied	Motion: Dan Unanimous

Item – 23	190 Sudden Valley Dr, G9, 1st Extension (New Home) <i>Six Months</i>	Video 00:07:36 – 00:08:03
Comments:		
Discussion:		
Action:	Approved	Motion: Dan Unanimous

Item – 24	101 Polo Park Dr, G13, 1st Extension (New Home) <i>Six Months</i>	Video 01:33:05 – 01:33:17
Comments:		
Discussion:		
Action:	Approved	Motion: Dan Unanimous

Item – 25	137 Sudden Valley Dr, G13, Ext Alt (Deck)	Video 01:33:30 – 01:34:48
Comments:		
Discussion:		
Action:	Approved	Motion: Dan Unanimous

Item – 26	168 Harbor View Dr, G13, Ext Alt (Hot Tub)	Video 01:34:50 – 01:35:53
Comments:	Please resubmit your request showing a privacy screen on the fire pit side of the hot tub.	
Discussion:		
Action:	Denied	Motion: Daniel Unanimous

Item – 27	144 Harbor View Dr, G13, Tree (Remove 3)	Video 00:18:58 – 00:23:18
Comments:	Withdrawn	
Discussion:		
Action:		Motion:

Item – 28	24 Western Ln, G13, Ext Alt (Front Porch) <i>Resubmission</i>	Video 01:36:02 – 01:36:26
Comments:		
Discussion:		
Action:	Approved	Motion: Terry Unanimous



Item – 29	1953 Lake Whatcom Blvd, Tree (Remove 2)		Video 00:23:24 – 00:27:05
Comments:			
Discussion:			
Action:	Approved	Motion: Dan	Unanimous

Item – 30	72 Windward Dr, G1, New Construction <i>Resubmission</i>		Video 01:36:36 – 01:37:27
Comments:			
Discussion:			
Action:	Approved	Motion: Dan	Majority (Terry abstains)

Item – 31	72 Windward Dr, G1, Variance (Setback)		Video 01:36:36 – 01:37:27
Comments:			
Discussion:			
Action:	Approved	Motion: Dan	Majority (Terry abstains)

Item – 32	65 Stable Ln, G13, Variance (Setback)		Video 00:08:24 – 00:18:35
Comments:			
Discussion:			
Action:	Denied	Motion: Dan	Unanimous

Item – 33	Executive Session		Video 00:01:30 – 00:01:55
Comments:			
Discussion:			
Action:	Approved	Motion: Terry	Unanimous

Meeting Adjourned at 8:10 PM

Rec'd 07/14/2026
11:45 AM

Item 4
Pg 1 of 2

Sudden Valley Community Association Tree/Vegetation Trimming and/or Removal Request^{G1}

Street Address: 48 North Point Div 12 Lot 127
Owner: Tony Quelch
Mailing Address: Same
Phone: 425-341-4529 Email: gqueam@msn.com

All trees must be clearly flagged (no spray paint) before applying.

Requests will *not be considered if flagging is missing* OR if street address isn't clearly displayed on residence.

IMPORTANT NOTE: Within an individual's clearly distinguished property boundaries, routine maintenance can be performed and is encouraged **without** ACC permission. This includes the pruning of **dead branches** and those branches that are **6" or less in diameter**. Removal of those branches **may not exceed 30%** of the foliage density of an individual specimen. Small trees, branches and vegetation **10" or less in diameter and within 10' of a residential structure** may be removed without ACC approval.

**** Per Whatcom County Canopy Retention Regulation effective October 22, 2016 any significant tree being removed in Lake Whatcom Watershed requires county permit. Significant is defined as evergreen trees 12" in diameter or greater and deciduous 8" in diameter or greater. Any limbing 25% and under does not require a county permit. If a county permit is required for you proposed tree removal/ limbing request, please attach your approved county permit to this application. ****

1 Number of trees/shrubs
1 # Removal # Limbing

Type:

1 Fir Cedar Hemlock
 Alder Maple Other

Check any that apply:

1 Property or personal danger
 Dead/Diseased
 Leaning
1 Roots exposed
1 On a slope
 Creation/maintenance of view

 Replanting trees/shrubs
 right of way?

 Located on SVCA property

 Located on neighbor's property - *For trees that are not on the applicant's property, written permission from the owner is required **prior** to submittal.*



Please refer to ACC Guideline 14.10 for more information.

Give a full description, the reason for the requested action and diameter on each tree, and attach any additional information if needed:

Breaking/Cracking Driveway making it unsafe

This request form in no way constitutes an approval from the ACC or Whatcom County. You MUST receive written approval and an SVCA permit before commencing any work.

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: Tony Quelch

Date: 7/13/2026

Staff Comments: _____

Item 4
Pg 2 of 2

Staff Signature: _____

Date: _____

NOTE: This was filled out by Christopher Hunsaker, Lead Arborist at Earthworks Tree Service.
Phone: 360-393-5463
Email: christopher@earthworkstreeservice.com
Address: 7 Huckleberry Ct.



Rec'd 07/09/2026
3:56 PM

Sudden Valley Community Association Extension and Re-Approval Request

Item 5
Pg 1 of 1
G1

Street Address: 5 Spinnaker LN, Bellingham WA 98229 Div 21 Lot 72
Owner: Rubicon IDX L.L.C.
Mailing Address: 1050 Larrabee Ave Suite 104 PMB 760
Phone: (360) 318-4825 Email: rubiconidx@gmail.com

**Requests will not be considered unless the street address is clearly displayed on the residence.
Please note that in the week(s) following request submittal, ACC members may visit and review property.**

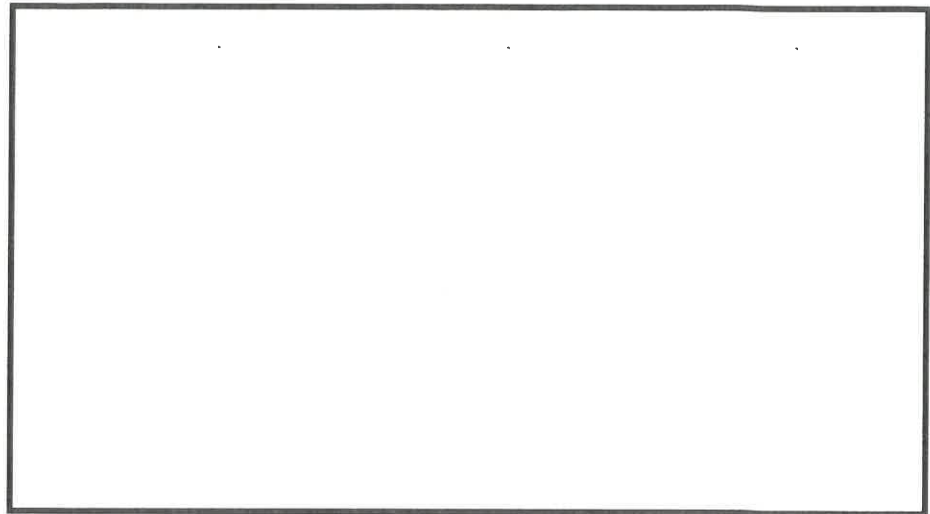
Requested for:

- ☒ Extension
☐ Re-approval

The change would affect:

- ☐ Start date
☒ Completion date

**Please refer to ACC Guideline
14.8 for more information.**



Give a full description of the request, a detailed timeline, and attach any additional information if needed: We are not going to meet the completion date of August 8th for 5 Spinnaker LN. We are currently on track to finish in August, so we would like to apply for an extension.

This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.

Owner Signature: _____ **Date:** _____

AC Staff Comments: _____

Rec'd 07/30/2026
7:14 AM

Sudden Valley Community Association Construction Change Request

Item 6
Pg 1 of 1
G1

Street Address: 5 Spinnaker Ln, Bellingham WA 98229

Div 21

Lot 72

Owner: Rubicon IDC L.L.C

Mailing Address: 1050 Larrabee Ave Suite 104 PMB 760

Phone: (360) 338-3529

Email: ~~rubicon@rubiconidc.com~~

Requests will not be considered unless the street address is clearly displayed on the residence.
Please note that in the week(s) following request submittal, ACC members may visit and review property.

Requested for:

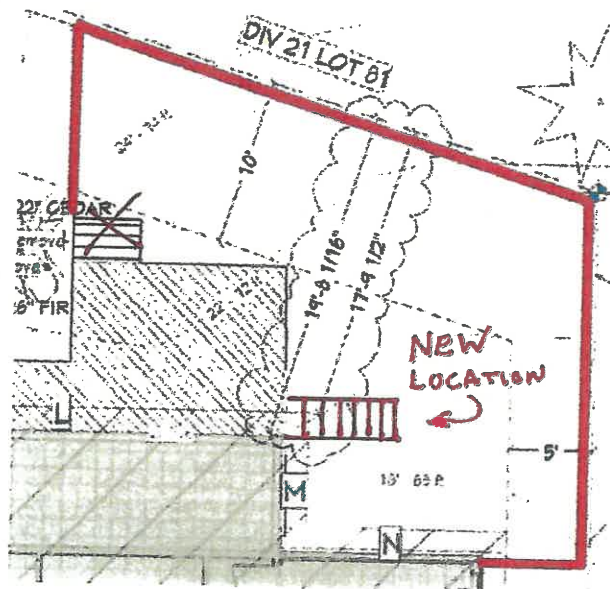
- ☐ Existing home
☒ New construction

The change would affect:

- ☒ Exterior appearance
☐ Drainage/Erosion control
☐ Open space & Lot coverage
☐ Setbacks to property line
☐ Structure height

Please refer to ACC Guidelines
14.2 and 14.11 and for more
information.

Please See Attachment Below



We are requesting approval to move the stairs for the back deck from the back to the side of the deck. This is necessary because the original location would intrude upon the setback due to the deck being higher than anticipated.

This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: Matthew Lynch

Date: 7/30

Rec'd 07/26/2026
12:15 PM

Sudden Valley Community Association Exterior Alteration Request

Item 7
Pg 1 of 11
G1

Street Address: 98 Windward Drive Div 23 Lot 79
Owner: John Misasi
Mailing Address: 98 Windward Drive
Phone: (509) 948-1614 Email: john.misasi@gmail.com

**Requests will not be considered unless the street address is clearly displayed on the residence.
Please note that in the week(s) following request submittal, ACC members may visit and review property.**

Requested for:

- ☒ Existing home
☐ New construction

The change would affect:

- ☒ Exterior appearance
☐ Drainage/Erosion control
☐ Open space & Lot coverage
☐ Setbacks to property line
☐ Structure height

**Please refer to ACC Guidelines
14.2 and 14.11 and for more
information.**

We are requesting to build a 367 square foot deck off the daylight basement of our home.

The deck build has been started, but was paused immediately at the request of SV Compliance Manager Allen Helvajian to ensure proper approvals are obtained from both SV and the county.

This deck will improve the use of space under the existing deck, provide additional useable storage area, and add value to our home, all while being minimally visible and not requiring any removal of trees. A retaining wall at the edge of the deck will be added to provide access to the underside of the deck for additional storage (for things like kayaks and ladders). The retaining wall is only for access to the deck and will not be structural for the deck design.

The new deck will be attached to the backside of our home and will be accssed via our daylight basement or a set of stairs facing South. This deck will build upon some existing footings that were installed before we purchased the home. We assume these footings were built for an intended deck that was never completed by the previous owner, but are built to code.

The deck will be designed to meet Whatcom county building codes including but not limited to, live and dead loads, soil bearing capacity, heights, and will maintain the exterior appearance of our current home. The deck and retaining wall design are currently being confirmed by Tyson Engineering. The site plan and other site regulatory information is being provided by Northwest Surveying & GPS.

The deck will be framed with pressure treated lumber, decked with Trex Honey Grove composite lumber, and the railings will be black Trex composite.

Give a full description of the request and attach any additional information if needed:

Additional design and planning information and details are attached to this form.

This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

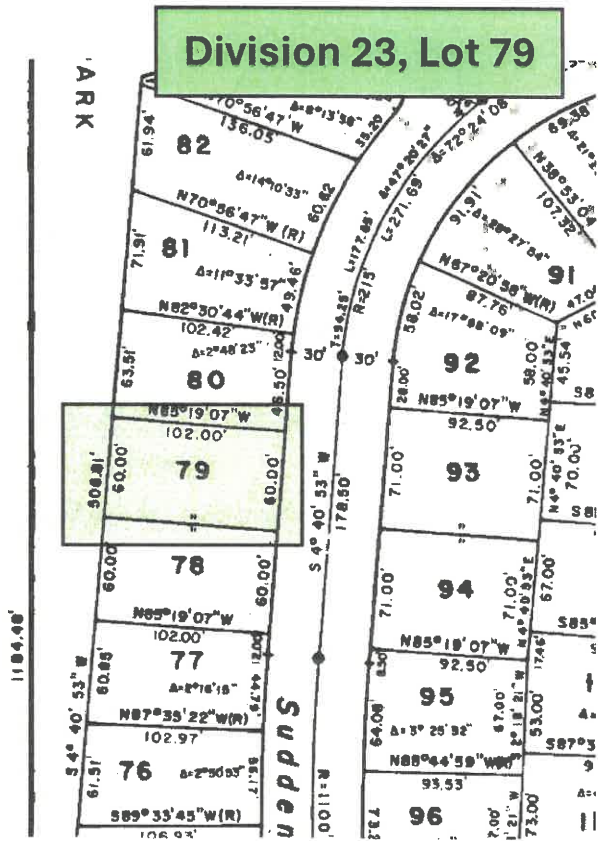
Owner Signature: John Misasi

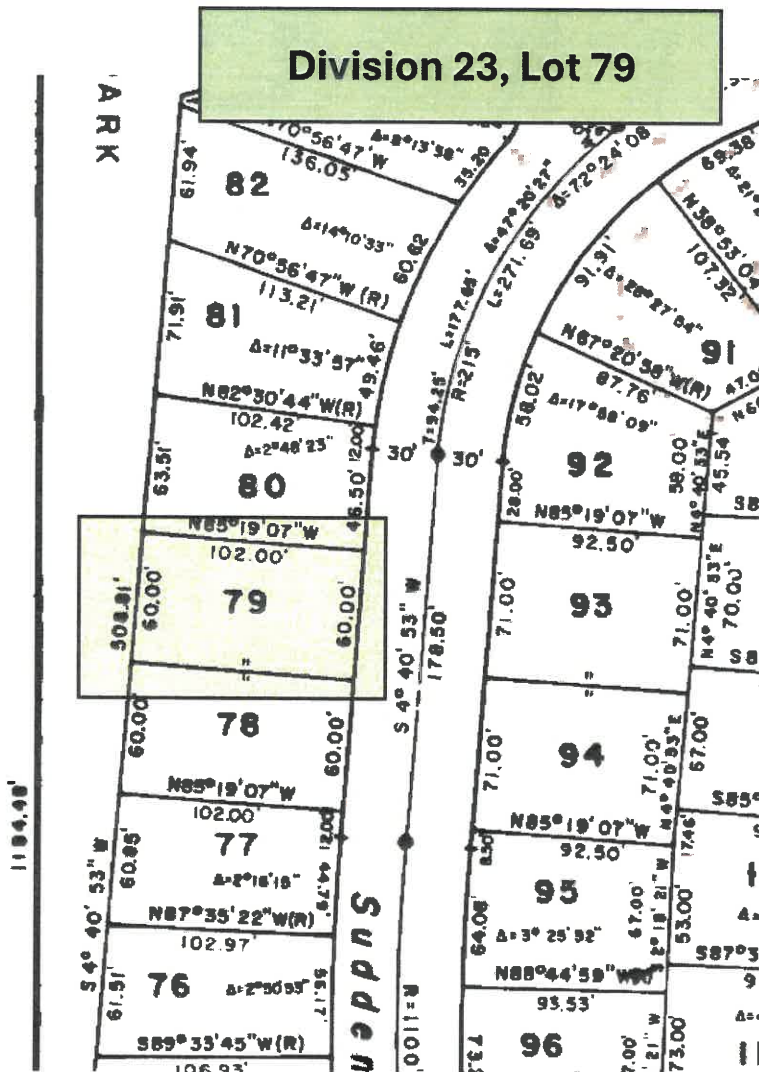
Date: 7/2/26

98 Windward Drive New Deck Proposal



Property Location





Site & Lot Requirements

Open Space Requirements

- Lot Size = 6120 ft²
- House Footprint = 1008 ft²
- Old Deck Footprint = 576 ft²
- New Deck Footprint = 367 ft²
- Total Lot Footprint = 1951 ft²
- Percentage Covered Space = 32%
- Percentage Open Space = 68%

Site & Lot Requirements

HOUSE

Right Side

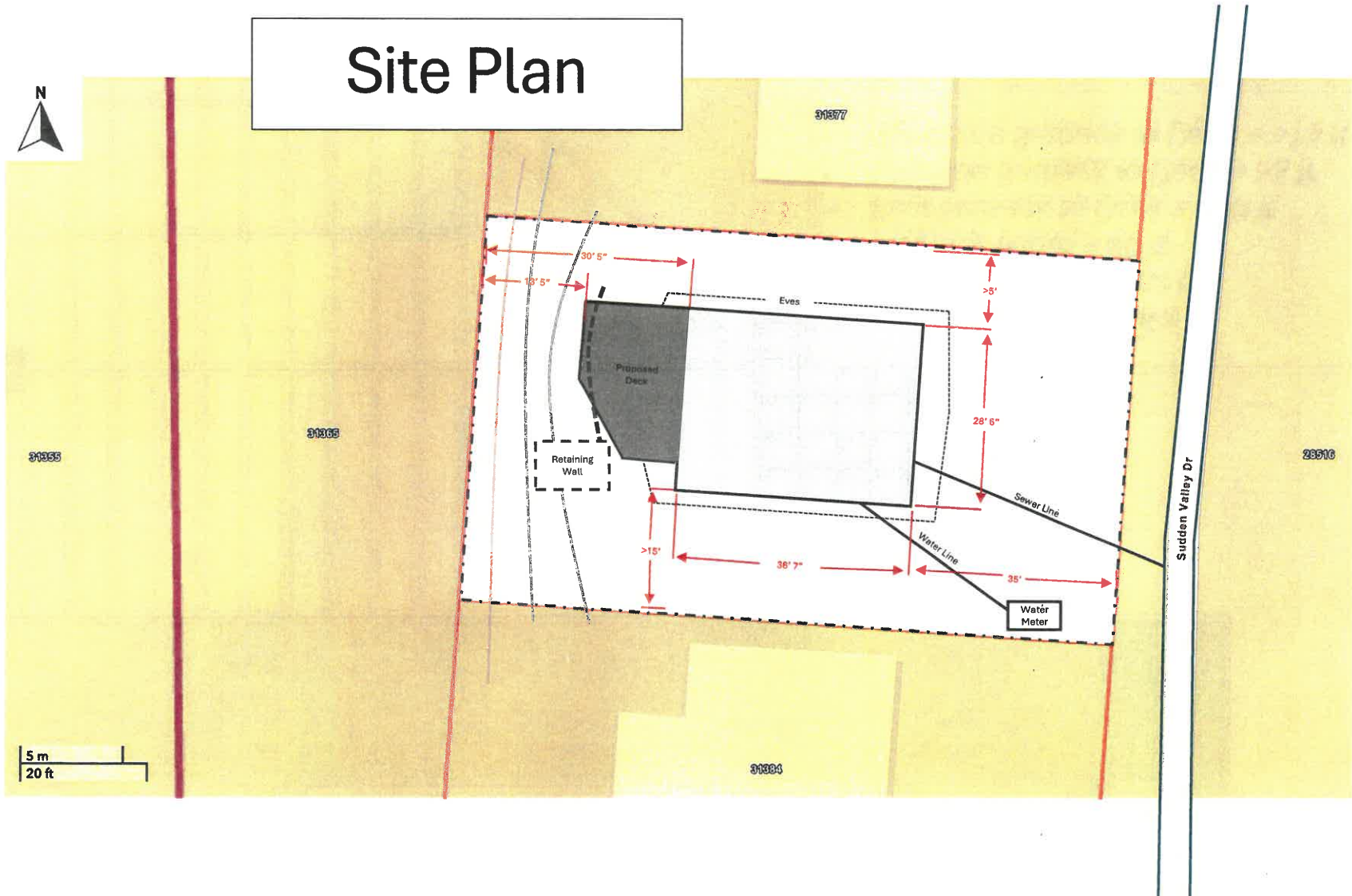
Left Side

Rear

Setbacks

- Property Length = 102 ft
- Property Width = 60 ft
- Rear Setback to Deck = >10 ft
- Left Side Setback to Deck = >5 ft
- Right Side Setback to Deck = >15 ft

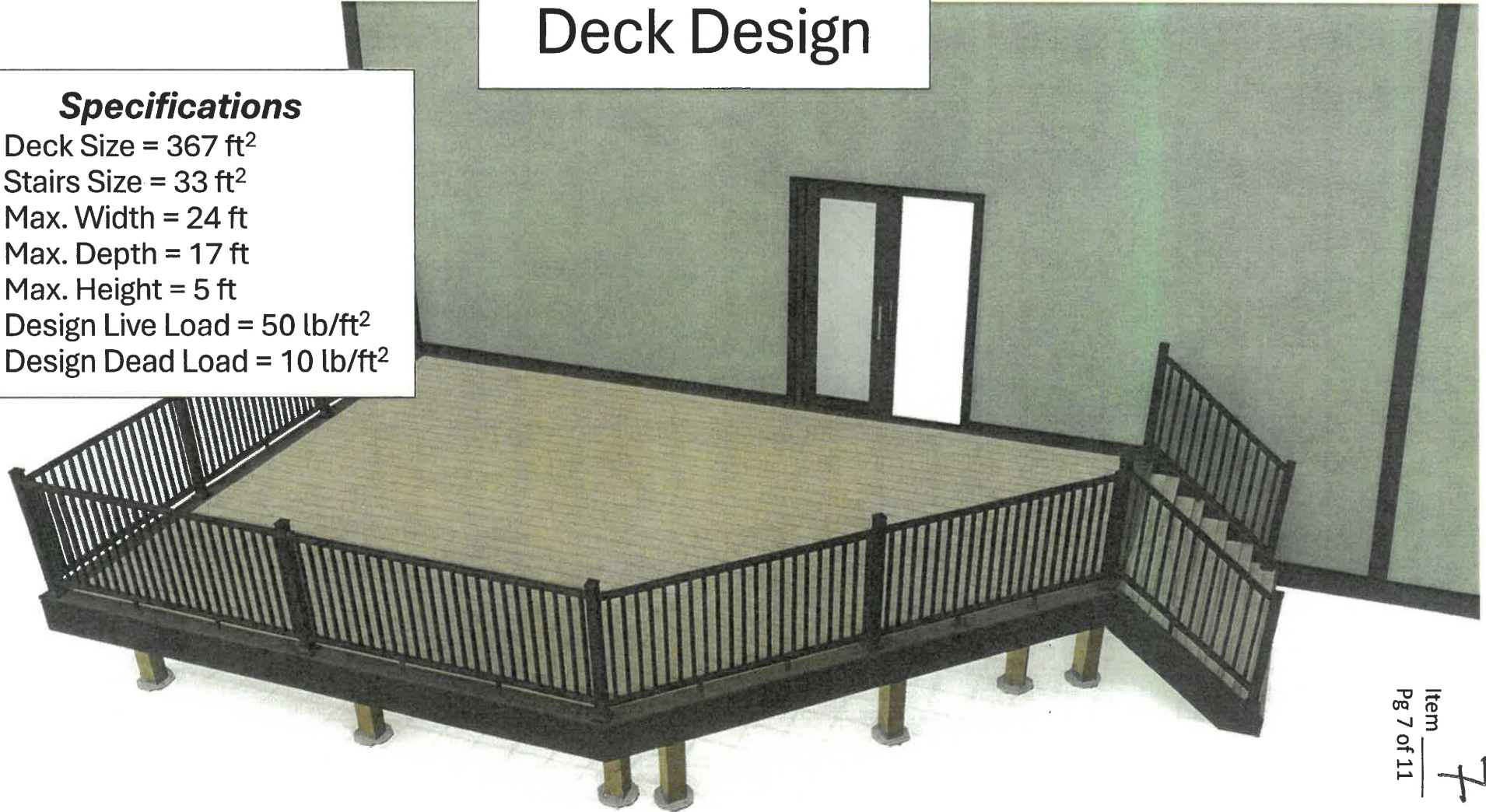
Site Plan

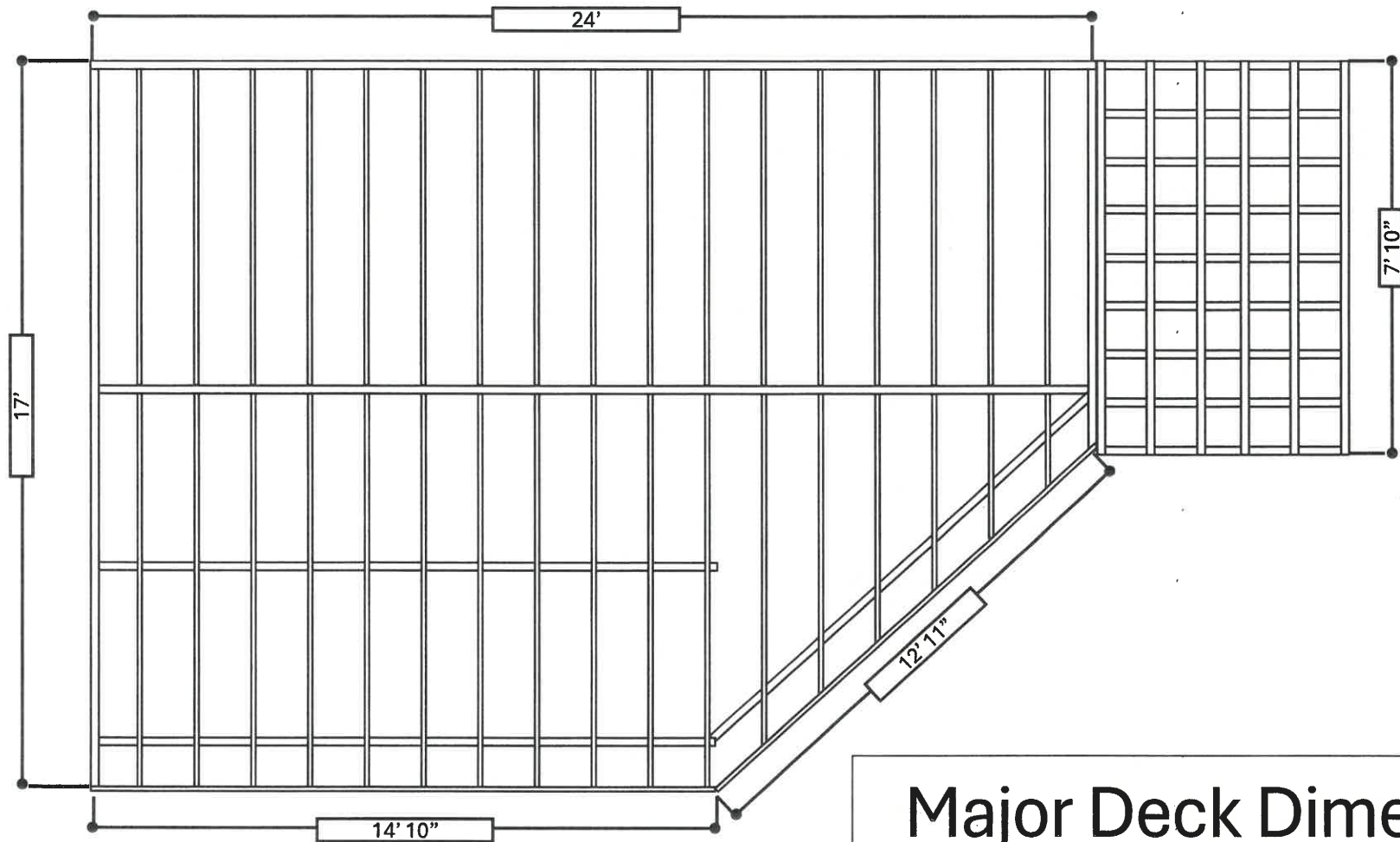


Deck Design

Specifications

- Deck Size = 367 ft²
- Stairs Size = 33 ft²
- Max. Width = 24 ft
- Max. Depth = 17 ft
- Max. Height = 5 ft
- Design Live Load = 50 lb/ft²
- Design Dead Load = 10 lb/ft²





Major Deck Dimensions

Deck Design

Maintaining Exterior Consistency

Current Home Design

- Body Color = Jade Dragon (Green)
- Trim Color = Black
- Window Color = Black
- Decking Material = Trex
- Decking Color = Light Brown
- Railing & Baluster Material = Trex
- Railing & Baluster Color = Light Brown

New Deck Design

- Decking Material = Trex Composite
- Decking Color = Honey Grove
- Railing & Baluster Material = Trex Composite
- Railing & Baluster Color = Black



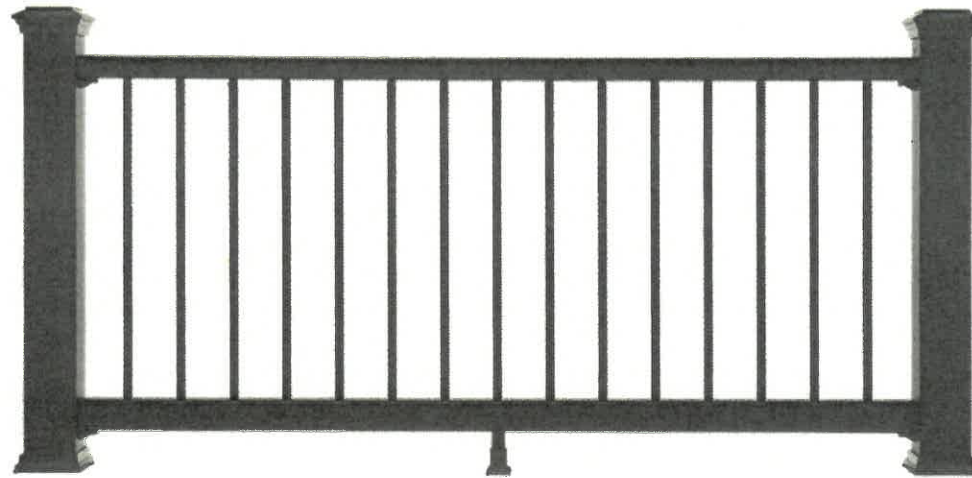
Trex Honey Grove Decking Color



Trex Enhance®
NATURALS



Trex Railing & Baluster Design



Rec'd 07/30/2026
6:51 AM

Sudden Valley Community Association Exterior Alteration Request

Item 8
Pg 1 of 2
G1

Street Address: 9 Par Lane

Div 32

Lot 8-9-10

Owner: Patric & Margaret Zwolenski

Mailing Address: 9 Par Lane, Bellingham, WA 98229

Phone: [REDACTED]

Email: [REDACTED]

**Requests will not be considered unless the street address is clearly displayed on the residence.
Please note that in the week(s) following request submittal, ACC members may visit and review property.**

Requested for:

- ☒ Existing home
☐ New construction

The change would affect:

- ☒ Exterior appearance
☐ Drainage/Erosion control
☐ Open space & Lot coverage
☐ Setbacks to property line
☐ Structure height

**Please refer to ACC Guidelines
14.2 and 14.11 and for more
information.**

See Attached



Give a full description of the request and attach any additional information if needed:

We want to replace our 2 old grey garage doors with 2 new black thermocore doors. Attached is a picture of our current doors, the order from Overhead Garage Door, and 2 drawings showing the 12 foot and 14 foot doors with windows across the top.

This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.

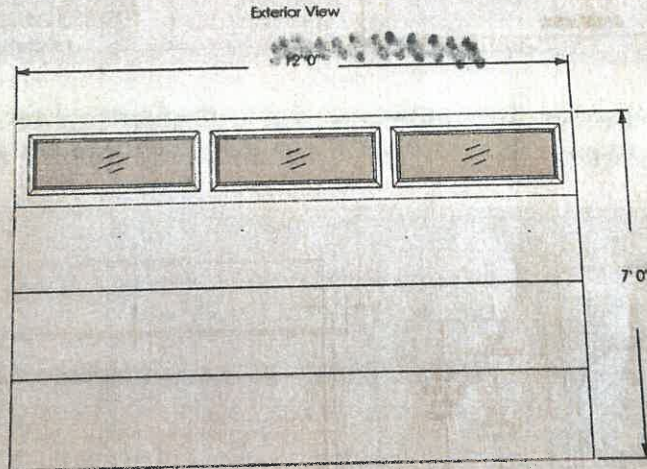
Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: Patric Zwolenski

Date: July 30, 2026

The Genuine. The Original.
OVERHEAD DOOR

Last Change: 7/27/2026 11:34 AM
PST



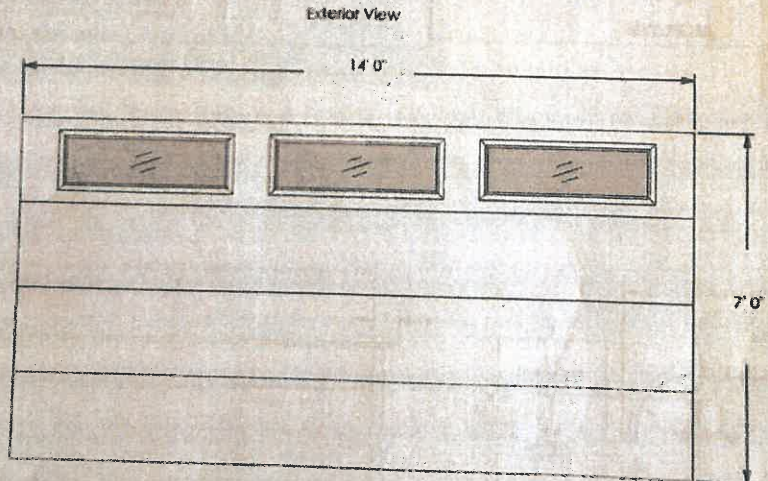
Model: 5740 - Thermacore 1-3/8"
Design: Flush Panel Color: Black
Door Width & Height (Ft): 12'0" x 7'0"

Window Style: Clear II
Options:

Item 8
Pg 2 of 2

The Genuine. The Original.
OVERHEAD DOOR

Last Change: 7/27/2026 11:35 AM
PST



Model: 5740 - Thermacore 1-3/8"
Design: Flush Panel Color: Black
Door Width & Height (Ft): 14'0" x 7'0"

Window Style: Clear II
Options:

Rec'd 07/30/2026
10:42 AM

Sudden Valley Community Association Variance Request

Street Address: 4 Sanwick Pt Ct. Bellingham Wa 98229

Div 33 Lot 1

Owner: Rubicon IDC LLC

Mailing Address: 1050 Larrabee Ave Suit 104 PMB 760 Bellingham Wa 98225

Phone: 360-318-4825 Email: rubiconidc@gmail.com

Requests will not be considered unless the street address is clearly displayed on the residence.
Please note that in the week(s) following request submittal, ACC members may visit and review property.

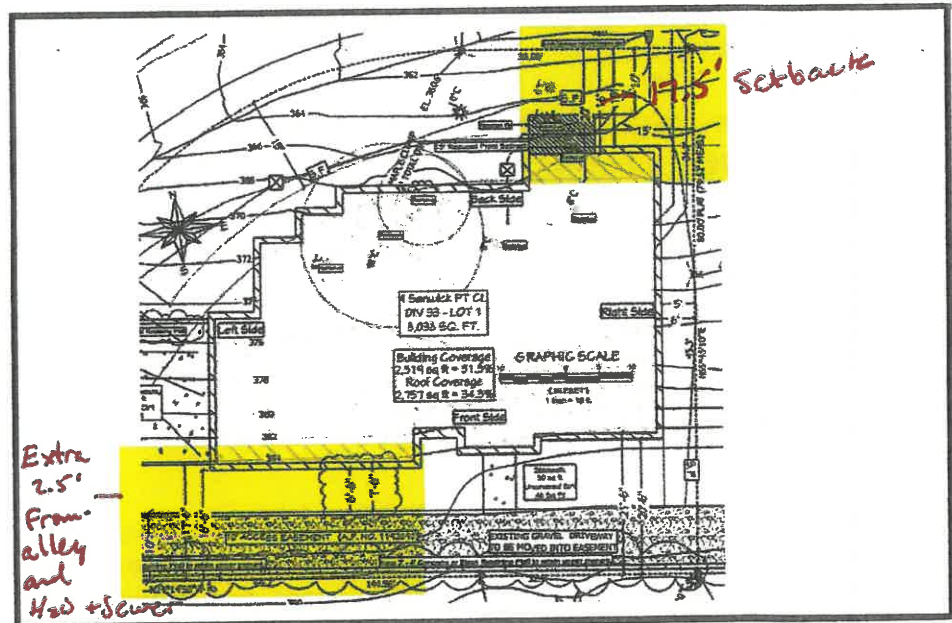
Requested for:

- ☐ New construction
- ☐ Existing home
- ☐ Other

The variance would affect:

- ☐ Exterior appearance
- ☐ Drainage/Erosion control
- ☐ Open space & Lot coverage
- ☐ Tree/Vegetation removal
- ☒ Setbacks to property line
- ☐ Interior living space
- ☐ Structure height

Please refer to ACC
Guideline 14.8.12 for
more information.



Give a full description of the request and need for the variance:

We are requesting a ^{2.5'} reduction to the 20' Front Yard Setbacks. *to match what was approved by whatcom county.*

See attached Comment-Request letters from the 3 Property Owner using the 10' Ingress and Egress Easement.

The granting of this Easement is in the best interest of all 5 owners that will be accessing this Easement and protection of Main LWWS Districts Sewer Line located in this Easement.

VARIANCE will allow vehicle traffic to remain "open" to neighbor's house for more time during construction.

Setback reduction from 20' to 17.5' along Sanwick Pt Rd. House is already much higher than road so is protected/removed from visual impact.

This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.

Owner Signature: Matt Lynel

Date: 7-30-26

AC Staff Comments:

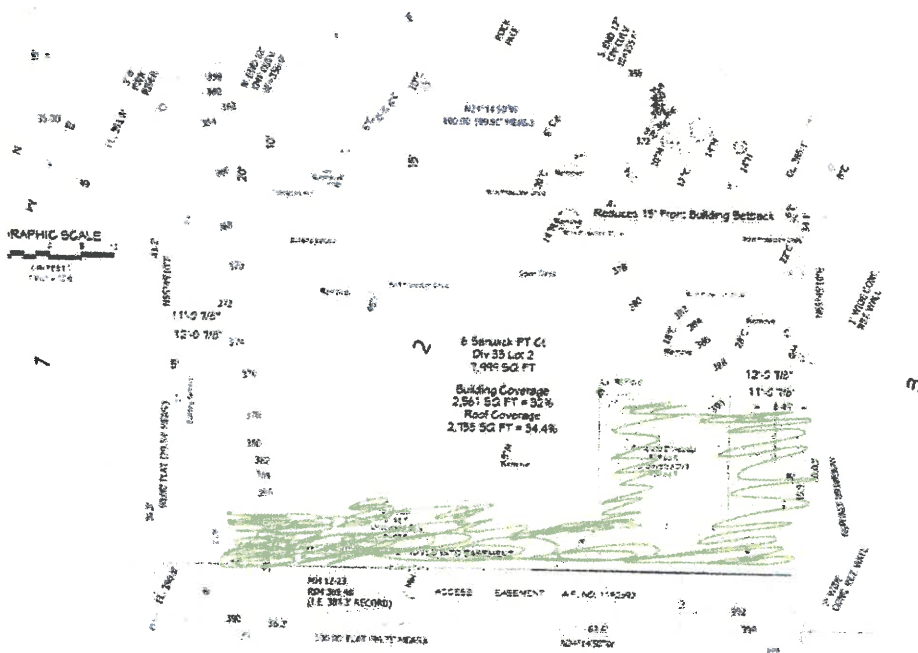
Letter in Support of Rubicon's Variance Request to Reduce the Front Yard Setback for 4 and 6 Sanwick from 20ft. to 15 ft.

Rubicon has identified three advantages of approving this variance.

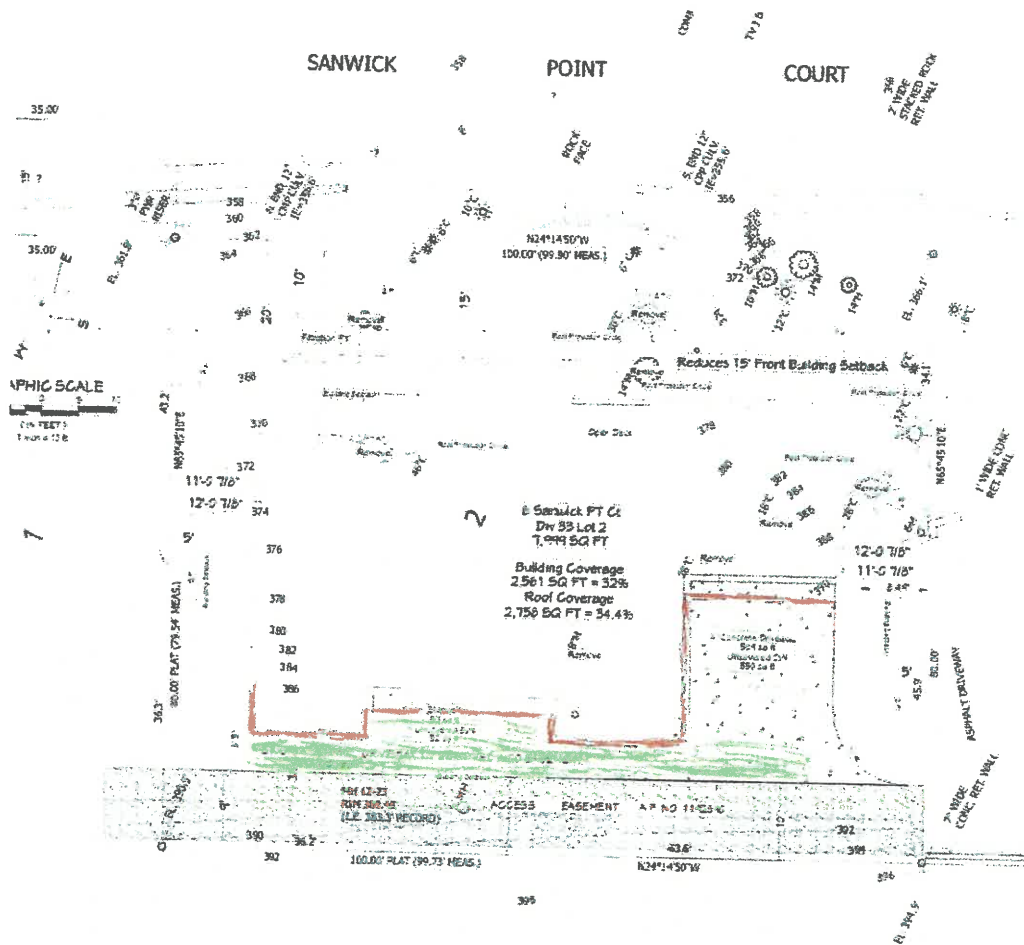
Item 9
Pg 2 of 5

1. The distance between the shared alley access and the new homes will be greater, allowing for safer passage of vehicles utilizing this easement
2. During construction there will be a greater distance between construction and the access easement resulting in:
 - a. Greater margins of safety as vehicles transit the construction site
 - b. Larger distances between the excavation over dig, the foundation wall, and the structure. This will allow more space for required equipment and supplier deliveries and will reduce the chance of impeding neighbors transit
3. A main sewer line runs within the easement area. Approving the setback variance provides a larger safety factor and separation between foundation excavation and the utility trench. This will decrease the chance that any service will be compromised by a need to re-route or repair any utility infrastructure.

6 Sanwick with approved variance: site plan showing a minimum of 8 ft 6 inches between the structure and the alley easement possible with an approved variance (the green represents the distance between the structure and the easement)



6 Sanwick plan without approved variance: showing a 5 ft separation between the structure and the alley easement without an approved front yard variance. (The red line represents the location of the structure required if a variance is not approved. The green area is the distance separating the structure from the alley and has been reduced to 5 ft.)



Item 9
Pg 3 of 5

I ask that the Sudden Valley ARC support Rubicon's variance request to reduce the front yard side setback from 20ft. to 15ft.

John Michael Meehan

8 Sanwick Pt. Ct.

Name

signature

address

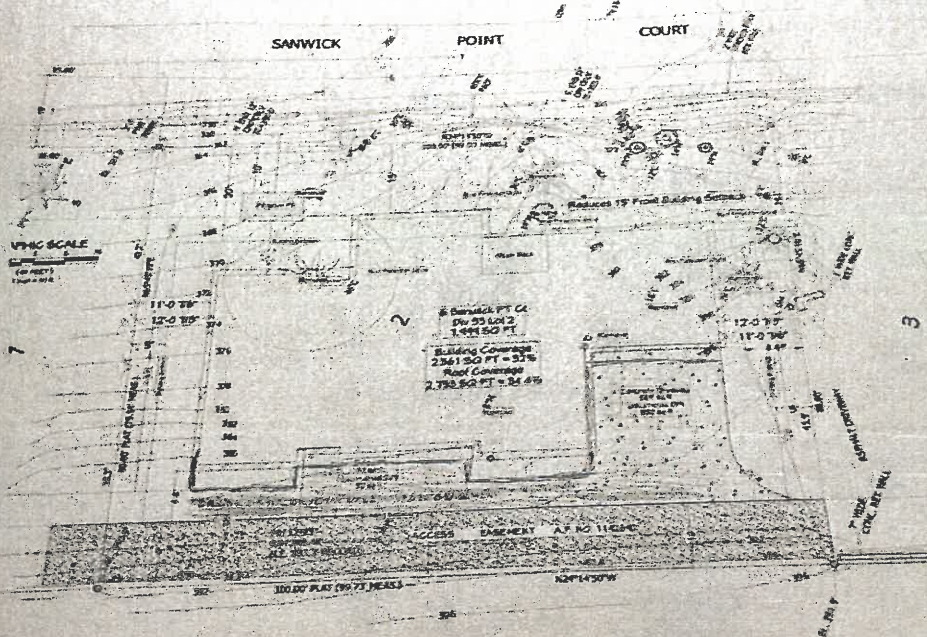
date
1/29/2025

JMICHAELMEEHAN@GMAIL.COM

6 Sanwick plan without approved variance: showing a 5 ft separation between the structure and the alley easement without an approved front yard variance. (The red line represents the location of the structure required if a variance is not approved. The green area is the distance separating the structure from the alley and has been reduced to 5 ft.)

display on your
times as low

Item 9
Pg 4 of 5



I ask that the Sudden Valley ARC support Rubicon's variance request to reduce the front yard side setback from 20ft. to 15ft.

Joan Kogelschatz

10 Sanwick Pointe Court

1/29/2025

name

signature

address

date

**Letter in Support of Rubicon's Variance Request to Reduce the Front Yard Setback for
4 and 6 Sanwick from 20ft. to 15 ft.**

Item 9
Pg 5 of 5

Rubicon has identified three advantages of approving this variance.

1. The distance between the shared alley access and the new homes will be greater, allowing for safer passage of vehicles utilizing this easement
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3. A main sewer line runs within the easement area. Approving the setback variance provides a larger safety factor and separation between foundation excavation and the utility trench. This will decrease the chance that any service will be compromised by a need to re-route or repair any utility infrastructure.

I would add a fourth advantage to approving this variance: the requested offset would be beneficial to the daily lives of the residents of 6 Sanwick as there would be greater distance from their dwelling and the vehicles using the easement on a daily basis.

I ask that the Sudden Valley ARC support Rubicon's variance request to reduce the front yard side setback from 20ft. to 15ft.

Mark Cianca



12 Sanwick Point Court

1/30/25

Name

signature

address

date

Minutes from the ACC Meeting on 02/20/2025.

Item – 5	4 Sanwick Pt Ct, G1, Variance (Setback) <i>Resubmission</i>		Video 00:49:56 – 00:56:49
Comments:	The house will fit on the property without this Variance		
Discussion:			
Action:	Denied with Comments (Jo Jean & Patric Approved & Dan and Daniel Denied)	Motion: Jo Jean	Failed on a Tie Vote

Rec'd 07/30/2026
10:42 AMSudden Valley Community Association
Variance RequestItem 10
Pg 1 of 5
G1

Street Address: 6 Sanwick Pt Ct. Bellingham Wa 98229

Div 33 Lot 2

Owner: Rubicon IDC LLC

Mailing Address: 1050 Larrabee Ave Suit 104 PMB 760 Bellingham Wa 98225

Phone: 360-318-4825 Email: rubiconidc@gmail.com

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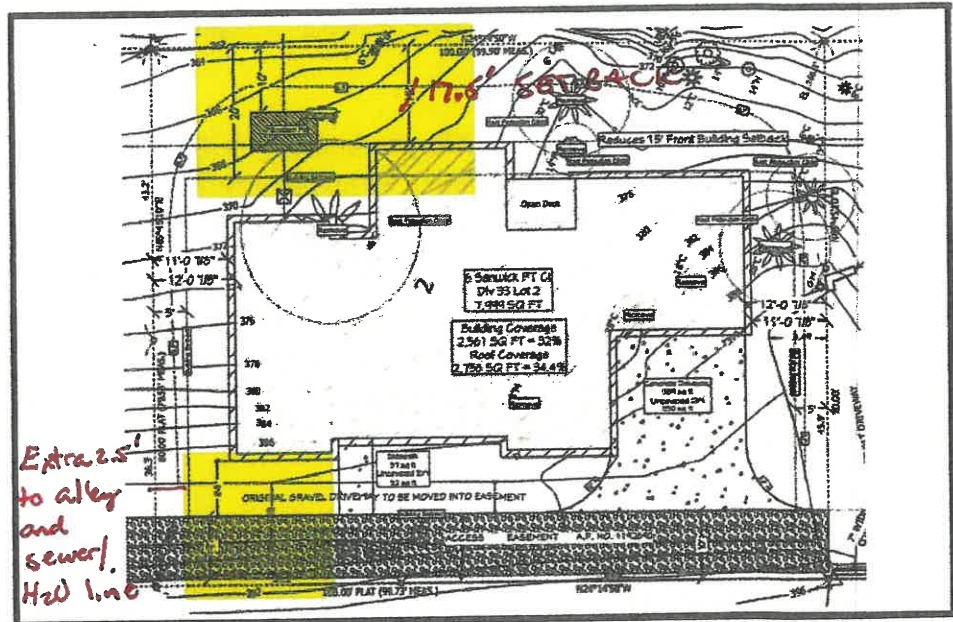
Requested for:

- ☐ New construction
☐ Existing home
☐ Other

The variance would affect:

- ☐ Exterior appearance
☐ Drainage/Erosion control
☐ Open space & Lot coverage
☐ Tree/Vegetation removal
☒ Setbacks to property line
☐ Interior living space
☐ Structure height

Please refer to ACC
Guideline 14.8.12 for
more information.



Give a full description of the request and need for the variance:

We are requesting a ^{2.5'} reduction to the 20' Front Yard Setbacks. *to match what was approved by Whatcom County.*

See attached Comment-Request letters from the 3 Property Owner using the 10' Ingress and Egress Easement.

The granting of this Easement is in the best interest of all 5 owners that will be accessing this Easement and protection of Main LWW Districts Sewer Line located in this Easement.

• Note

- Variance will allow alley to remain "open" to neighbor's vehicle access for longer time during construction.
- Setback From 20' to 17.5' along Sanwick. No vehicle access & lot is also much higher than road.

This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.

Owner Signature: Matt LyneDate: 7-30-26

AC Staff Comments:

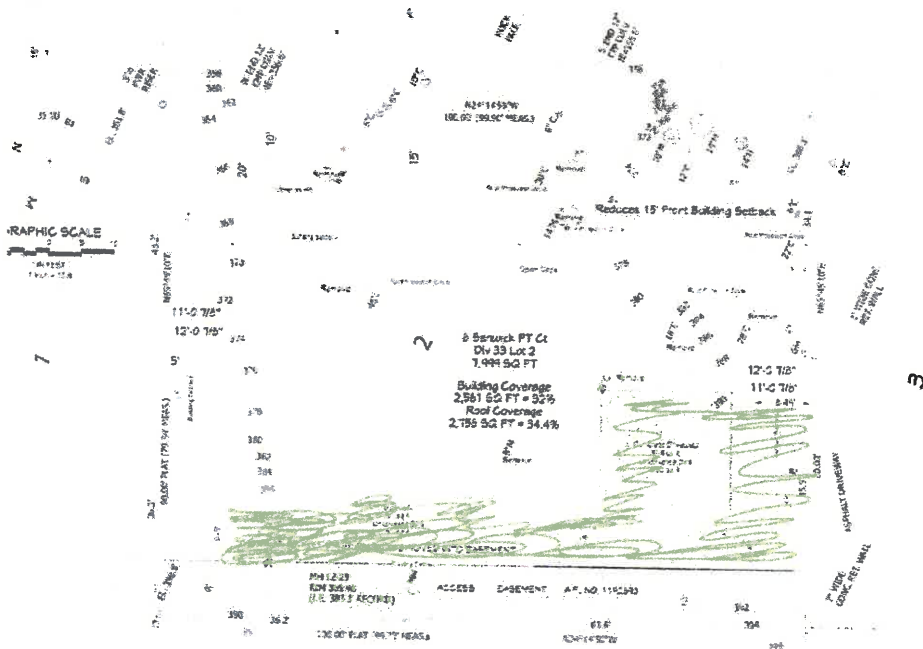
Letter in Support of Rubicon's Variance Request to Reduce the Front Yard Setback for 4 and 6 Sanwick from 20ft. to 15 ft.

Item 10
Pg 2 of 5

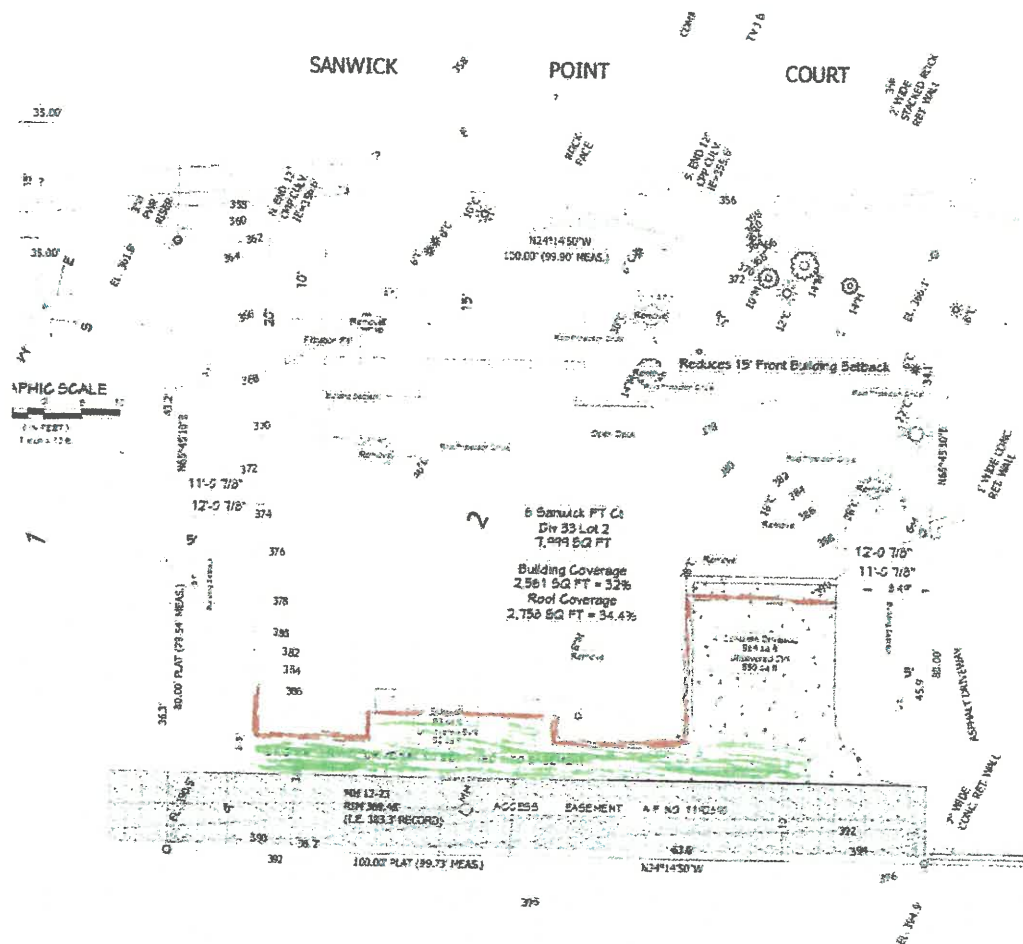
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Item 10
Pg 3 of 5

I ask that the Sudden Valley ARC support Rubicon's variance request to reduce the front yard side setback from 20ft. to 15ft.

John Michael Meehan

8 Sanwick Pt. Ct.

Name

signature

address

date

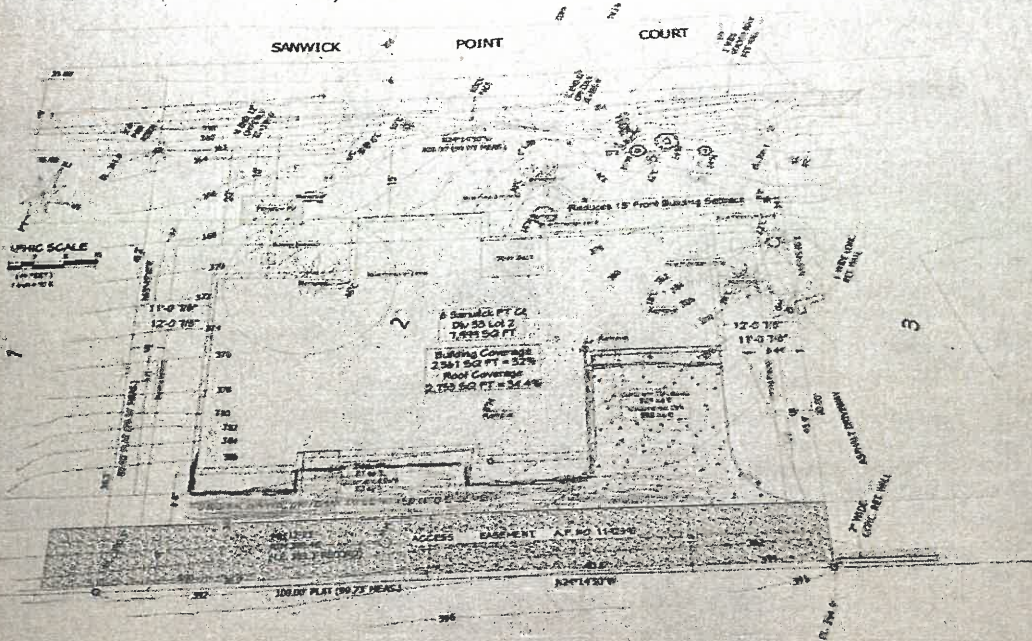
1/29/2025

JMICHAELMEEHAN@GMAIL.COM

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display on your
screen as low

Item 10
Pg 4 of 5



I ask that the Sudden Valley ARC support Rubicon's variance request to reduce the front yard side setback from 20ft. to 15ft.

Joan Kogolschatz

10 Sanwick Pointe Court

1/29/2025

name

signature

address

date

**Letter in Support of Rubicon's Variance Request to Reduce the Front Yard Setback for
4 and 6 Sanwick from 20ft. to 15 ft.**

Item 10
Pg 5 of 5

Rubicon has identified three advantages of approving this variance.

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 - a. Greater margins of safety as vehicles transit the construction site
 - b. Larger distances between the excavation over dig, the foundation wall, and the structure. This will allow more space for required equipment and supplier deliveries and will reduce the chance of impeding neighbors transit
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I ask that the Sudden Valley ARC support Rubicon's variance request to reduce the front yard side setback from 20ft. to 15ft.

Mark Cianca



12 Sanwick Point Court

1/30/25

Name

signature

address

date

Minutes from the ACC Meeting on 02/20/2025.

Item – 5	4 Sanwick Pt Ct, G1, Variance (Setback) <i>Resubmission</i>		Video 00:49:56 – 00:56:49
Comments:	The house will fit on the property without this Variance		
Discussion:			
Action:	Denied with Comments (Jo Jean & Patric Approved & Dan and Daniel Denied)	Motion: Jo Jean	Failed on a Tie Vote

RECEIVED

JUL 09 2026
@ 2:13 PM

Sudden Valley Community Association
Exterior Alteration Request

Item 11
Pg 1 of 2
G2

Street Address: 11 Marigold Drive Bellingham WA 98229

Div 07 Lot 060

Owner: Christopher & Lyvalene Gellys

Mailing Address: 11 Marigold Drive Bellingham WA 98229

Phone: ~~206-200-1111~~

Email: ~~christopher.gellys@bellinghamwa.gov~~

Requests will not be considered unless the street address is clearly displayed on the residence.
Please note that in the week(s) following request submittal, ACC members may visit and review property.

Requested for:

- ☒ Existing home
☐ New construction

The change would affect:

- ☒ Exterior appearance
☐ Drainage/Erosion control
☐ Open space & Lot coverage
☐ Setbacks to property line
☐ Structure height

**Please refer to ACC Guidelines
14.2 and 14.11 and for more
information.**

Please see attached photos.

Give a full description of the request and attach any additional information if needed:

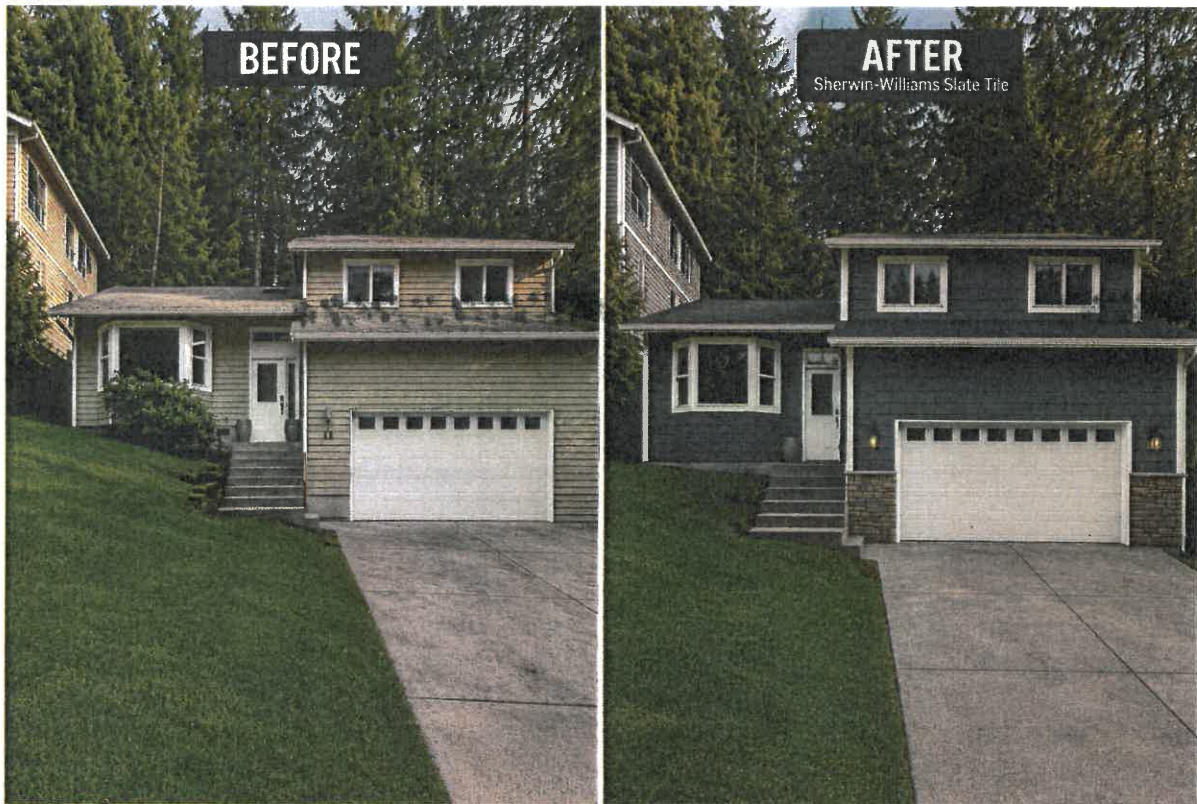
Please see attached description and photos.

This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: ca. slgo

Date: 7/7/26



Item 11
Pg 2 of 2

The proposed exterior improvements are limited to aesthetic enhancements intended to modernize the appearance of the home while maintaining its existing architectural design. The primary modification consists of repainting the exterior siding using **Sherwin-Williams Slate Tile (HGSW 7624)** as the primary body color, with **Sherwin-Williams Bohemian Lace (HGSW 4052)** used for the trim and accent areas. The new color palette provides a contemporary appearance while complementing the surrounding neighborhood.

Prior to painting, a decorative stone veneer will be installed on the front elevation of the home. **El Dorado Stone – Shadow Rock Bronze** will be applied to both sides of the garage door, extending approximately **four (4) feet in height**. This stone installation will be completed by the homeowner before the painting work begins.

The exterior painting will be professionally completed by **Hilltop Painting** during the **first week of September**, following completion of the stone installation. No structural modifications are proposed, and all improvements are limited to exterior finish materials designed to enhance the home's curb appeal while maintaining the existing footprint and architectural character.



Slate Tile
HGSW7624



Bohemian Lace
HGSW4052



Shadow Rock - Bronze

- 1 +





Rec'd 07/30/2026

11:24 AM

APPLICATION FOR NEW CONSTRUCTION

Item 12

Pg 1 of 21

Circle Type:	Home Construction	Remodel	Addition	Other (Describe):	G2
Street Address:	32 Lake Louise Dr			Div/Lot	
Owner(s) Name(s):	Eduard Danch				
Mailing Address:	41 Maple Ct Belingham WA 98229				
Email Address:	dancheduard@gmail.com		Cell Phone:	360-510-0982	
			Work Phone:		

CONTRACTOR: AC Inspector **MUST BE** contacted for inspection 24 hours prior to all inspections by completing an ACC Inspection Request form. Required inspections are:

- Installation of erosion control measures
- Setbacks prior to pouring of any concrete for either slab or foundation/forms
- Installation of driveway and/or apron
- Completion of work and occupancy of home

I have read and understand the Sudden Valley Community Association Architectural Control Policies.

Contractor Signature:	<i>Willy</i>		Date:	4/8/26
Company Name:	SW Movement llc		License:	
Mailing Address:				
Email Address:	Cell Phone:	Office Phone:		

Bank or Loan Agency:			
Valuation of Structure: \$	Square Footage:		
Use: (Circle)	Permanent Residence	Vacation/Weekend	Rental
Variance Request (Circle):	Yes	No	If Yes, must attach Variance Request form

The following items must be submitted at time of application:

- SVCA Construction Application and Checklist (must be signed by property owner).
- Application fee (per AC Policies 14.8.8).
- Copy of survey by a licensed surveyor including topography, trees, and square footage.
- Two (2) sets of construction plans (including floor plan, elevations, and finished grade).
- Two (2) copies of site plan @ 1"=10' scale (see AC Policies Appendix I for sample)
- Two (2) copies of landscaping plan @ 1"=10' scale
- Driveway cross-section, showing road edge to garage slab
- One (1) copy of specification sheet including paint chips, roof color, and lighting sample
- Proof of insurance (see Item 10 above)
- One (1) copy of water/sewer availability
- Property and building corners must be staked and strung
- ALL trees requested for removal must be clearly ribboned and indicated on site plan.
- Written application for variance, if any
- Refundable Completion Deposit (due during permit meeting per AC Policies section 14.8.8)



- I agree to construct and maintain the above described single family dwelling in accordance with the plans and specifications submitted as the same may be approved by the ACC and further agree not to allow said single family dwelling to be used as a multiple family dwelling or duplex or to be used in any way which violates the Restrictive Covenants, Rules, and Regulations or Architectural Control Committee Policies.

I hereby acknowledge that the ACC, according to the Restrictive Covenants, is in no way responsible for any defects, of whatever nature, in the plans and specifications submitted. I agree to undertake full responsibility to accurately ascertain the lot lines delineating the boundaries of my property. I understand that the ACC in approving my plans and specifications, including site plan, is in no way warranting or representing the actual location of the lot lines delineating the boundaries of my property. I also understand that an infringement onto adjoining properties due to lot clearing or excavation shall be rectified prior to the framing of the structure.

Application

Submitted by(Print):

Circle One: Owner Contractor Other Representative

Signature of Owner(s):

Printed Name
of Owner:

Date ____/____/____

ACC Inspector Report 32 Lake Louise Dr

Lot size: 6823

Property coverage: 34%

Open Space: 65%

Front setback: 20' 1"

Rear setback: 7' 8"

Side setback: 5' 2"

Side setback: 48' 2"

Driveway grade: 12.8%

Height:

Definition 2: 15' 8"

ACC Inspector Notes

There is a retaining wall along the back of the property which is within the rear setback. The retaining wall is "as needed", no engineering has been submitted. I am concerned about a water line slicing through the roots of a 72" Maple tree.

ACC Inspector Notes 5/28/2026

Engineering report submitted.

From the ACC meeting minutes of 07/16/2026.

Item – 5	32 Lake Louise Dr, G2, New Construction, <i>Resubmission</i>		Video 00:35:48 – 01:22:52
Comments:	Address and resolve the following issues: 1.) Consider your neighbors perspective, 2.) Resolve the		
Discussion:	inconsistency of materials to be used, 3.) Consider and explore horizontal drilling versus excavation.		
Action:	Denied	Motion: Terry	Unanimous

From the ACC Decision Notification Letter dated 07/24/2026.

• DENIED with comments:

→ Address and resolve the following issues:

- Demonstrate consideration of your neighbors' perspective when resubmitting your building plans showing the placement of the new home by explaining the additional cost to further shift the house.
- Resolve the inconsistency of materials to be used when building the retaining wall (e.g. Allen Blocks vs. concrete) so the ACC can review the building material that will in fact be used for the retaining wall.
- In light of the Arborist's report that identified four (4) of the five (5) trees on the property as healthy, provide an explanation as to the additional cost (if any) to conduct horizontal drilling versus trenching for utility connections and an opinion from the Arborist as to whether horizontal drilling would likely preserve the healthy trees on the property.



**WATER AVAILABILITY FORM
PUBLIC WATER SYSTEM**

**WHATCOM COUNTY HEALTH
AND COMMUNITY SERVICES**
509 Girard Street
Bellingham, WA 98225
Telephone: 360-778-6000
Fax: 360-778-6001

Complete and submit form with original signatures to WCHCS
(copies are not accepted)

Applicant Information:

Applicant/Owner(s): Eduard Danch Phone: (360) 510-0982
Address: 41 Maple Ct City: Bellingham State: WA Zip: 98229
Contact Person: Eduard Danch Phone: _____
Email and/or Alternate Contact: dancheduard@gmail.com

I certify that I am the owner or authorized representative of the below noted property. I have examined this form and know the same to be true and correct. I understand that this approval expires one year after the PWS Authorized Representative signature date and that application for final plat approval and/or building permit must be made before the expiration date. I understand that information submitted is subject to the Public Records Act.

Sign: [Signature] Print: Eduard Danch Date: 4/13/26

Property Information: Project Type: ☒ Single ☐ Multi-Family ☐ ADU ☐ Commercial ☐ Plat

Tax Parcel Number (twelve digit number): 3 7 0 4 0 8 3 2 1 3 2 7

Address of Project: 32 Lake Louise Dr

Building Permit Number: _____ Plat Name: Div 7 Lot: 83

Briefly describe project (attach site plan and additional pages as needed)
Single Family residential home in Sudden Valley.

Certification of Public Water Availability: to be Completed by the PWS Authorized Representative

Group B water systems must have current water tests - bacteriological less than one year old and nitrate less than three years old.

Public Water System Name: South Shore LWWSO DOH ID#: 959101

The above Public Water System (PWS) is approved by the WA State Department of Health or the WCHD for NA service connections and currently serves NA service connections. The PWS has the necessary water system infrastructure in place to adequately provide service to the above property per WAC 246-290 or WAC 246-291. The PWS is capable of and willing to supply water to the above property, residence, project or plat for () New service(s) and/or () Existing service(s).

Direct Connection? ☒ Yes ☐ No (meter ready, no extension required)

Conditions of Service _____

I certify that I am an authorized representative of the above PWS. I understand this certification expires one year after the PWS signature date. I understand that information submitted is subject to the Public Records Act 42.56.

Sign: [Signature] Print: Rick Munson Date: 4-14-26

Title: ESO Address: 1220 Lakeway Dr Phone: 360-734-9224

For Health Department Use Only:

☐ Approved Date: _____ Approval Expires: _____

☐ Denied

By: _____ Well Constructed After January 2018: ☐ Yes ☐ No

Comments or Conditions: _____

Notify Via: ☐ Email ☐ Phone ☐ Mail _____

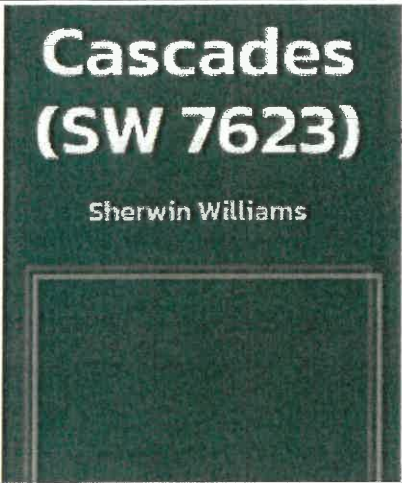
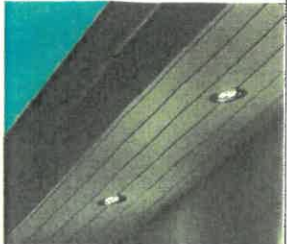
The subdivision/building permit is located in an area that is governed by chapter 173-501 WAC and in which instream flows are not met and/or are subject to closure. In compliance with RCW 9A.17.010, the County has determined adequate potable water is available for this subdivision/building permit on the basis of evidence supplied by the Applicant. Other authorities, including courts of competent jurisdiction and the Department of Ecology, exercise jurisdiction over water resources in the state of Washington. Those authorities may determine that the proposed source of water for this project identified by the Applicant is not a valid water right appropriation or is subject to curtailment or seasonal restrictions on availability that could impact its reliability for the intended use. The County's issuance of this subdivision/building permit should not be relied upon by the Applicant or any successor in interest as an assurance, warranty or guarantee of the future availability of water to serve the subdivision/building permit.

Intake _____
Entry _____
Notify _____

**SPECIFICATION SHEET**

Street Address:	Div/Lot
Owner(s)/Contractor Name(s):	
Siding Type:	
Trim Type:	
Gable Type:	
Roof Type:	
Lighting Type:	
Retaining Wall Materials:	
Other Finish Materials:	

Samples

SIDING/BODY COLOR	TRIM COLOR	ACCENT COLOR
		Garage Door: Front Door: Other (Specify Locations):
ROOF COLOR	RETAINING WALL SAMPLE	LIGHTING SAMPLE
		 

TOPOGRAPHIC BASE MAP

SITUATE IN A PORTION OF THE SW 1/4, NE 1/4
SECTION 8, TOWNSHIP 37 NORTH, RANGE 4 EAST OF W.M.
SUDDEN VALLEY, WHATCOM COUNTY, WASHINGTON

SURVEY NOTES:

1. THIS SURVEY WAS PREPARED IN ACCORDANCE WITH WAC 332-130-140 IN JANUARY 2009 AT THE REQUEST OF ED DANCH.
2. FIELD SURVEY PERFORMED WITH TRIMBLE RS-3 GNSS RECEIVER AND LEGA TOP 100+ RECORDING TOTAL STATION AND MEETS OR EXCEEDS THE STANDARDS SET FORTH WITHIN WAC 332-130-100.
3. BASIS OF BEARINGS PER SUDDEN VALLEY, DIVISION NO. 7
4. CENTERLINE LINE OF LAKE LOUISE DRIVE BEARING N31°21'51"E.
5. VERTICAL DATUM: ASSUMED 100.00' OF P-TAK #10.
6. THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE REPORT AND DOES NOT PURPORT TO SHOW ANY OR ALL EASEMENTS.
7. POWERTEK SURVEYING ASSUMES NO LIABILITY FOR ANY SUBSURFACE CONDITIONS OR FEATURES THAT MAY EXIST THAT ARE UNDETECTABLE AND/OR NOT VISIBLE.
8. CONTOUR INTERVALS ARE SHOWN AT 2 FOOT AND ARE COMPUTER GENERATED FROM GROUND FIELD TOPOGRAPHY GATHERED FOR THIS SURVEY AND MEET OR EXCEED NATIONAL MAPPING STANDARDS UTILIZING ELECTRONIC DATA COLLECTION.
9. THE TOPOGRAPHIC ELEMENTS SHOWN ON THIS MAP ARE INTENDED TO SUPPORT PLANNING AND DESIGN. UTILITY LOCATIONS DERIVED FROM ABOVE GROUND APPEARANCES AND/OR UTILITY PLANT MARKS PER WASHINGTON STATE ONE-CALL UNDERGROUND LOCATES (811).
10. OCCUPANCY INDICATORS AND EXISTING FENCE LINE NOTE: THIS SURVEY MAY REFLECT EXISTING FENCE LINES AND/OR ENCROACHMENTS IN ACCORDANCE WITH WAC 332.130. THESE OCCUPANCY INDICATORS MAY INDICATE A POTENTIAL FOR CLAIMS OF UNWRITTEN TITLE OWNERSHIP. THIS IS NOT A BOUNDARY SURVEY AND THE LOCAL RESOLUTION OF OWNERSHIP BASED UPON UNWRITTEN TITLE CLAIMS HAS NOT BEEN RESOLVED BY THIS SURVEY.

LEGAL DESCRIPTION:

(PER STATUTORY WARRANTY DEED A.T. NO. 2026-0101977)

LOT 83, PLAT OF SUDDEN VALLEY, DIVISION NO. 7, ACCORDING TO THE PLAT THEREBY RECORDED IN VOLUME 10 OF PLATS, PAGES 63 THROUGH 65, INCLUSIVE, RECORDS OF WHATCOM COUNTY, WASHINGTON.

SITUATE IN WHATCOM COUNTY, WASHINGTON.

LEGEND:

- FOUND CONIC MONUMENT
- FOUND REBAR & CAP
- SET REBAR & CAP, PLS #46880
- SET NAIL
- SET HUB & TACK
- EXISTING SANITARY SEWER MARKER
- EXISTING WATERLINE VALVE
- EXISTING UTILITY JUNCTION BOX
- TREE DIAMETER
- EXISTING TREE (CONIFER)
- EXISTING TREE (DECIDUOUS)

WHISPERING CEDARS CT.

PLAT OF SUDDEN VALLEY

LOT 82

LOT 81

LOT 83

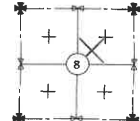
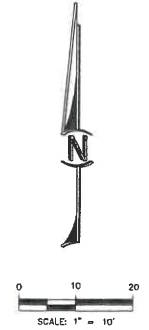
DIVISION NO. 7

LOT 84

VOL 10, PG. 63-65

PARK

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SW 1/4, NE 1/4 SECTION 8
T. 37 N., R. 4 E. OF W.M.

LOT 85



APN #370408 321327 0000

#32 LAKE LOUISE DR.

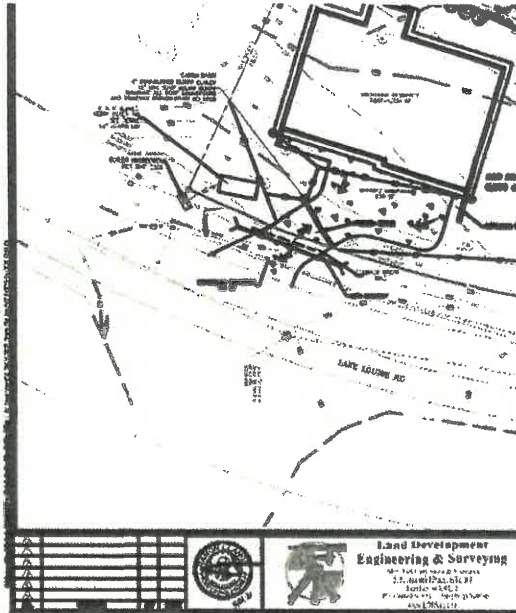
POWERTEK SURVEYING
(360) 746.8801

#5426 BARRETT ROAD #104
FERDALE, WA 98248

WWW.POWERTEK.NET

**TOPOGRAPHIC BASE MAP
FOR
ED DANCH**

DRAWN BY: JMD	DATE: 2/18/2009	JOB NO.: 2028004
REVIEWED BY: JMD	SCALE: 1" = 10'	SHEET: 1 OF 1



CONTRACTOR TO VERIFY ALL LOT AND BUILDING DIMENSIONS BEFORE PROCEEDING WITH CONSTRUCTION

PROJECT INFORMATION

PROJECT/OWNER:
EDUARD AND NADIYA DANCH
41 MAPLE COURT
BELLINGHAM, WA 98224
ED DANCH - CONTRACTOR

edwarddanch@gmail.com

ADDITIONAL CONTACT:
BLUEPRINT DESIGN CONSULTANTS
9180 MILLON SPRINGS WAY
FERNDALE, WA 98248

360 815-2950 360 722-7206

shimoda@msn.com

CONTRACTOR:
SN MOVEMENT, LLC
WILLY SAVCHUK
1950 KELLY ROAD
BELLINGHAM, WA 98226

LLC# SNMOVML513LR
360 510-4469
snmovml513lr@gmail.com

BUILDING JURISDICTION:
PROJECT ADDRESS:
PARCEL# 370408 321327
LEGAL DESCRIPTION

PHATCOM COUNTY
32 LAKE LOUISE DRIVE
BELLINGHAM, WA
SUDDEN VALLEY, DIV. 7, LOT 83

APPLICABLE CODES:
COMPLIANCE:
NEW GB CALCS PG A-4

2021 IRC AND 2021 WSEC
ENERGY EQUALIZATION CREDIT = 3 H/P
3.7 DUCTLESS M/N SPLIT H8P12 OF 9

PROJECT SCOPE:

NEW SFR W/ ATTACHED 2-CAR GARAGE
2 STORY - DAYLIGHT BASEMENT

SPECIFICATIONS:

BEDROOMS	3
BATHROOMS	2 1/2
MAIN FLOOR	1,254 S.F.
UPPER FLOOR	1,212 S.F.
LOWER FLOOR	252 S.F.
TOTAL LIVING AREA	2,698 S.F.
LOWER GARAGE	756 S.F.
COVERED PORCH/PATIO	134 S.F.

PAGE INDEX:

A-1 SITE PLAN
A-2 SWPPP NARRATIVE
A-3 GENERAL NOTES & SWPPP DETAILS
A-4 ENERGY DETAILS & CALCS
A-5 ELEVATIONS
A-6 ELEVATIONS
A-7 FOUNDATION - FLOOR PLANS
A-8 ROOF FRAMING, TYP. WALL SEC
A-9 SEC A AND SEC B
S-1-S STRUCTURAL ENGINEERING

TOTAL ROOF AREA 1,486 S.F.

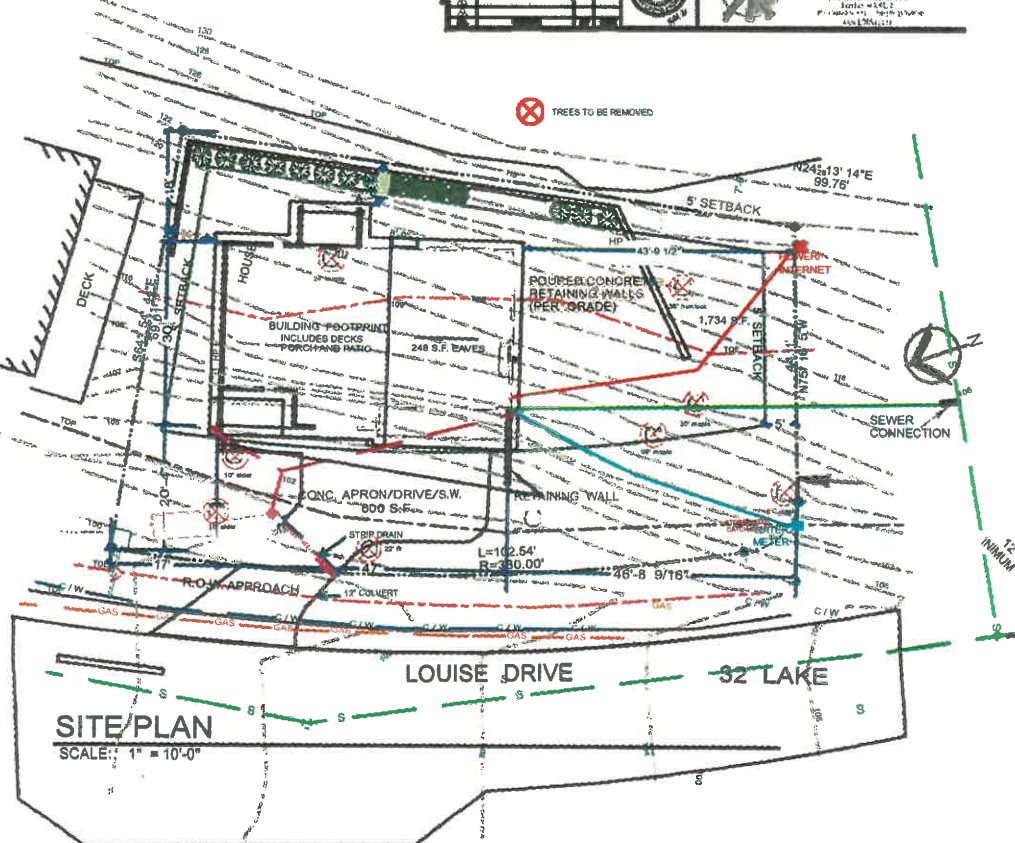
SITE ANALYSIS

SUDDEN VALLEY, DIV 7, LOT 83
32 LAKE LOUISE DRIVE
370408 321327

LOT SIZE	6,696 ± S.F.	REAL S.F.	25.9 %
BUILDING COVER			
S.F. RESIDENCE	1,254 S.F.		
GARAGE	756 S.F.		
COV. PORCH	71 S.F.		
COV. PATIO	58 S.F.		
W.P. DECK	105 S.F.		
TOTAL EAVES	248 S.F.		
HARD SURFACES	300 S.F.		4.5 %
DRIVE/APRON/S.W. 600 S.F.			
RO.W. APPROACH 210 S.F.			
EXCAVATION			
FOUNDATION	311 YARDS	384 YARDS	
7'00 x 7'			
FLATWORK	48 YARDS		
8'00 x 1.5'			
TRENCHING	25 YARDS		
CLEAN FILL		85 YARDS	
FOOTINGS	50 YARDS		
FLATWORK	35 YARDS		
TOTAL YARDS	31 YARDS		

6696 S.F. X 35%
35% COVERAGE = 2,344 S.F. ALLOWED

⊗ = TO BE REMOVED



SITE/PLAN
SCALE: 1" = 10'-0"

6,696 S.F.

210 S.F.

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All underground utilities shall be installed in accordance with applicable Washington State codes, local jurisdiction requirements, and utility provider standards.

Sanitary Sewer: Minimum of 36 inches of cover measured from finished grade to the top of pipe.

Water Service: Minimum of 36 inches of cover measured from finished grade to the top of pipe.

Electrical and Communications Conduits: Minimum of 24 inches of cover measured from finished grade to the top of conduit.

GENERAL CONSTRUCTION STORM WATER POLLUTION PREVENTION NARRATIVE

● ELEMENT 1 - PRESERVE VEGETATION/MARK CLEARING LIMITS

PRIOR TO BEGINNING LAND DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRADING, ALL CLEARING LIMITS, SENSITIVE AREAS AND THEIR BUFFERS, AND TREES THAT ARE TO BE PRESERVED WITHIN THE CONSTRUCTION AREA SHOULD BE CLEARLY MARKED, BOTH IN THE FIELD AND ON THE PLANS, TO PREVENT DAMAGE AND OFF-SITE IMPACTS. PLASTIC, METAL, OR STAKE WIRE FENCING MAY BE USED TO MARK THE CLEARING LIMITS. RETAIN THE DUFF LAYER, NATIVE TOP SOIL, AND NATURAL VEGETATION IN AN UNDISTURBED STATE TO THE MAXIMUM DEGREE PRACTICABLE.

● ELEMENT 2 - ESTABLISH CONSTRUCTION ACCESS

(A) CONSTRUCTION VEHICLE ACCESS SHALL BE LIMITED TO ONE ROUTE IF POSSIBLE.
(B) ACCESS POINTS SHALL BE STABILIZED WITH QUARRY SPALL OR CRUSHED ROCK TO MINIMIZE THE TRACKING OF SEDIMENT ONTO PUBLIC ROADS.
(C) WHEEL WASH OR TIRE BATHS SHOULD BE LOCATED ON-SITE, IF APPLICABLE.
(D) PUBLIC ROADS SHALL AT A MINIMUM BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR PICKUP SWEEPING AND SHALL BE TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA. STREET WASHING WILL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER.
(E) STREET WASH WASTEWATER SHALL BE CONTROLLED BY PUMPING BACK ON SITE, OR OTHERWISE BE PREVENTED FROM DISCHARGING INTO SYSTEMS TRIBUTARY TO STATE SURFACE WATERS.
(F) CONTROL STREET WASH WASTEWATER BY PUMPING BACK ON SITE, OR OTHERWISE PREVENT IT FROM DISCHARGING IN SYSTEMS TRIBUTARY TO WATERS OF THE STATE.

● ELEMENT 3 - CONTROL FLOW RATES

(A) PROTECT PROPERTIES AND WATERWAYS DOWNSTREAM OF DEVELOPMENT SITES FROM EROSION AND THE ASSOCIATED DISCHARGE OF TURBID WATERS DUE TO INCREASES IN THE VELOCITY AND PEAK VOLUMETRIC FLOW RATE OF STORM WATER RUNOFF FROM THE PROJECT SITE.
(B) PROPERTIES SUBJECT TO MINIMUM REQUIREMENT No. 5 AND/OR No. 7 SHALL IMPLEMENT CONTROLS AS EARLY IN THE DEVELOPMENT AS IS PRACTICABLE TO MITIGATE FOR FLOW RATES.
(C) WHERE NECESSARY TO COMPLY WITH REQUIREMENT No. 7, STORM WATER RETENTION/ DETENTION FACILITIES SHALL BE CONSTRUCTED AS ONE OF THE FIRST STEPS IN GRADING.
(D) DETENTION FACILITIES SHALL BE FUNCTIONAL PRIOR TO CONSTRUCTION OF SITE IMPROVEMENTS (e.g. IMPERVIOUS SURFACES).
(E) IF PERMANENT INFILTRATION PONDS ARE USED FOR FLOW CONTROL DURING CONSTRUCTION, THESE FACILITIES SHOULD BE PROTECTED FROM SILTATION DURING THE CONSTRUCTION PHASE.

● ELEMENT 4 - INSTALL SEDIMENT CONTROLS

(A) DESIGN, INSTALL, AND MAINTAIN EFFECTIVE EROSION CONTROLS AND SEDIMENT CONTROLS TO MINIMIZE THE DISCHARGE OF POLLUTANTS.
(B) CONSTRUCT SEDIMENT CONTROL BMPs (SEDIMENT PONDS, TRAPS, FILTERS, ETC.) AS ONE OF THE FIRST STEPS IN GRADING. THESE BMPs SHALL BE FUNCTIONAL BEFORE OTHER LAND DISTURBING ACTIVITIES TAKE PLACE.
(C) MAINTAIN THE DESIGN, INSTALLATION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROLS MUST ADDRESS FACTORS SUCH AS THE AMOUNT, FREQUENCY, INTENSITY AND DURATION OF PRECIPITATION, THE NATURE OF RESULTING STORM WATER RUNOFF, AND SOIL CHARACTERISTICS, INCLUDING THE RANGE OF SOIL PARTICLE SIZES EXERCISED TO BE PRESENT ON THE SITE.
(D) DIRECT STORM WATER RUNOFF FROM DISTURBED AREAS THROUGH A SEDIMENT POND OR OTHER APPROPRIATE SEDIMENT REMOVAL BMP, BEFORE THE RUNOFF LEAVES A CONSTRUCTION SITE OR BEFORE DISCHARGE TO AN INFILTRATION FACILITY. RUNOFF FROM FULLY STABILIZED AREAS MAY BE DISCHARGED WITHOUT A SEDIMENT REMOVAL BMP, BUT MUST MEET THE FLOW CONTROL PERFORMANCE STANDARD IN SUB-SECTION (F) (2) (a)(ii) (A) OF THIS SECTION.
(E) LOCATE BMPs INTENDING TO TRAP SEDIMENT ON-SITE IN A MANNER TO AVOID INTERFERENCE WITH THE MOVEMENT OF JUVENILE SALMONIDS ATTEMPTING TO ENTER OFF-CHANNEL AREAS OR DRAINAGES.
(F) WHERE FEASIBLE, DESIGN OUTLET STRUCTURES THAT WITHDRAW IMPOUNDED STORM WATER FROM THE SURFACE TO AVOID DISCHARGING SEDIMENT THAT IS STILL SUSPENDED LOWER IN THE WATER COLUMN.

● ELEMENT 5 - STABILIZE SOILS

(A) ALL EXPOSED AND UNWORKED SOILS SHALL BE STABILIZED BY APPLICATION OF EFFECTIVE BMPs THAT PROTECT THE SOIL FROM THE EROSIIVE FORCES OF RAINFALL IMPACT AND FLOWING WATER, AND WIND EROSION. APPLICABLE BMPs INCLUDE, BUT ARE NOT LIMITED TO: TEMPORARY AND PERMANENT SEEDING, CODDING, MULCHING, PLASTIC COVERING, EROSION CONTROL FABRICS AND MATTING, SOIL APPLICATION POLYACRYLAMIDE (PAM), THE EARLY APPLICATION OF GRAVEL BASE EARLY ON AREAS TO BE PAVED, AND DUST CONTROL.
(B) CONTROL STORM WATER VOLUME AND VELOCITY WITHIN THE SITE TO MINIMIZE SOIL EROSION.
(C) CONTROL STORM WATER DISCHARGES, INCLUDING BOTH PEAK FLOW RATES AND TOTAL STORM WATER VOLUME, TO MINIMIZE EROSION AT OUTLETS AND TO MINIMIZE DOWNSTREAM CHANNEL AND STREAM BANK EROSION.
(D) FROM OCTOBER 1 THROUGH APRIL 30 OF EACH YEAR, NO SOILS SHALL REMAIN EXPOSED AND UNWORKED FOR MORE THAN 2 DAYS. FROM MAY 1 TO SEPTEMBER 30 OF EACH YEAR, NO SOILS SHALL REMAIN EXPOSED AND UNWORKED FOR MORE THAN 7 DAYS. THIS CONDITION APPLIES TO ALL SOILS ON SITE, WHETHER AT FINAL GRADE OR NOT.
(E) STABILIZE SOILS AT THE END OF THE SHIFT BEFORE A HOLIDAY OR WEEKEND IF NEEDED BASED ON THE WEATHER FORECAST.
(F) MINIMIZE THE AMOUNT OF SOIL EXPOSED DURING CONSTRUCTION ACTIVITY.
(G) MINIMIZE THE DISTURBANCE OF STEEP SLOPES.
(H) MINIMIZE SOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOP SOIL.
(I) APPLICABLE PRACTICES INCLUDE, BUT ARE NOT LIMITED TO: TEMPORARY AND PERMANENT SEEDING, CODDING, MULCHING, PLASTIC COVERING, SOIL APPLICATION OF POLYACRYLAMIDE (PAM), EARLY APPLICATION OF GRAVEL BASE ON AREAS TO BE PAVED, AND DUST CONTROL.
(J) SOIL STABILIZATION MEASURES SELECTED SHOULD BE APPROPRIATE FOR THE TIME OF YEAR, SITE CONDITIONS, ESTIMATED DURATION OF USE, AND POTENTIAL WATER QUALITY IMPACTS THAT STABILIZATION AGENTS MAY HAVE ON DOWNSTREAM WATERS OR GROUND WATER.
(K) SOIL STOCKPILES MUST BE STABILIZED AND PROTECTED WITH SEDIMENT TRAPPING MEASURES AND, WHERE POSSIBLE, LOCATE AWAY FROM STORM DRAIN INLETS, WATERWAYS AND DRAINAGE CHANNELS.
(L) WORK ON LINEAR CONSTRUCTION SITES AND ACTIVITIES, INCLUDING RIGHT-OF-WAY AND EASEMENT CLEARING, ROADWAY DEVELOPMENT, PIPELINES, AND TRENCHING FOR UTILITIES, SHALL NOT EXCEED THE CAPABILITY OF THE INDIVIDUAL CONTRACTOR FOR HIS PORTION OF THE PROJECT TO INSTALL THE BEDDING MATERIALS, ROADBEDS, STRUCTURES, PIPELINES, AND/OR UTILITIES, AND TO RE STABILIZE THE DISTURBED SOILS, MEETING THE TIMING CONDITIONS LISTED ABOVE.
(M) IN ADDITION, AT THE DISCRETION OF THE PUBLIC WORKS DIRECTOR, THOSE SITES UNABLE TO MAINTAIN THE QUALITY OF THEIR STORM WATER DISCHARGE MAY BE REQUIRED TO PROVIDE SOIL STABILIZATION TO ALL EXPOSED SOIL AREAS REGARDLESS OF THE WORKING STATUS OF THE AREA. UPON WRITTEN NOTIFICATION, THE PROPERTY OWNER SHALL PROVIDE FULL STABILIZATION OF ALL EXPOSED SOIL AREAS WITHIN 24 HOURS.

● ELEMENT 6 - PROTECT SLOPES

(A) CUT AND FILL SLOPES SHALL BE DESIGNED AND CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION. APPLICABLE PRACTICES INCLUDE, BUT ARE NOT LIMITED TO: REDUCING CONTINUOUS LENGTH OF SLOPE WITH TERRACING AND DIVERSIONS, REDUCING SLOPE STEEPNESS, AND ROUGHENING SLOPE SURFACES (FOR EXAMPLE TRACK WALKING).
(B) CONSIDER SOIL TYPE AND ITS POTENTIAL FOR EROSION.
(C) REDUCE SLICING OF SLOPES BY REDUCING THE CONTINUOUS LENGTH OF SLOPE WITH TERRACING AND DIVERSIONS, REDUCE SLOPE STEEPNESS, AND ROUGHEN SLOPE SURFACE.
(D) DIVERT UPSLOPE DRAINAGE AND RUN-ON WATERS FROM OFF-SITE WITH INTERCEPTORS AT TOP OF SLOPE. OFF-SITE STORM WATER SHOULD BE HANDLED SEPARATELY FROM STORM WATER GENERATED ON THE SITE. DIVERSION OF OFF-SITE STORM WATER AROUND THE SITE MAY BE A VIABLE OPTION. DIVERTED FLOWS SHALL BE REDIRECTED TO THE NATURAL DRAINAGE LOCATION AT OR BEFORE THE PROPERTY BOUNDARY.
(E) CONTAIN DOWNSLOPE COLLECTED FLOWS IN PIPES, SLOPE DRAINS, OR PROTECTED CHANNELS TO PREVENT EROSION. TEMPORARY PIPE SLOPE DRAINS MUST HANDLE THE PEAK VOLUMETRIC FLOW RATE CALCULATED USING A 10 MINUTE TIME STEP FROM A TYPE 1A, 10 YEAR, 24 HOUR FREQUENCY STORM FOR THE DEVELOPED CONDITION. ALTERNATELY, THE 10 YEAR 1 HOUR FLOW RATE PREDICTED BY AN APPROVED CONTINUOUS RUNOFF MODEL, INCREASED BY A FACTOR OF 1.6, MAY BE USED. THE HYDROLOGIC ANALYSIS MUST USE THE EXISTING LAND COVER CONDITION FOR PREDICTING FLOW RATES FROM TRIBUTARY AREAS OUTSIDE THE PROJECT LIMITS. FOR TRIBUTARY AREAS ON THE PROJECT SITE, THE ANALYSIS MUST USE THE TEMPORARY OR PERMANENT PROJECT LAND COVER CONDITION, WHICHEVER WILL PRODUCE THE HIGHEST FLOW RATES. IF USING THE WESTERN WASHINGTON HYDROLOGY MODEL TO PREDICT FLOWS, BARE SOIL AREAS SHOULD BE MODELED AS "LANDSCAPED AREA".
(F) PROVIDE DRAINAGE TO REMOVE GROUND WATER INTERSECTING THE SLOPE SURFACE OF EXPOSED SOILS AREAS.
(G) EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES, CONSISTENT WITH SAFETY AND EROSION CONTROL LIMITS.
(H) CHECK DAMS SHALL BE PLACED AT REGULAR INTERVALS WITHIN TRENCHES THAT ARE CUT DOWN A SLOPE.
(I) STABILIZE SOILS ON SLOPES, AS SPECIFIED IN ELEMENT No. 5.

● ELEMENT 7 - PROTECT DRAIN INLETS

(A) ALL STORM DRAIN INLETS MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT STORM WATER RUNOFF SHALL NOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR TREATED TO REMOVE SEDIMENT.
(B) ALL APPROACH ROADS SHALL BE KEPT CLEAN, AND ALL SEDIMENT AND STREET WASH WATER SHALL NOT BE ALLOWED TO ENTER STORM DRAINS WITHOUT PRIOR AND ADEQUATE TREATMENT UNLESS TREATMENT IS PROVIDED BEFORE THE STORM DRAIN DISCHARGES TO WATERS OF THE STATE.

● ELEMENT 8 - STABILIZE CHANNELS AND OUTLETS

(A) ALL TEMPORARY ON-SITE CONVEYANCE CHANNELS SHALL BE DESIGNED, CONSTRUCTED AND STABILIZED TO PREVENT EROSION FROM EXPECTED PEAK FLOWS. CHANNELS MUST HANDLE THE PEAK VOLUMETRIC FLOW RATE BY CALCULATED USING A 10 MINUTE TIME STEP FROM A TYPE 1A, 10 YEAR, 24 HOUR FREQUENCY STORM FOR THE DEVELOPED CONDITION. ALTERNATELY, THE 10 YEAR, 1 HOUR FLOW RATE INDICATED BY AN APPROVED CONTINUOUS RUNOFF MODEL, INCREASED BY A FACTOR OF 1.6, MAY BE USED. THE HYDROLOGIC ANALYSIS MUST USE THE EXISTING LAND COVER CONDITION FOR PREDICTING FLOW RATES FROM TRIBUTARY AREAS OUTSIDE THE PROJECT LIMITS. FOR TRIBUTARY AREAS ON THE PROJECT SITE, THE ANALYSIS SHALL USE THE TEMPORARY OR PERMANENT PROJECT LAND COVER CONDITION, WHICHEVER WILL PRODUCE THE HIGHEST FLOW RATES. IF USING THE WESTERN WASHINGTON HYDROLOGY MODEL TO PREDICT FLOWS, BARE SOIL AREAS SHOULD BE MODELED AS "LANDSCAPED AREA".
(B) STABILIZATION, INCLUDING ARMORING MATERIAL, ADEQUATE TO PREVENT EROSION OF OUTLETS AT, ADJACENT STREAM BANKS, SLOPES AND DOWNSTREAM REACHES SHALL BE PROVIDED AT THE OUTLETS OF ALL CONVEYANCE SYSTEMS.

● ELEMENT 9 - CONTROL POLLUTANTS

(A) DESIGN, INSTALL, IMPLEMENT AND MAINTAIN EFFECTIVE POLLUTION PREVENTION MEASURES TO MINIMIZE THE DISCHARGE OF POLLUTANTS.
(B) ALL POLLUTANTS, INCLUDING WASTE MATERIAL AND DEMOLITION DEBRIS, THAT OCCUR ON SITE DURING CONSTRUCTION SHALL BE HANDLED AND DISPOSED OF IN A MANNER THAT DOES NOT CAUSE CONTAMINATION OF STORM WATER.
(C) COVER, CONTAINMENT, AND PROTECTION FROM VANDALISM SHALL BE PROVIDED FOR ALL CHEMICALS, LIQUID PRODUCTS, PETROLEUM PRODUCTS, AND NONHETEROGENEOUS WASTES PRESENT ON THE SITE (SEE CHAPTER 173-304 W.A.C. AS CURRENTLY ENACTED OR HEREINAFTER MODIFIED, FOR THE DEFINITION OF INERT WASTE, WHICH IS INCORPORATED HEREIN BY THIS REFERENCE).
(D) MAINTENANCE AND REPAIR OF HEAVY EQUIPMENT AND VEHICLES INVOLVING OIL CHANGES, FUEL SYSTEM DRAIN DOWN, SOLVENTS AND DEGREASING AND CLEANING OPERATIONS, FUEL TANK DRAIN DOWN AND REMOVAL, AND OTHER ACTIVITIES WHICH MAY RESULT IN DISCHARGE OR SPILLAGE OF POLLUTANTS TO THE GROUND OR INTO STORM WATER RUNOFF MUST BE CONDUCTED USING SPILL PREVENTION MEASURES, SUCH AS DRIP PANS. CONTAMINATED SURFACES SHALL BE CLEANED IMMEDIATELY FOLLOWING ANY DISCHARGE OR SPILL INCIDENT. EMERGENCY REPAIRS MAY BE PERFORMED ON SITE USING TEMPORARY PLASTIC PLACED BENEATH AND AROUND THE EQUIPMENT.
(E) WHEEL WASH OR TIRE BATH WASTE WATER, SHALL BE DISCHARGED TO A SEPARATE ON-SITE TREATMENT SYSTEM OR TO THE SANITARY SEWER.
(F) APPLICATION OF AGRICULTURAL CHEMICALS, INCLUDING FERTILIZERS AND PESTICIDES, SHALL BE CONDUCTED IN A MANNER AND AT APPLICATION RATES THAT WILL NOT RESULT IN LOSS OF CHEMICAL TO STORM WATER RUNOFF. MANUFACTURERS' RECOMMENDATIONS SHALL BE FOLLOWED FOR APPLICATION RATES AND PROCEDURES.
(G) MANAGEMENT OF PH-HADRY SOURCES SHALL PREVENT CONTAMINATION OF RUNOFF AND STORM WATER COLLECTED ON THE SITE. THESE SOURCES INCLUDE, BUT ARE NOT LIMITED TO, BULK CEMENT, CEMENT KILN DUST, FLY ASH, NEW CONCRETE WASHING AND CURING WATERS, WASTE STREAMS GENERATED FROM CONCRETE GRINDING AND SAWING, EXPOSED AGGREGATE PROCESSES, AND CONCRETE PUMPING AND MIXER WASHOUT WATERS.
(H) ADJUST THE pH OF STORM WATER IF NECESSARY TO PREVENT VIOLATIONS OF WATER QUALITY STANDARDS.
(I) ASSURE THAT WASHOUT OF CONCRETE TRUCKS IS PERFORMED OFF-SITE OR IN DESIGNATED CONCRETE WASH OUT AREAS ONLY. DO NOT WASH OUT CONCRETE TRUCKS ONTO THE GROUND OR INTO STORM DRAINS, OPEN DITCHES, STREETS, OR STREAMS. DO NOT DUMP EXCESS CONCRETE ON SITE, EXCEPT IN DESIGNATED CONCRETE WASH OUT AREAS. CONCRETE SPILLAGE OR CONCRETE DISCHARGE TO SURFACE WATERS OF THE STATE IS PROHIBITED.
(J) OBTAIN WRITTEN APPROVAL FROM ECOLOGY BEFORE USING CHEMICAL TREATMENT OTHER THAN CO₂ OR DRY ICE TO ADJUST pH.

● ELEMENT 10 - CONTROL DEWATERING

(A) ALL FOUNDATION, VAULT, AND TRENCH DEWATERING WATER, WHICH HAVE SIMILAR CHARACTERISTICS TO STORM WATER RUNOFF AT THE SITE, SHALL BE DISCHARGED INTO A CONTROLLED CONVEYANCE SYSTEM PRIOR TO DISCHARGE TO A SEDIMENT TRAP OR SEDIMENT FOND. CHANNELS MUST BE STABILIZED, AS SPECIFIED IN ELEMENT No. 8.
(B) CLEAN, NONTURBID DEWATERING WATER, SUCH AS WELL-POINT GROUND WATER, CAN BE DISCHARGED TO SYSTEMS TRIBUTARY TO STATE SURFACE WATERS, AS SPECIFIED IN ELEMENT No. 8. PROVIDED THE DEWATERING FLOW DOES NOT CAUSE EROSION OR FLOODING OF THE RECEIVING WATERS. THESE CLEAN WATERS SHOULD NOT BE ROUTED THROUGH SEDIMENT PONDS WITH STORM WATER.
(C) HIGHLY TURBID OR OTHERWISE CONTAMINATED DEWATERING WATER, SUCH AS FROM CONSTRUCTION EQUIPMENT OPERATION, A SHELL DIGGING, CONCRETE TREMIE POUR, OR WORK INSIDE A COFFERDAM, SHALL BE HANDLED SEPARATELY FROM STORM WATER AT THE SITE.
(D) OTHER DISPOSAL OPTIONS, DEPENDING ON SITE CONSTRAINTS, MAY INCLUDE, BY WAY OF EXAMPLE: (1) INFILTRATION, (2) TRANSPORT OFF-SITE IN VEHICLE, SUCH AS A VACUUM FLUSH TRUCK, FOR LEGAL DISPOSAL, IN A MANNER THAT DOES NOT POLLUTE STATE WATERS, (3) ON-SITE TREATMENT USING ECOLOGY APPROVED CHEMICAL TREATMENT OR OTHER SUITABLE TREATMENT TECHNOLOGIES, (4) SANITARY OR COMBINED SEWER DISCHARGE WITH LOCAL SEWER DISTRICT APPROVAL, OR THERE IS NO OTHER OPTION, (5) USE OF A SEDIMENTATION BAG THAT DISCHARGES TO A DITCH OR SWALE FOR SMALL VOLUMES OF LOCALIZE DEWATERING.

● ELEMENT 11 - MAINTAIN BMPs

(A) ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL BMPs SHALL BE MAINTAINED AND REPAIRED AS NEEDED TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION. ALL MAINTENANCE AND REPAIR SHALL BE CONDUCTED IN ACCORDANCE WITH BMPs.
(B) SEDIMENT CONTROL BMPs SHALL BE INSPECTED WEEKLY OR AFTER A RUNOFF PRODUCING STORM EVENT DURING THE DRY SEASON AND DAILY DURING THE WET SEASON. ALL PROJECTS THAT DISTURB AN AREA GREATER THAN 1 ACRE SHALL HAVE A CERTIFIED EROSION CONTROL LEAD AVAILABLE TO THE SITE. THIS EROSION CONTROL LEAD SHALL BE RESPONSIBLE TO PROVIDE OVERVIEW OF ONGOING DAY TO DAY EROSION CONTROL REQUIREMENTS. THE EROSION CONTROL LEAD SHALL (WITHIN 24 HOURS) REPORT TO THE CITY AND DEPARTMENT OF ECOLOGY ANY SITE DISCHARGES THAT EXCEED STATE WATER QUALITY STANDARDS THAT HAVE OR ARE LIKELY TO HAVE ENTERED WATERS OF THE STATE.
(C) ALL TEMPORARY EROSION AND SEDIMENT CONTROL BMPs SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY BMP ARE NO LONGER NEEDED. TRAPPED SEDIMENT SHALL BE REMOVED OR STABILIZED ON SITE. DISTURBED SOIL AREAS RESULTING FROM REMOVAL OF BMPs OR VEGETATION SHALL BE PERMANENTLY STABILIZED.

● ELEMENT 12 - MANAGE THE PROJECT

(A) PHASING OF CONSTRUCTION, DEVELOPMENT PROJECTS SHALL BE PHASED WHERE FEASIBLE IN ORDER TO PREVENT, TO THE MAXIMUM EXTENT PRACTICABLE, THE TRANSPORT OF SEDIMENT FROM THE DEVELOPMENT SITE DURING CONSTRUCTION. RE-VEGETATION OF EXPOSED AREAS AND MAINTENANCE OF THAT VEGETATION SHALL BE AN INTEGRAL PART OF THE CLEARING ACTIVITIES FOR ANY PHASE.
(B) WHEN ESTABLISHING THESE PERMITTED CLEARING AND GRADING AREAS, CONSIDERATION SHOULD BE GIVEN TO MINIMIZING REMOVAL OF EXISTING TREES AND MINIMIZING DISTURBANCE/ COMPACTION OF NATIVE SOILS EXCEPT AS NEEDED FOR BUILDING PURPOSES. PERMITTED CLEARING AND GRADING AREAS AND ANY OTHER AREAS REQUIRED TO PRESERVE CRITICAL OR SENSITIVE AREAS, BUFFERS, NATIVE GROWTH PROTECTION EASEMENTS, OR TREE RETENTION AREAS, SHALL BE DELINEATED ON THE SITE PLANS AND THE DEVELOPMENT SITE.
(C) COORDINATION WITH UTILITIES AND OTHER CONTRACTORS. THE PRIMARY PROJECT PROPOSER SHALL EVALUATE, WITH INPUT FROM UTILITIES AND OTHER CONTRACTORS, THE STORM WATER MANAGEMENT REQUIREMENTS FOR THE ENTIRE PROJECT, INCLUDING THE UTILITIES, WHEN PREPARING THE CONSTRUCTION SWPPP.
(D) INSPECTION AND MONITORING. ALL BMPs SHALL BE INSPECTED, MAINTAINED, AND REPAIRED AS NEEDED TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION.
(E) FOR ANY PROJECT DISTURBING MORE THAN 1 ACRE, A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL SHALL BE IDENTIFIED IN THE CONSTRUCTION SWPPP AND SHALL BE ON-SITE FOR THE DURATION OF THE PROJECT. THE PROFESSIONAL SHALL BE THROUGH WASHINGTON STATE DEPARTMENT OF TRANSPORTATION ASSOCIATED GENERAL CONTRACTORS (WSDDT/AGC) CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL CERTIFICATION PROGRAM OR ANY EQUIVALENT LOCAL OR NATIONAL CERTIFICATION AND/OR TRAINING PROGRAM, IN THE CITY'S DISCRETION.
(F) WHENEVER INSPECTION AND/OR MONITORING REVEALS THAT THE BMPs IDENTIFIED IN THE CONSTRUCTION SWPPP ARE INADEQUATE, DUE TO THE ACTUAL DISCHARGE OF OR POTENTIAL TO DISCHARGE A SIGNIFICANT AMOUNT OF ANY POLLUTANT, THE SWPPP SHALL BE MODIFIED, AS APPROPRIATE, IN A TIMELY MANNER.
(G) MAINTENANCE OF CONSTRUCTION SWPPP. THE CONSTRUCTION SWPPP SHALL BE KEPT ON-SITE. THE CONSTRUCTION SWPPP SHALL BE MODIFIED WHENEVER THERE IS A SIGNIFICANT CHANGE IN THE DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE OF ANY BMP.

● ELEMENT 13 - PROTECT LOW IMPACT DEVELOPMENT BMPs

(A) PROTECT ALL BIORETENTION AND RAIN GARDEN BMPs FROM SEDIMENTATION THROUGH INSTALLATION AND MAINTENANCE OF EROSION AND SEDIMENTATION BMPs IN PORTIONS OF THE SITE THAT DRAIN INTO THE BIORETENTION AND/OR RAIN GARDEN BMPs. RESTORE THE BMPs TO THEIR FULLY FUNCTIONING CONDITION IF THEY ACCUMULATE SEDIMENT DURING CONSTRUCTION. RESTORING THE BMP MUST INCLUDE REMOVAL OF SEDIMENT AND ANY SEDIMENT-LADEN BIORETENTION RAIN GARDEN SOILS, AND REPLACING THE REMOVED SOILS WITH SOILS MEETING THE DESIGN SPECIFICATION.
(B) PREVENT COMPACTING BIORETENTION AND RAIN GARDEN BMPs BY EXCLUDING CONSTRUCTION EQUIPMENT AND FOOT TRAFFIC. PROTECT COMPLETED LAWN AND LANDSCAPED AREAS FROM COMPACTION DUE TO CONSTRUCTION EQUIPMENT.
(C) CONTROL EROSION AND AVOID INTRODUCING SEDIMENT FROM SURROUNDING LAND USES ONTO PERMEABLE PAVEMENTS. DO NOT ALLOW MUDDY CONSTRUCTION EQUIPMENT ONTO PERMEABLE BASE MATERIAL OR PAVEMENT. DO NOT ALLOW SEDIMENT-LADEN RUNOFF ONTO PERMEABLE PAVEMENTS OR BASE MATERIAL.
(D) PAVEMENT FOLDED WITH SEDIMENTS OR NO LONGER PASSING AN INITIAL INFILTRATION TEST MUST BE CLEANED USING PROCEDURES IN ACCORDANCE WITH THE ECOLOGY MANUAL OR THE MANUFACTURERS PROCEDURES.
(E) KEEP ALL HEAVY EQUIPMENT OFF EXISTING SOILS UNDER LIPO FACILITIES THAT HAVE BEEN EXCAVATED TO FINAL GRADE TO RETAIN THE INFILTRATION RATE OF THE SOILS.

GENERAL NOTES:

BLUEPRINT DESIGN CONSULTANTS HEREBY ISSUES AN EXCLUSIVE LICENSE TO PURCHASER, TO CONSTRUCT ONE HOME ONLY ON ONE LOT FROM THESE PLANS. THESE PLANS IN ANY FORM CANNOT BE RESOLD OR COPIED WITHOUT WRITTEN APPROVAL FROM BLUEPRINT DESIGN CONSULTANTS.

THIS DRAWING PROVIDES CONSTRUCTION DETAILS FOR A NEW S.F.R. AT 321 KAF LOUISE DRIVE, BELLINGHAM, WA FOR EDUARD DANCH. THIS DRAWING HAS BEEN PREPARED UNDER THE IRC 2021 CODES BY BLUEPRINT DESIGN CONSULTANTS AND NO STRUCTURAL MODIFICATIONS ARE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL OF BLUEPRINT DESIGN CONSULTANTS.

CONTRACTOR TO VERIFY ALL BUILDING AND LOT DIMENSIONS, AND NOTIFY THE DESIGNER OF ANY DISCREPANCIES, DIMENSIONAL ERRORS AND OMISSIONS PRIOR TO COMMENCING WITH WORK.

CONTRACTOR TO VERIFY ALL STRUCTURAL DETAILS, BUILDING CODES AND GRADE REQUIREMENTS.

HOMEOWNER WILL TAKE NECESSARY PRECAUTIONS TO REMOVE OR RELOCATE ITEMS OF VALUE TO BE SAVED AND/OR REUSED OR IN ANY DANGER OF BEING DAMAGED DURING CONSTRUCTION.

TO THE BEST OF OUR KNOWLEDGE THESE DRAWINGS COMPLY WITH THE SPECIFICATIONS OF THE OWNER AND/OR BUILDER, AND ANY CHANGES MADE TO THEM AFTER THEIR COMPLETION ARE THE RESPONSIBILITY OF THE OWNER AND/OR BUILDER.

FOUNDATION NOTES:

1. REINFORCING STEEL TO HAVE MINIMUM 2" COVERAGE - 3" COVERAGE IN FOOTING
2. ALL EDGES OF WELDED WIRE FABRIC AND REBAR TO HAVE MINIMUM 10" OVERLAP.
3. ALL CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 2500 P.S.I.
4. ALL REINFORCING STEEL TO BE DEFORMED STEEL BARS CONFORMING TO ASTM A615 GRADE 40. ALL WELDED WIRE FABRIC TO CONFORM TO ASTM A185.

MECHANICAL SPECIFICATIONS:

1. CLOTHES DRYER LOCATED IN AN AREA THAT IS HABITABLE OR CONTAINING OTHER FUEL BURNING APPLIANCE SHALL BE VENTED TO EXTERIOR OF STRUCTURE. THE EXHAUST DUCT LENGTH IS LIMITED TO LENGTHS SET FOR IN IRC SECTION M1501.
2. ELEMENTS OF APPLIANCES WHICH CREATE A GLOW, FLAME OR SPARK SHALL BE LOCATED A MINIMUM OF 18" ABOVE THE GARAGE FLOOR. (M 1307.3)
3. EXHAUST DUCTS TO BE CONSTRUCTED OF SMOOTH-WALL METAL .018 IN. APPROVED FLEX CONNECTORS NOT EXCEEDING 8 FT IN LENGTH MAY BE USED IN CONNECTION WITH DOMESTIC DRYER EXHAUST. (M1501.1) M1502.3.1 DRYER DUCT TERMINATION - A MINIMUM OF 12.5 SQ. INCHES FOR TERMINATION OUTLET OF DRYER DUCT REQUIRED.
4. HOT WATER TANKS HAVING FLEXIBLE PIPE CONNECTIONS AND OVER FOUR FEET TALL SHALL BE STRAPPED BOTH TOP AND BOTTOM WITH APPROVED SEISMIC STRAPS.

PLUMBING SPECIFICATIONS:

1. PRESSURE RELEASE VALVE FOR HOT WATER TANK TO DRAIN TO EXTERIOR OF BUILDING WITH DRAIN END NOT MORE THAN TWO FEET NOR LESS THAN 6" ABOVE THE GROUND, POINTING DOWN. (UPC 10074)
2. PROVIDE AN AIR GAP FOR THE DISHWASHER IF PROVIDED (UPC 6084)
3. PROVIDE APPROVED BACK FLOW PREVENTION DEVICE AT ALL HOSE BIBS. (UPC 1107)
4. EACH HORIZONTAL DRAINAGE PIPE SHALL BE PROVIDED WITH A CLEANOUT AT ITS UPPER TERMINAL. (UPC 4096)

CONSTRUCTION SPECIFICATIONS:

1. GENERAL NOTES:

- A. SEISMIC ZONE D1
- B. WIND EXPOSURE AND SPEED 85 M.P.H. 3 SEC. GUST, EXP. C
- C. SNOW LOAD TO BE 25 P.S.F.
- D. FLOOR LIVE LOAD TO BE 40 P.S.F.
- E. DECK LIVE LOAD TO BE 60 P.S.F.
- F. SOIL BEARING PRESSURE TO BE 1500 P.S.F.
- G. FROST DEPTH TO BE MIN. 18" BELOW FINISH GRADE
- H. ALL GLASS IN DOORS, SIDELIGHTS AND BATHROOMS TO BE TEMPERED GLASS PER (IRC R308.1)
- I. ALL SIMPSON ANCHORS MAY BE REPLACED BY APPROVED EQUALS.
- J. ROOF VENTILATION TO BE 1/150 OF TOTAL ATTIC AREA.

2. FRAMING NOTES:

- A. FLOOR: TO BE FRAMED IN ACCORDANCE W/ SPECIFICATIONS OF DRAWINGS.
 - ALLOWABLE FLOOR LOADS ARE AS SET FORTH IN IRC R301.4 & R301.5
 - ALL STRUCTURAL MEMBERS OF FLOOR ARE TO BE PROPERLY FIT AND FASTENED IN ACCORDANCE IRC
 - ALL STRUCTURAL LUMBER TO BE #2 DOUGLAS FIR OR BETTER.
- B. WALLS: EXTERIOR WOOD FRAMED WALLS TO BE 2" x 6" @ 16" O.C. HEIGHT TO BE AS SET FORTH IN SECTIONS.
 - ALL EXTERIOR WALLS TO BE SHEATHED W/ 1/2" STRUCTURAL PLYWOOD OR 7/16" OSB AND INCLUDE "INSULTEX" R-5 HOUSEWRAP, OR BE SHEATHED WITH R-2 ZIP BOARD.
 - ALL WINDOW/DOOR HEADERS AND BEARING WALL BEAMS TO BE 4" x 10" UNLESS OTHERWISE NOTED.
 - INTERIOR WALLS TO BE 2" x 4" @ 16" O.C. HEIGHT TO BE AS SET FORTH IN SECTIONS.
 - WET WALLS MAY BE 2" x 6" CONSTRUCTION TO ALLOW FOR PLUMBING CLEARANCE.
- C. CONNECTIONS:
 - ALL WALL TO BEAM CONNECTIONS TO BE POSITIVE FOR UPLIFT & LATERAL SUPPORT PER IRC.
 - ALL NAILING TO BE PER IRC TABLE R602.3
 - ALL CONNECTORS ARE SPECIFIED AS SIMPSON AND MAY BE REPLACED BY APPROVED EQUALS.

3. ENERGY CODE: COMPLY WITH WASHINGTON STATE 2018 ENERGY CODE.

- A. ALL WINDOWS AND DOORS TO BE SEALED INTO WALL W/ CAULKING AND WEATHERSTRIPPING.
- B. ALL FRAMING INTERSECTIONS BETWEEN CONDITIONED AND UNCONDITIONED WALLS & FOUNDATIONS TO BE CAULKED TO STOP AIR LEAKAGE.
- C. ALL WIRING, PLUMBING AND DUCTING PENETRATIONS TO BE SEALED.
- D. VENTILATION DUCTS SHALL HAVE R-4 INSULATION COVERING.
- E. WHOLE HOUSE VENTILATION NEVER LESS THAN 120 CFM W/ 1.0 SONE RATING.
- F. WINDOWS TO HAVE U-VALUE OF .25 OR BETTER.

4. INSULATION:

- A. ROOF/CEILING TO HAVE A MINIMUM OF R-49 BLOWN INSULATION.
- B. FLOOR TO HAVE A MINIMUM OF R-38 BATT INSULATION.
- C. WALLS TO HAVE A MINIMUM OF R-21 BATT INSULATION.
- D. ALL EXTERIOR WALLS TO HAVE ONE OF THE FOLLOWING VAPOR BARRIERS:
 - TYVEK HOUSE WRAP
 - TYPAR HOUSE WRAP
 - 15# FELT PAPER
 - "INSULTEX" R-4 HOUSEWRAP

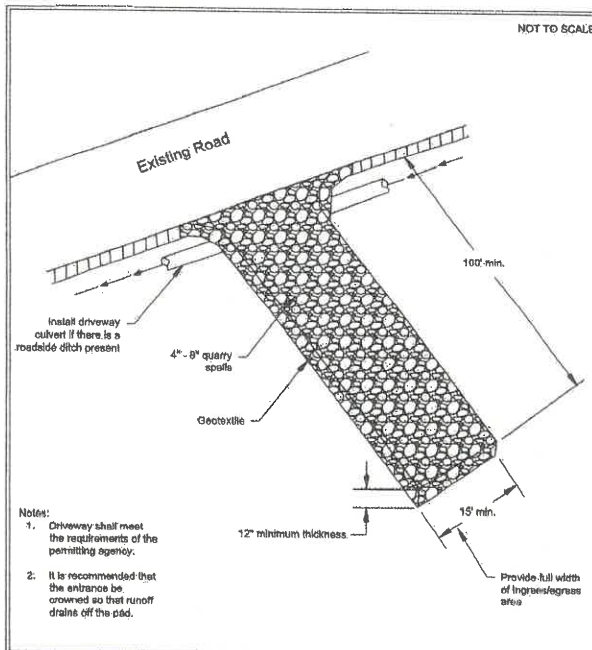


Figure II-4.1.1
Stabilized Construction Entrance

Revised June 2015

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CONTRACTOR TO VERIFY ALL LOT AND BUILDING DIMENSIONS BEFORE PROCEEDING WITH CONSTRUCTION

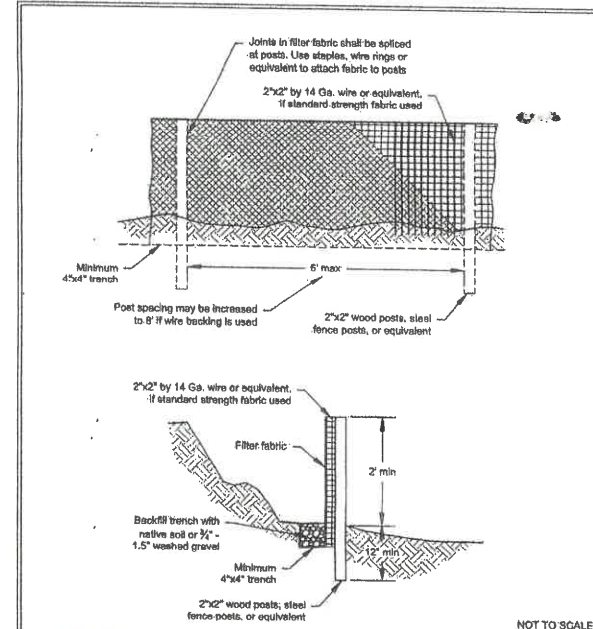


Figure II-4.2.12
Silt Fence

Revised October 2014

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BMP T5.13 - POST CONSTRUCTION SOIL QUALITY AND DEPTH

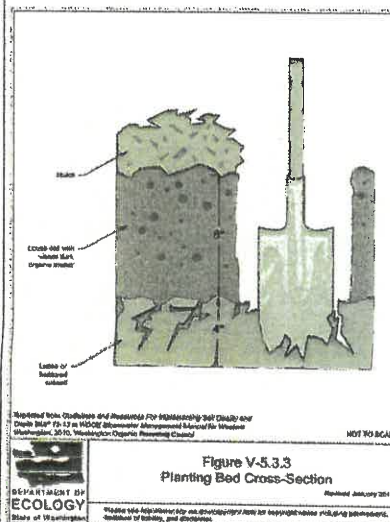


Figure V-5.3.3
Planting Bed Cross-Section

Revised January 2015

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ALL AREAS SUBJECT TO CLEARING AND GRADING THAT HAVE NOT BEEN COVERED BY IMPERVIOUS SURFACE, INCORPORATED INTO A DRAINAGE FACILITY OR ENGINEERED AS STRUCTURAL FILL OR SLOPE SHALL, AT PROJECT COMPLETION, SHALL DEMONSTRATE THE FOLLOWING:

SOIL QUALITY:

A TOPSOIL LAYER WITH A MINIMUM ORGANIC MATTER CONTENT OF 10% DRY WEIGHT IN PLANTING BEDS, AND 2% ORGANIC MATTER CONTENT IN TURF AREAS, AND A PH FROM 6.0 AND 8.0 OR MATCHING THE PH OF THE UNDISTURBED SOIL. USE COMPOST AND OTHER MATERIALS THAT MEET THE COMPOST GUIDELINES.

SOIL DEPTH:

THE TOPSOIL LAYER SHALL HAVE A MINIMUM DEPTH OF EIGHT INCHES EXCEPT WHERE TREE ROOTS LIMIT THE DEPTH OF INCORPORATION OF AMENDMENTS NEEDED TO MEET THE CRITERIA. SUBSOILS BELOW THE TOPSOIL LAYER SHOULD BE SCARIFIED AT LEAST 4 INCHES WITH SOME INCORPORATION OF THE UPPER MATERIAL TO AVOID STRATIFIED LAYERS WHERE FEASIBLE. PLANTING BEDS SHOULD HAVE 2 INCHES OF ORGANIC MATERIAL AS WELL.

COMPOST GUIDELINES:

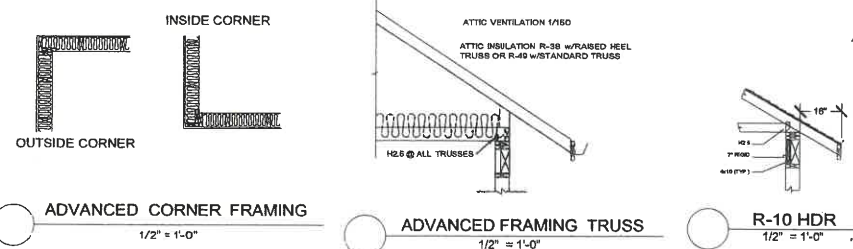
MUST MEET THE DEFINITION OF "COMPOSTED MATERIAL" IN WAC 173-350-100 AND COMPLY WITH TESTING PARAMETERS AND OTHER STANDARDS IN WAC 173-350-220. MUST BE PRODUCED AT A PERMITTED COMPOSTING FACILITY. ORGANIC MATTER CONTENT SHALL BE 40% TO 85%. CARBON TO NITROGEN RATIO OF MUST BE LESS THAN 25:1. THE C:N RATIO MAY BE UP TO 35:1 FOR PLANTINGS COMPOSED ENTIRELY OF PUGET SOUND LOWLAND NATIVE SPECIES AND UP TO 40:1 FOR COARSE COMPOST TO BE USED AS A SURFACE MULCH (NOT IN A SOIL MIX).

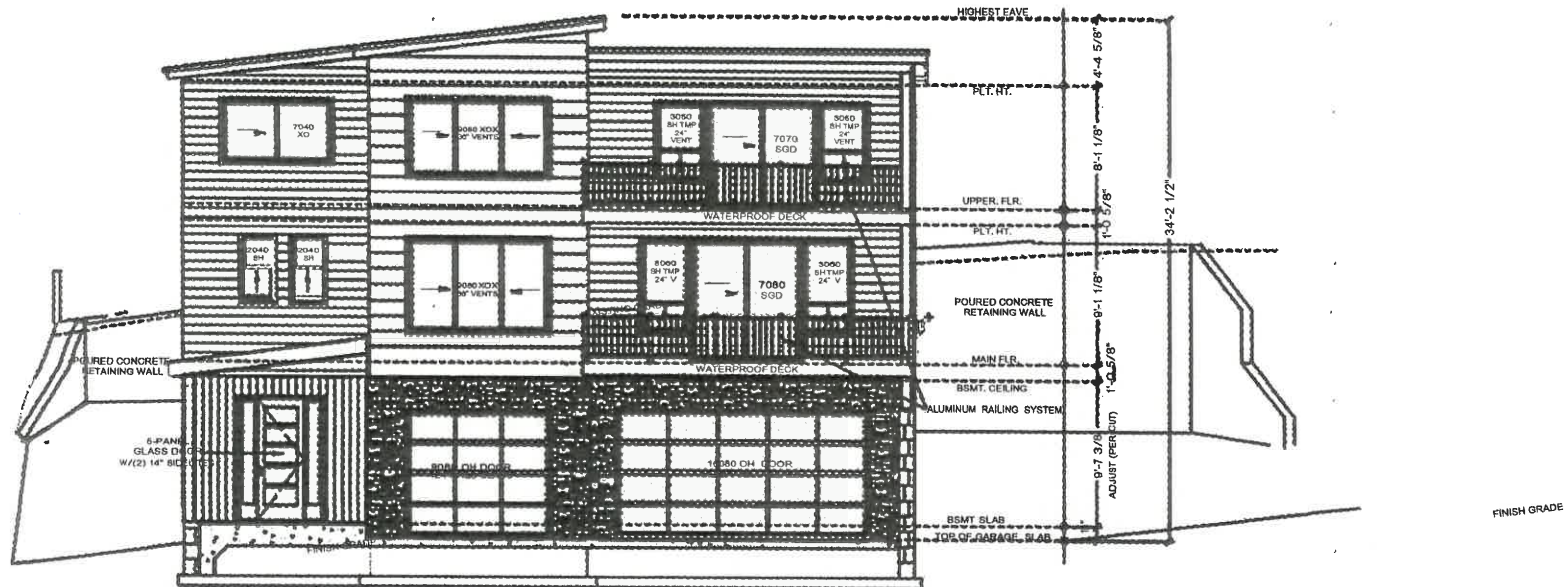
IMPLEMENTATION OPTIONS:

- 1) LEAVE AS MUCH NATIVE VEGETATION AND SOIL AS POSSIBLE AND PROTECT FROM COMPACTION DURING CONSTRUCTION.
- 2) AMEND EXISTING SITE TOPSOIL OR SUBSOIL EITHER AT DEFAULT RATES OR AT A CUSTOM CALCULATED RATES BASED ON TESTS OF THE SOIL, AND AMENDMENT.
- 3) IN AREAS REQUIRING CLEARING AND GRADING REMOVE AND STOCKPILE THE DUFF LAYER AND TOPSOIL ON SITE IN A DESIGNATED, CONTROLLED AREA, NOT ADJACENT TO PUBLIC RESOURCES AND CRITICAL AREAS. REPLACE IT PRIOR TO PLANTING AND AMEND IF NEEDED TO MEET THE ORGANIC MATTER OR DEPTH REQUIREMENTS.
- 4) IMPORT TOPSOIL MIX OF SUFFICIENT ORGANIC CONTENT AND DEPTH TO MEET THE REQUIREMENTS.

MORE THAN ONE METHOD MAY BE USED ON DIFFERENT PORTIONS OF THE SAME SITE.

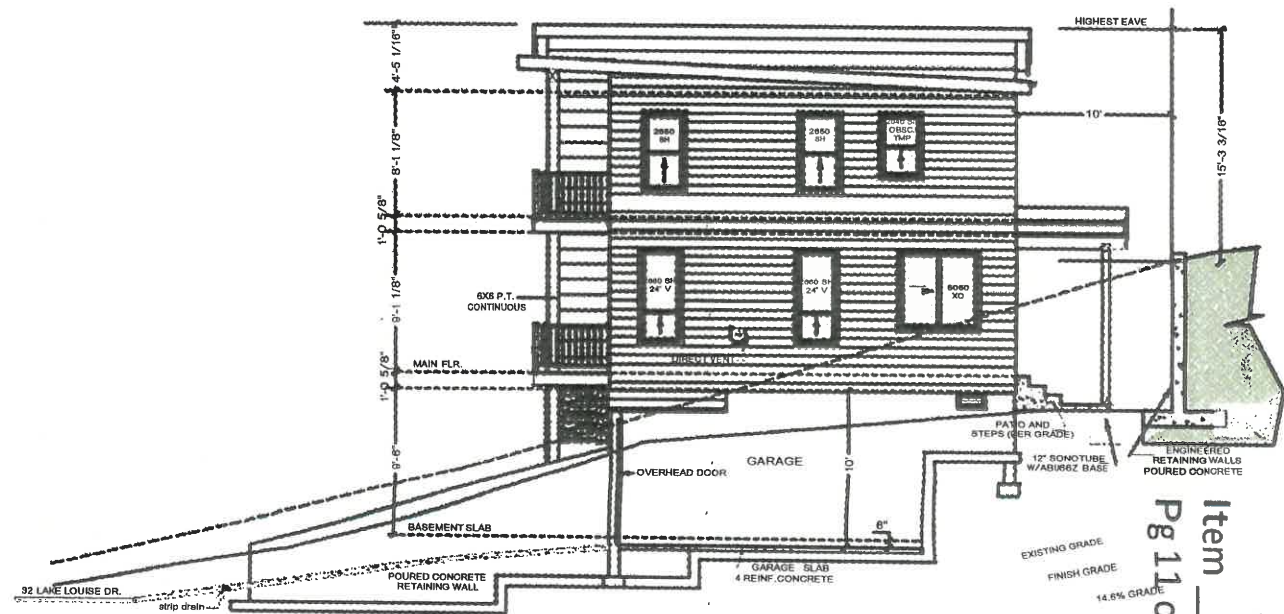
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WEST ELEVATION

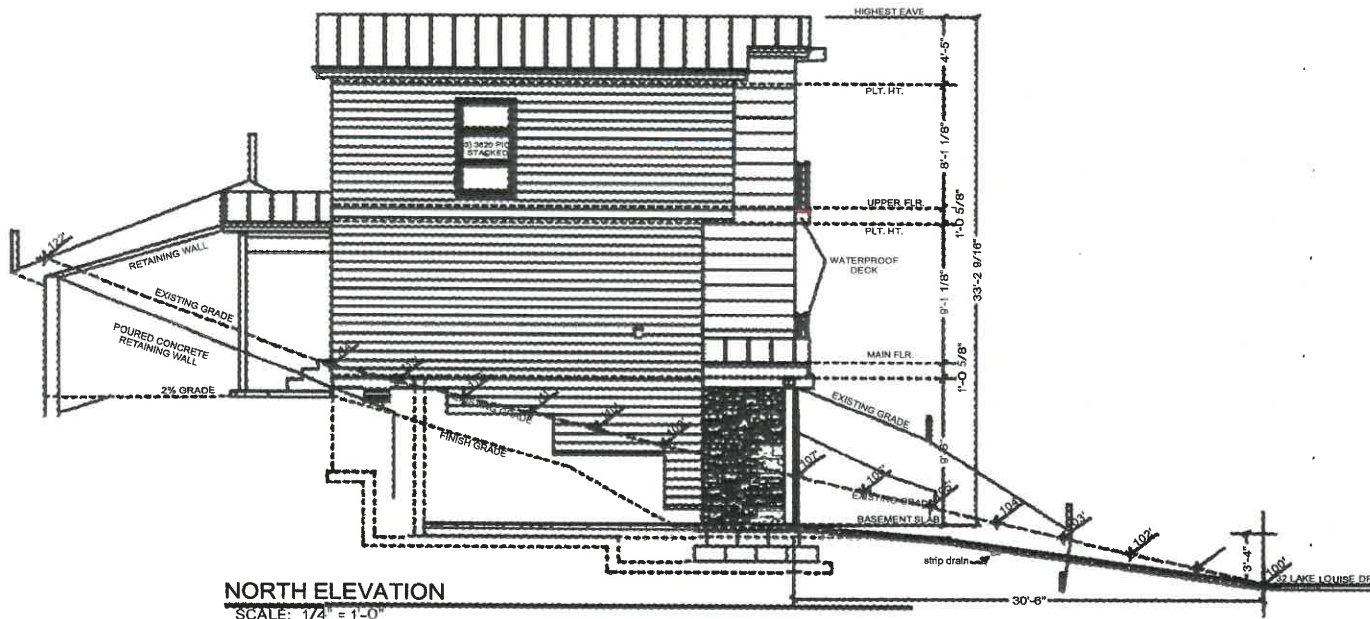
SCALE: 1/4" = 1'-0"



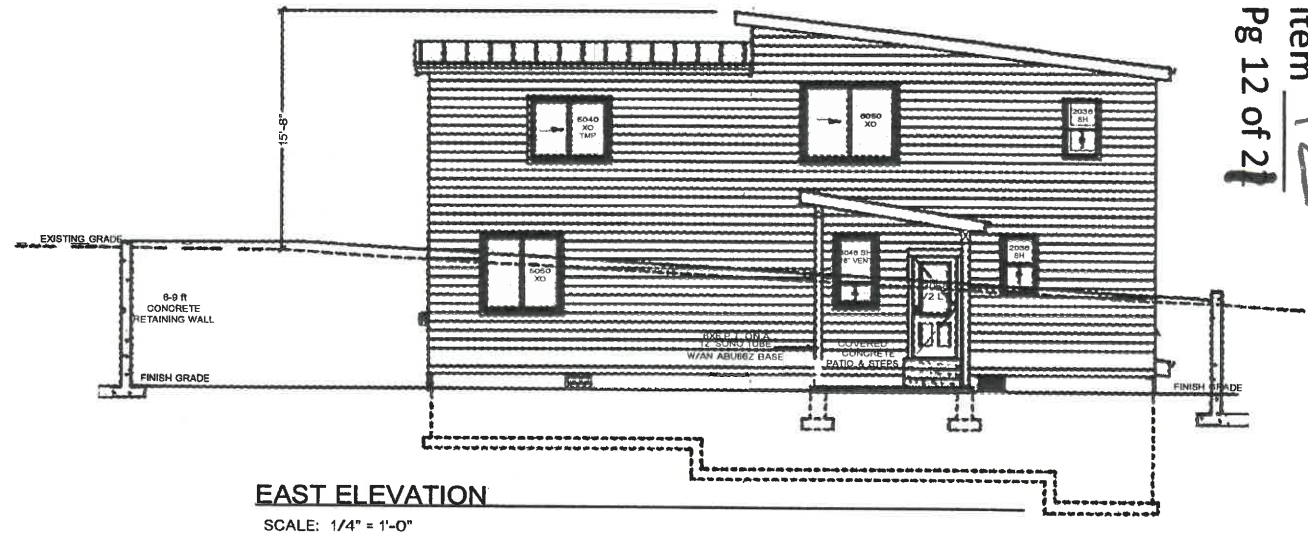
SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

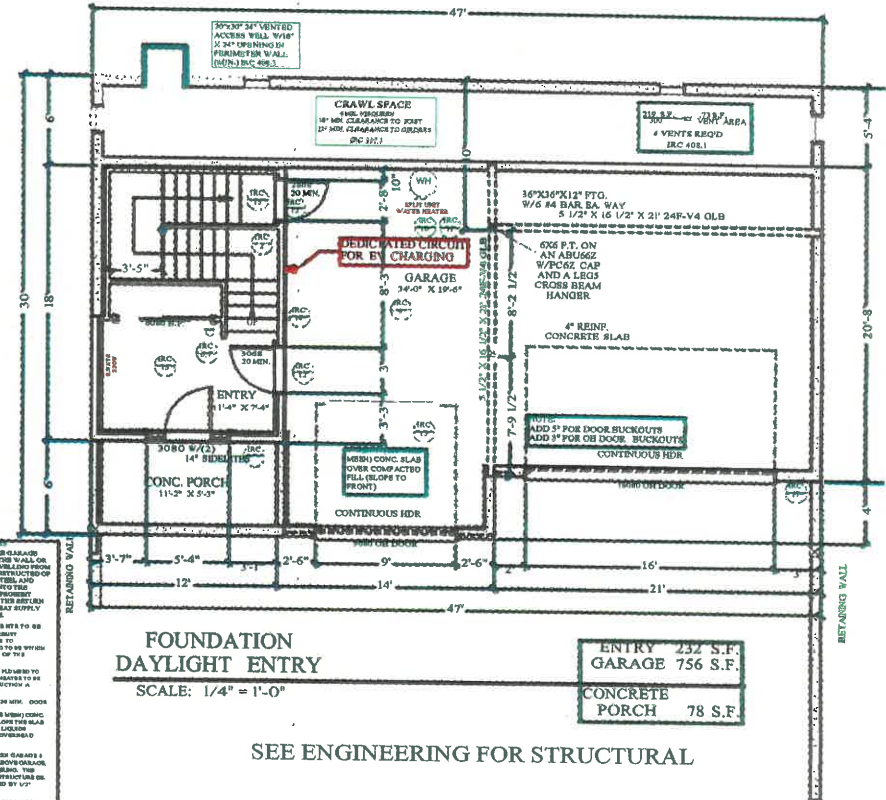
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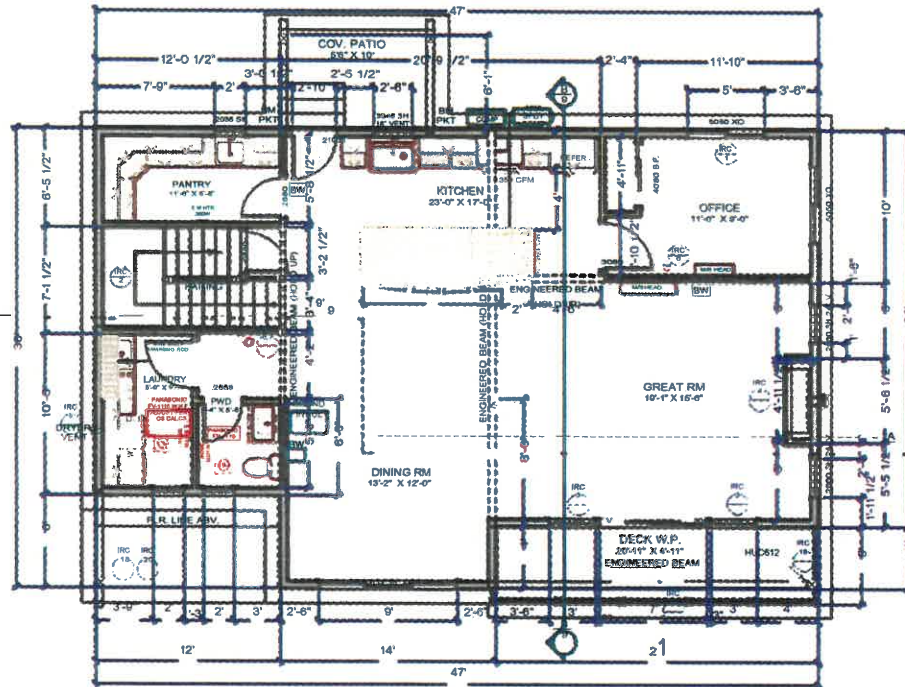
CONCRETE APRON & DRIVEWAY
FINISH GRADE = 10%



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MAIN FLOORPLAN
SCALE: 1/4" = 1'-0"

MAIN FLP 1254 S.F.
W.P. DECK 105 S.F.

2021 IRC
INTERIOR NOTES

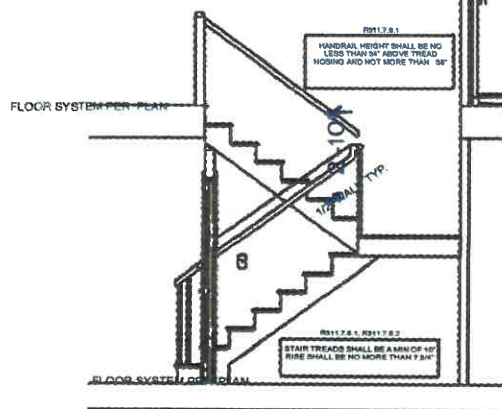
1. IRC R301.1 - PROVIDE AT LEAST ONE OPERABLE WINDOW OF NOT LESS THAN 5.7 S.F. OF OPENING AREA, WITH CLEAR UNOBSTRUCTED HEIGHT TO AND FROM THE MAXIMUM RAIL HEIGHT UP ABOVE FINISHED FLOOR.
2. IRC S11.7 - STAIRWAYS AND RAILINGS SHALL COMPLY WITH IRC S11.8, S11.9, S11.10, S11.11, S11.12, S11.13, S11.14, S11.15, S11.16, S11.17, S11.18, S11.19, S11.20, S11.21, S11.22, S11.23, S11.24, S11.25, S11.26, S11.27, S11.28, S11.29, S11.30, S11.31, S11.32, S11.33, S11.34, S11.35, S11.36, S11.37, S11.38, S11.39, S11.40, S11.41, S11.42, S11.43, S11.44, S11.45, S11.46, S11.47, S11.48, S11.49, S11.50, S11.51, S11.52, S11.53, S11.54, S11.55, S11.56, S11.57, S11.58, S11.59, S11.60, S11.61, S11.62, S11.63, S11.64, S11.65, S11.66, S11.67, S11.68, S11.69, S11.70, S11.71, S11.72, S11.73, S11.74, S11.75, S11.76, S11.77, S11.78, S11.79, S11.80, S11.81, S11.82, S11.83, S11.84, S11.85, S11.86, S11.87, S11.88, S11.89, S11.90, S11.91, S11.92, S11.93, S11.94, S11.95, S11.96, S11.97, S11.98, S11.99, S11.100.
3. IRC S11.1 - APPROVED FACTORY-BUILT STAIRS SHALL BE USED FOR ALL STAIRS. STAIRS SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS TO BE ON FILE FOR INSPECTION.
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EXTERIOR NOTES

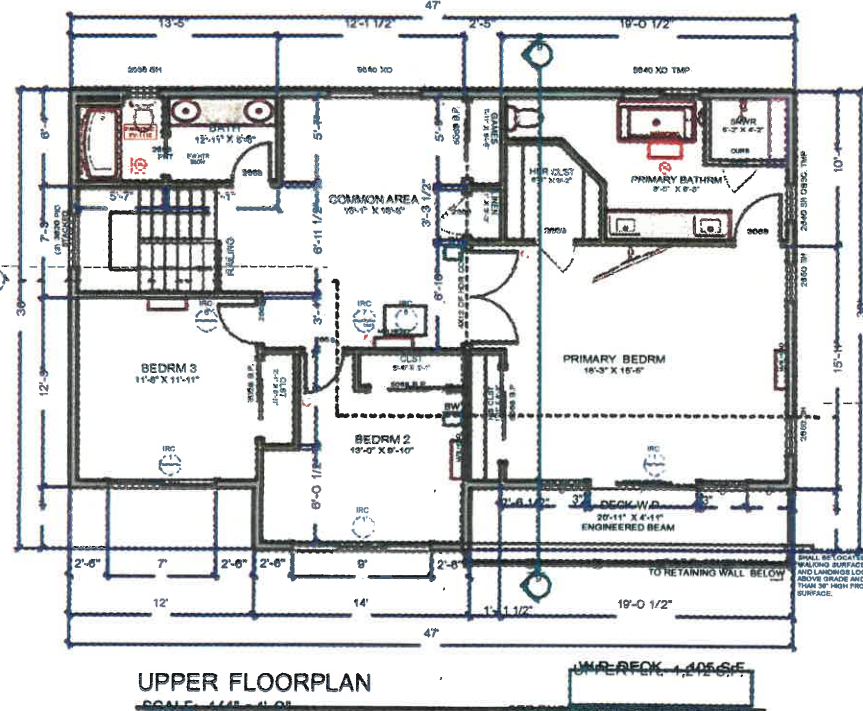
1. IRC S12.1 - GUARD RAILS SHALL BE LOCATED ALONG OPEN SIDED WALKING SURFACES, INCLUDING STAIRS, PLATFORMS, AND DECKS, AND SHALL NOT BE LESS THAN 36" HIGH FROM THE TOP OF WALKING SURFACE.
2. IRC S12.1 - GUARD RAILS SHALL BE LOCATED ALONG OPEN SIDED WALKING SURFACES, INCLUDING STAIRS, PLATFORMS, AND DECKS, AND SHALL NOT BE LESS THAN 36" HIGH FROM THE TOP OF WALKING SURFACE.
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SEE ENGINEERING FOR STRUCTURAL

NOTE: PROVIDE INTERIOR & EXTERIOR STAIRWAY ILLUMINATION PER R302.7 AND R302.8
[HTTPS://UP.CODES/VIEWER/WASHINGTON-RESIDENTIAL-COD-2021/CHAPTER/5/501-510-520-530-540-550-560-570-580-590-600-610-620-630-640-650-660-670-680-690-700-710-720-730-740-750-760-770-780-790-800-810-820-830-840-850-860-870-880-890-900-910-920-930-940-950-960-970-980-990-1000](https://up.codes/viewer/washington-residential-cod-2021/chapter/5/501-510-520-530-540-550-560-570-580-590-600-610-620-630-640-650-660-670-680-690-700-710-720-730-740-750-760-770-780-790-800-810-820-830-840-850-860-870-880-890-900-910-920-930-940-950-960-970-980-990-1000)
 NOTE: R301.2 HEADROOM
 THE HEADROOM IN STAIRWAYS SHALL BE NOT LESS THAN 8 FEET 0 INCHES MEASURED VERTICALLY FROM THE SLOPED LINE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM ON THAT PORTION OF THE STAIRWAY.
[HTTPS://UP.CODES/VIEWER/WASHINGTON-RESIDENTIAL-COD-2021/CHAPTER/5/501-510-520-530-540-550-560-570-580-590-600-610-620-630-640-650-660-670-680-690-700-710-720-730-740-750-760-770-780-790-800-810-820-830-840-850-860-870-880-890-900-910-920-930-940-950-960-970-980-990-1000](https://up.codes/viewer/washington-residential-cod-2021/chapter/5/501-510-520-530-540-550-560-570-580-590-600-610-620-630-640-650-660-670-680-690-700-710-720-730-740-750-760-770-780-790-800-810-820-830-840-850-860-870-880-890-900-910-920-930-940-950-960-970-980-990-1000)



STAIR SECTION DETAIL



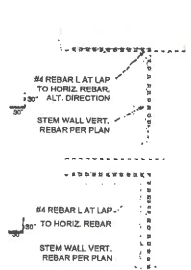
UPPER FLOORPLAN

W.P. DECK 1405 S.F.

2021 IRC
INTERIOR NOTES

1. IRC R301.1 - PROVIDE AT LEAST ONE OPERABLE WINDOW OF NOT LESS THAN 5.7 S.F. OF OPENING AREA, WITH CLEAR UNOBSTRUCTED HEIGHT TO AND FROM THE MAXIMUM RAIL HEIGHT UP ABOVE FINISHED FLOOR.
2. IRC S11.7 - STAIRWAYS AND RAILINGS SHALL COMPLY WITH IRC S11.8, S11.9, S11.10, S11.11, S11.12, S11.13, S11.14, S11.15, S11.16, S11.17, S11.18, S11.19, S11.20, S11.21, S11.22, S11.23, S11.24, S11.25, S11.26, S11.27, S11.28, S11.29, S11.30, S11.31, S11.32, S11.33, S11.34, S11.35, S11.36, S11.37, S11.38, S11.39, S11.40, S11.41, S11.42, S11.43, S11.44, S11.45, S11.46, S11.47, S11.48, S11.49, S11.50, S11.51, S11.52, S11.53, S11.54, S11.55, S11.56, S11.57, S11.58, S11.59, S11.60, S11.61, S11.62, S11.63, S11.64, S11.65, S11.66, S11.67, S11.68, S11.69, S11.70, S11.71, S11.72, S11.73, S11.74, S11.75, S11.76, S11.77, S11.78, S11.79, S11.80, S11.81, S11.82, S11.83, S11.84, S11.85, S11.86, S11.87, S11.88, S11.89, S11.90, S11.91, S11.92, S11.93, S11.94, S11.95, S11.96, S11.97, S11.98, S11.99, S11.100.
3. IRC S11.1 - APPROVED FACTORY-BUILT STAIRS SHALL BE USED FOR ALL STAIRS. STAIRS SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS TO BE ON FILE FOR INSPECTION.
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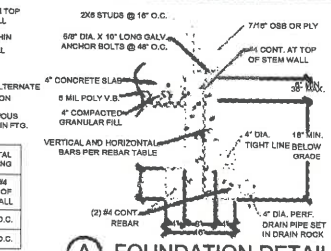
CORNER REBAR



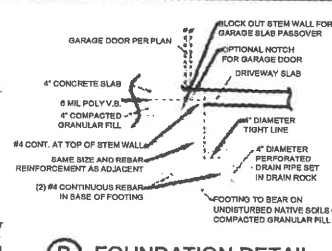
REBAR TABLE

HEIGHT 'H' IN FEET	VERTICAL REINFORCING	HORIZONTAL REINFORCING
0'-2'	#4 AT 24" O.C.	QTY. (1) #4 WITHIN 6" OF TOP OF WALL
2'-6'	#4 AT 18" O.C.	#4 AT 24" O.C.
4'-0'	#4 AT 12" O.C.	#4 AT 24" O.C.

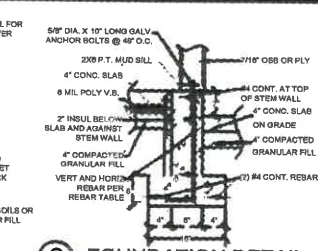
A FOUNDATION DETAIL GARAGE



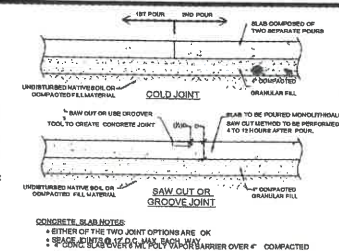
B FOUNDATION DETAIL DOOR OPENING



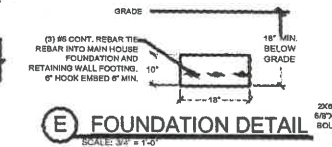
C FOUNDATION DETAIL GARAGE-LIVING



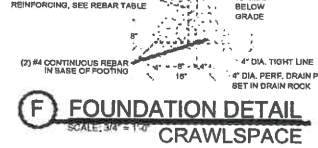
D SLAB JOINT DETAIL



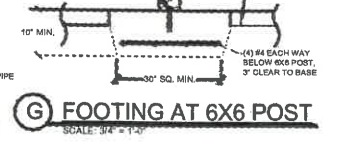
E FOUNDATION DETAIL



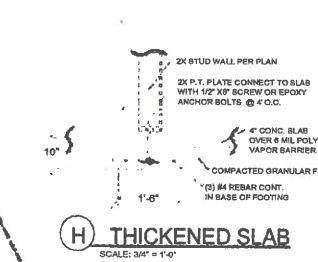
F FOUNDATION DETAIL CRAWLSPACE



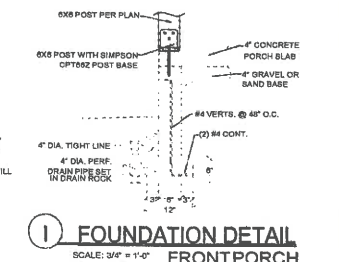
G FOOTING AT 6X6 POST



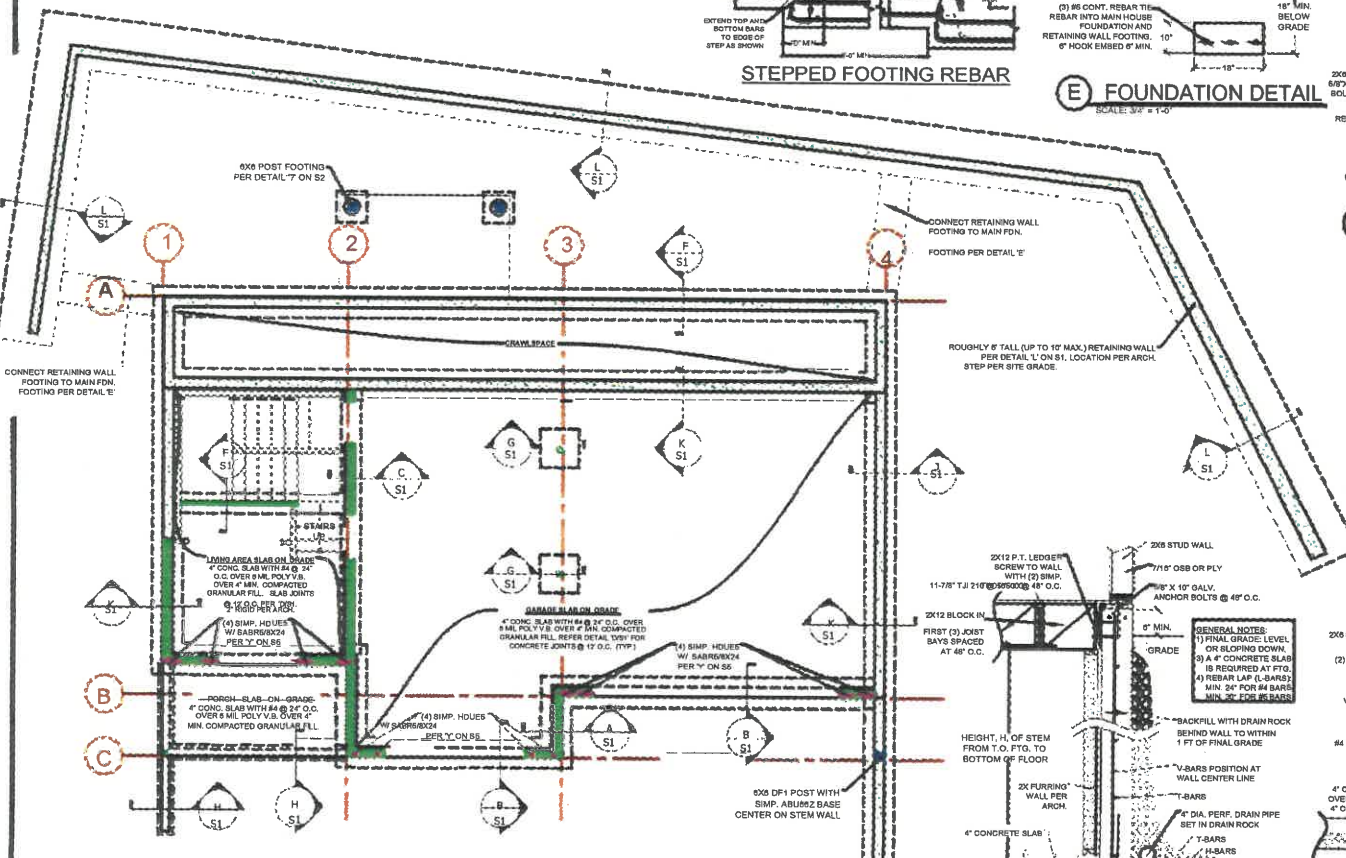
H THICKENED SLAB



I FOUNDATION DETAIL FRONTPORCH



FOUNDATION & RETAINING WALL PLAN
SCALE: 1/4" = 1'-0"



J BASEMENT FOUNDATION

BASEMENT WALL SCHEDULE											
H	A	B	C	D	E	F	G	H	I	J	K
10' 0"	12' 0"	12' 0"	12' 0"	12' 0"	12' 0"	12' 0"	12' 0"	12' 0"	12' 0"	12' 0"	12' 0"

K CRIPPLE WALL FOUNDATION

CRIPPLE WALL REINFORCEMENT SCHEDULE											
H	A	B	C	D	E	F	G	H	I	J	K
10' 0"	12' 0"	12' 0"	12' 0"	12' 0"	12' 0"	12' 0"	12' 0"	12' 0"	12' 0"	12' 0"	12' 0"

L RETAINING WALL DETAIL

RETAINING WALL SCHEDULE											
H	A	B	C	D	E	F	G	H	I	J	K
10' 0"	12' 0"	12' 0"	12' 0"	12' 0"	12' 0"	12' 0"	12' 0"	12' 0"	12' 0"	12' 0"	12' 0"

LACK OF GEOTECHNICAL ENGINEERING REPORT ACKNOWLEDGMENT:
NO GEOTECHNICAL REPORT HAS BEEN PROVIDED FOR THE SUBJECT
STRUCTURE. FOR THAT REASON, FOOTINGS HAVE BEEN DESIGNED FOR 1,000
PSF ALLOWABLE BEARING CAPACITY PER CITY OF ATLANTA REQUIREMENTS.
THE FOUNDATION AND FOOTINGS SHOULD BEAR ON PROOF-ROLLED,
REMEDIALY COMPACTED MEDIUM DENSE NATIVE SOILS OR ON STRUCTURAL
FILL (SEE STANDARD STRUCTURAL SPECIFICATIONS - EARTHWORK, PLACED
ON PROOF-ROLLED, REMEDIALY COMPACTED MEDIUM DENSE NATIVE SOILS).

REFER TO THE PROPOSED ARCHITECTURAL DRAWINGS PROVIDED BY
BLUEPRINT DESIGN AND DATED 4-5-2025 FOR THE PROPOSED DESIGN. THIS
ARCHITECTURAL DRAWING SET IS THE BASIS OF STRUCTURAL DESIGN.
ENGINEER TO BE NOTIFIED OF ANY DESIGN CHANGES THAT AFFECT THE
STRUCTURE FRAME (I.E. FOUNDATION, EXTERIOR WALLS, INTERIOR BEARING
WALLS, ROOF FRAMING, ETC.) CONTACT THE ENGINEER. IF CONFLICTS ARE
FOUND BETWEEN THE ARCHITECTURAL AND STRUCTURAL DRAWINGS OR
OTHER RELATED DOCUMENTATION (I.E. CIVIL, GEOTECH, ETC.).

DRAWING TO BE PRINTED ON 24"x36" IN ORDER TO BE SCALE

STANDARD STRUCTURAL SPECIFICATIONS - 2021 IRC

INTRODUCTION

The Standard Specifications are guidelines and structural requirements for construction of typical structures. The intent of this document is to provide general structural requirements for the project. Builder, contractor, and other parties involved are required to read this document and are responsible for meeting the requirements specified within. Contact the engineer of record with any questions or concerns.

DESIGN CRITERIA

DESIGN PARAMETER	VALUE	SOURCE
Seismic Design Category	DI ¹	IBC 1613.2.3(1)
Wind Exposure Category	II	IBC 1601.4.3
Wind Exposure Category	II	ASCE 7-16 26.6-1
Design Wind Load	15 PSF	ASCE 7-16 26.6-1
LOAD SOURCE	LIVE LOAD	DEAD LOAD
Roofs	20 psf	15 psf
Floors	40 psf	12 psf
Decks & Balconies	60 psf	10 psf
Ground Snow Load	25 psf	-
Exterior Wall	12 psf	-
Interior Partition	10 psf	-
Interior Partition	8 psf	-

Minimum uniform live loads come from 2021 IRC Table R301.5

DEFLECTION LIMITS

STRUCTURAL MEMBER	LIVE+DEAD
Roof (with flexible ceiling)	L/240
Roof (with brittle ceiling)	L/360
Rafter with slopes greater than 3:12 without ceiling	L/180
Roof Members	L/360
Horizontal Deflection (with flexible finish)	L/360
All other structural members	L/240

The above maximum deflection limits are required by 2021 IRC Table R301.7. Higher limits (less deflection) may be used at the engineer's discretion.

REFERENCE CODES & STANDARDS

- International Residential Code, IRC 2021
- Washington State Residential Code, 2021
- National Design Specification for Wood Construction with 2018 Supplement, AWC NDS 2018
- Special Design Provisions for Wind and Seismic, ASCE 7-16
- Wood Frame Construction Manual, WFCM 2018
- Building Code Requirements for Structural Concrete, ACI 318-19
- Minimum Design Loads for Buildings and Other Structures, ASCE 7-16
- Specification for Structural Steel Buildings, 15th Edition, AISC 360-16

GENERAL REQUIREMENTS

Codes: All materials and work shall adhere to the minimum requirements of the Reference Codes & Standards listed above. Contractor shall be responsible to comply with OSHA, State, Federal, and Industry Standards. Contractor assumes full responsibility of construction methods used, safety provisions employed, and the finished condition of the structure.

Construction Personnel: Only competent personnel familiar with construction and safety practices relevant to the project should be employed to assemble and construct the work.

Construction Methods and Project Safety: The project drawings and specifications represent the relevant structure and do not indicate methods, procedures, or sequence of construction. The builder must take necessary precautions to maintain and ensure the integrity of the structure during construction. Bradley Engineering, Inc. will not enforce safety measures or regulations, nor will the owner or designer. Therefore, the contractor shall design, construct, and maintain all safety devices and follow all pertinent regulations.

Temporary Support: The builder must provide adequate temporary support to all walls, roofs, beams, and floors during construction. Design of these supports are not included unless specifically shown. Contractor is responsible for the adequacy of all temporary support structures.

Specifications: All notes, add-ons, and details included within this design package are required unless specifically noted otherwise.

Verification: Verify all dimensions, elevations, and site conditions before starting work.

Errors: The contractor is responsible to check the plans and site conditions and to notify the architect/engineer/owner of any errors or omissions prior to the start of construction.

Conflict: Notes and details on the structural drawings take precedence over the Standard Structural Specifications and typical details. Written dimensions take precedence over scaled drawing dimensions. Structural notes and details on the structural drawings take precedence over the architectural drawings.

Changes: Written approval from the engineer of record is required for any structural change to the provided drawings. Changes may be made in the field with consent of Bradley Engineering. Please provide a red-lined drawing or sketch of desired change(s) to provide contact and applicable information prior to carrying out any change.

Scope of Work: The scope of work of Bradley Engineering, Inc. is limited to the structural engineering and analysis pertaining to the subject structure. Bradley Engineering, Inc. takes no responsibility for items not specifically addressed in the drawings, calculations, or call-outs.

Completion of Work: Submission of these structural drawings to the client completes the present scope of work and budget of Bradley Engineering, Inc. or consultant, design, calculations, sketches, inspection, etc. after submittal of this report shall be based on an hourly basis.

Disclaimer: Bradley Engineering is not responsible or liable for shoring, bracing, struts, bracing by nature and is vulnerable to cracking for a number of reasons including temperature, wood shrinkage and settling.

Structural Steel: Unless noted otherwise, the grade of steel members is as follows:

- Wide Flange (W).....ASTM A992 Steel Fy = 50 ksi Fu = 65 ksi
- HSS Tube (HSS).....ASTM A500, Grade B or better Fy = 49 ksi Fu = 58 ksi
- Channel, plate, angle.....ASTM A36, Fy = 36 ksi Fu = 58 ksi
- Bolts.....ASTM A325 or better
- Anchor bolts.....ASTM F1554 or better
- #4 Rebar & Smaller.....Grade 40 (Fy = 40 ksi or better)
- #5 Rebar & Larger.....Grade 60 (Fy = 60 ksi or better)

Contractor: Unless noted otherwise, steel to steel connections to be 1/4" continuous fillet weld. All structural steel to be fabricated in accordance with the AISC manual of structural steel construction, latest edition.

Welding: Steel welding to be done using E70 electrodes, and conform to AWS D1.1, latest edition.

Weathers: Provide standard weathers under all nuts and anchor bolts.

FOUNDATION

- Design Soil Bearing Pressure = 1,500 psf
- Front Zone Depth = 18 inches
- Unless noted otherwise, concrete is designed with 2,800 psi strength and does not require special inspection. The specified concrete strength (3,000 psi) shall be maintained by the design engineer (2,300 psi).

Code: See ASCE 318-18 concrete design, and testing shall conform to ACI 318-18 and ACI 308-16.

Geotechnical Report: Bradley Engineering strongly recommends that a geotechnical report be performed by a qualified geotechnical engineer for all land based construction projects. If the information is not supplied, foundations are designed for 1,500 psf soil bearing pressure.

Earthwork: Call before you dig! Call 811. Locate and protect underground cable, plumbing, and utilities where work is performed. Before there has been a structural break in any underground utility, the contractor shall be responsible for the location, depth, and status of the utility. The contractor shall be responsible for the location, depth, and status of the utility. The contractor shall be responsible for the location, depth, and status of the utility.

Structural Fill: Structural fill consists of clean, well-graded sandy gravel, granular sand, or other approved material occurring granular material (e.g. pit run) with at least 30 percent retained on the No. 4 sieve, or a well-graded crushed rock. In wetter areas, fill should be placed in layers with a maximum thickness of 12 inches. The contractor shall be responsible for the location, depth, and status of the utility. The contractor shall be responsible for the location, depth, and status of the utility.

Surface Drainage: Finished grades are to be at least 1/4" below top of stem wall. Lots shall be graded to drain surface water away from foundation walls. The grade shall fall a minimum of 6 inches within 10 feet, if 6 inches of fall is not possible, grade shall be sloped not less than 2 percent away from the building.

Footings: All footings shall conform to accompanying structural details. Specified footing dimensions are minimum unless noted otherwise. Bottom of footings to be below frost zone (16").

Footings: Provide adequate drainage to retaining and basement walls is imperative. Footing drains shall be provided at the base of all footings and retaining walls which will have water placed against them. Weirhead drain must extend to within one foot of finished grade. Footing drains shall be 4" perforated pipe routed down gradient to daylight, unless otherwise specified.

Concrete: Mix and 28 day strength unless noted otherwise:

- Concrete compressive strength, f_c = 3,000 psi (It shall be evaluated at 28 days or 56 days for fly ash)
- Concrete exposed to weather shall have an air content of 6% (+/-1.5%)
- Maximum water/cement ratio = 0.30
- 28% max fly ash, 50% max slag
- Lot: Concrete shall be poured within 90 minutes of the previous lift

Temperature: Concrete shall be maintained at a temperature of at least 50°F and in a moist condition for at least the first 7 days after placement, except if accelerated curing is used. High-strength concrete shall be maintained at a temperature of at least 50°F and in a moist condition for at least the first 7 days after placement, except if accelerated curing is used.

Reinforcement: Place all reinforcing per plans, details, and applicable code requirements. Lap at continuous bars 48 x bar diameter minimum. For a typical continuous bar (diameter = 0.375") the minimum lap is 48 x 0.375" = 24" minimum. Reinforcing bars, bolts, anchors, etc. shall be securely tied in position prior to concrete placement. Reinforcing steel shall be free of rust and coatings.

Anchor Bolts: Provide 5/8" diameter 1" long lap-weld or expansion anchor bolts at 4" O.C. and within 6-12" of corners with 3"x3"x24" square plates. 7" minimum anchor bolt embedment required.

Adhesive Anchor: Unless noted otherwise, epoxy anchors in concrete with Simpson SET-30 or HIT HY-105-RT or equivalent epoxy, installed per manufacturer's guidelines.

Waterproofing: Waterproof all basement walls and slabs on grade. It is highly recommended to use asphalt waterproofing or other approved system. All waterproofing shall be installed per the manufacturer's recommendations. At cold-joints, waterproofers are highly recommended.

SLAB ON GRADE

Control Joints: Control joints placement, cut, or sawed at 8-12' O.C. intended to mitigate shrinkage cracking. Rebar or wires may mesh (if indicated) shall break at all control joints. Control joints within 12 hours of pour.

Garage Slabs: Unless noted otherwise, garage slabs shall be 4" concrete slab over 10 mil poly vapor barrier over 4" compacted granular fill. Rebar or wires may mesh (if indicated) shall break at all control joints. Control joints within 12 hours of pour.

Living Area Slabs: Unless noted otherwise, interior slabs shall be 4" concrete slab over 10 mil poly vapor barrier over 2" rigid insulation (where insulation is required) over 4" compacted granular fill.

Reinforcing: Reinforcing bars or rebar wires mesh shall be placed 1-2" above the bottom of the slab.

Curing: Use water or membrane cure immediately after initial set for a minimum of 7 days. For water cure, hose it down and keep it wet. For membrane curing, the concrete shall be covered with an impermeable membrane (e.g. Viqueux) or liquid membrane curing compound. Concrete shall be cured during curing.

Drainage: Granges, pipes, and surfaces that are required to drain shall be sloped 1/8" per 1' or 1/4" per 1'.

Concrete Tolerances: Concrete tolerances shall not be indicated on plans unless specifically detailed on the structural drawings.

Interior Walls: Unless noted otherwise, interior walls shall be 4" concrete slab over 10 mil poly vapor barrier over 2" rigid insulation (where insulation is required) over 4" compacted granular fill.

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WOOD FRAMING

Default Wood Type: Unless noted otherwise, the material for a structural member is as shown:

- Beams, Posts, & Sawn Joists.....Douglas Fir #2 (D.F.2)
- Studs & Planks.....Southern Yellow Pine #1 (S.Y.P.1)
- Blocking.....Any solid C.D. or pine material
- Rim Joists.....Douglas Fir #2 (D.F.2) for solid sawn, manufactured rim joists
- Glued-Laminated (V-Lam).....Douglas Fir #2 (D.F.2) for solid sawn, manufactured rim joists
- Exposed Structural Members.....Pressure Treated (P.T.)
- Glued-Laminated (V-Lam).....Treat with H-Clear by Phenopax Products Co. in Hillsboro, OR

Moisture Content: The moisture content must be 19% at the time of installation of connectors, nails, and bolts for framing members.

Pressure Treated Lumber: All members in contact with earth/surface or exposed to the elements shall be pressure treated or preservative treated (P.T.). Ceilings and walls shall be applied immediately to the ends of members after fabrication and field framing. Glued Laminated (V-Lam) shall be exposed to the elements shall be treated with H-Clear by Phenopax Products Co. in Hillsboro, OR.

Blocking: Provide 2x4 or engineered lumber full depth solid blocking between joists and rafters at beam and bearing wall locations. Blocking is required at all bearing locations. Trusses, structural composite lumber, glued-laminated members, and joists shall be supported laterally as required by the manufacturer's recommendations.

Beating: For beams bearing on masonry or concrete walls or columns, use a minimum 2x12" bearing length unless noted otherwise. Use enough studs to match or exceed beam width unless noted otherwise.

Headings: Unless noted otherwise, headings to be 4x10 D.F.2, (2) 2x10 D.F.2, or 2x10 D.F.1.

Glued-Laminated Members: Glued Laminated (V-Lam) shall be Douglas Fir-Larch, 24F-V4, dry use only.

Engineered Lumber: Engineered lumber offers certain structural advantages over conventional sawn lumber. All engineered lumber must be APA approved. Install per the aforementioned codes and relevant manufacturer's installation guides for each type.

- Wood Joists: Used extensively in floor and roof framing (Truss Joist T.J.s typically specified)
- Laminated Veneer Lumber (LVL): Minimum modulus of elasticity $E = 2.0 \times 10^6$ psi
- Parallel Strand Lumber (PSL): Minimum modulus of elasticity $E = 2.0 \times 10^6$ psi
- Laminated Strand Lumber (LSL): Minimum modulus of elasticity $E = 2.0 \times 10^6$ psi

LVL, Option 1B and PSL, Multi-Ply LVL beams may be used in lieu of PSL or GLB, provided that they are installed in accordance with the manufacturer's installation instructions (T&E 4-2).

Multi-ply LVL's shall be fastened together with min (2) rows 1/4" self-tapping screws @ 18" O.C., 1.5" minimum embedment required in all members.

(3) rows of 1/2" diameter wood screws @ 24" O.C. with 1/2" washers on each side is acceptable.

The width and height of the multi-ply LVL beam must be equal or greater than the corresponding dimensions called out for the respective GLB or PSL beam.

Split Sawn Lumber: Joists to be installed with a double member may be pre-drilled over joists due to cost or other reasons. The following solid sawn lumber options may be used in lieu of engineering joists (e.g. T&E) without approval from the engineer of record. Maintain original spacing (e.g. 12", 16", or 24" O.C.).

2x10 D.F.2 may be used in lieu of 8-1/2" T.J. 20's

2x12 D.F.2 may be used in lieu of 11-7/8" T.J. 20's

Wood Structural Panel: American Plywood Association (APA) rated sheathing is required for all wood structural panels. Unless noted otherwise, the wood panel for each situation is:

Roof Sheathing: 1/2" CDX plywood with moisture resistant glue, highly recommended, CD (plywood), or 7/16" OSB (oriented strand board), with ply gaps at 24" (gouges and grooves). Nail with 8d nails at 6" O.C. along edges, 12" O.C. in the field, no blocking required.

Typical Exterior Wall Sheathing unless noted otherwise: 7/16" OSB or 7/16" PLY 48" 8d nails at 6" O.C. along edges, 12" O.C. in the field, no blocking required.

Prescriptive Interior Wall Sheathing: 1/2" Drywall (Gypsum Wall Board - GWB), secured with 1-1/4" Type W or S screws at 7" O.C. along edges, 7" O.C. in the field.

Floor Sheathing: 3/4" CDX or OSB, nailed with 8d nails at 6" O.C. along edges, 12" O.C. in the field, glued with construction adhesive prior to nailing unless noted otherwise.

Roof Walls: See shear wall plans and shear wall table for sheathing grade, thickness, and nail spacing.

Shelf: Refer to R311.7 for shelf framing and other requirements.

Advanced Framing: Unless specifically approved by the engineer of record, advanced framing is not allowed. Advanced framing may be a cost-effective and structurally adequate alternative to conventional framing, but additional framing must be added. Advanced framing shall conform to the construction standards outlined in APA's Advanced Framing Construction Details (available on www.wccwood.org).

Shelf at Overhang: Refer to table R602.1(1) to determine the number of joist and king stud required at each end of an overhang. Refer to table R602.1(1) for construction requirements.

Exterior Stud Walls: Use 2x6 studs @ 16" O.C. unless noted otherwise. 2x6 exterior studs shall be typically desirable for insulation/energy code reasons (e.g., not structural members).

Interior Stud Walls: Use 2x4 studs @ 16" O.C. unless noted otherwise. 2x4 interior studs shall be typically desirable for insulation/energy code reasons (e.g., not structural members).

Interior Walls with Joists parallel to wall: Install solid blocking under interior walls perpendicular to joists.

Wood Stud Holes & Notching: For wood studs 12" and less, it is permissible to cut notches and holes per the following restrictions. Notches and holes shall not exceed the following maximum dimensions:

- Bearing Wall Holes: 40% of total stud width. Notch - 25% of total stud width
- Non-bearing Wall Holes: 60% of total stud width. Notch - 40% of total stud width
- In all cases, hole edges must be at least 1/8" from edge of the stud
- It is OK to drill up to 1" diameter hole in studs up to 16" tall. Hole to be 1/8" from edge of stud.
- See IRC Figure R602.1(1) for visual description of stud holes & notching

DECKS & BALCONIES

Guardrails: Unless noted otherwise and detailed, guardrails to meet R312.1. Guardrails shall be 36" high min with max opening size so that a 4" sphere cannot pass through. Guardrails shall be designed to withstand a 200 lb point load applied in any direction and at any location on the top rail and shall be designed to withstand a uniform load of 50 lb applied horizontally to the top rail. Construction/inspector to physically verify (e.g. push & pull on top rail) that the guardrails meet the IRC loading requirements mentioned above.

Attachment to House: All deck ledger connections shall conform to the details outlined on structural drawings.

For decks over 30" above grade, deck tension fasteners required:

- DT122 - (1) at each end of the deck (2 total)
- DT172 - (4) equally spaced along the length of deck

Hot Taps on Deck: DO NOT INSTALL HOT TAPS ON DECKS unless specifically designed for hot tap.

Waterproofing: Bradley Engineering is not responsible for adequacy of waterproof membranes on decks which cover living spaces.

STAIRWAYS

Stairs: Refer to R311.7 for stairway requirements.

Handrails: Unless noted otherwise and detailed, handrails to meet R311.7.6.

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ABBREVIATIONS (Used throughout structural drawings)

(E) Existing	C.S. Clear Span	INT. Interior	STD. Standard
(N) New	DBL Double	MAX. Maximum	STR. Structural
A.S. Anchor Bolt	E.S. East	MANUF. Manufacturer	S.S. Select Structural
ARCH. Architectural	ELEV. Elevation	MIN. Minimum	T.C. Top of
BLOG. Blocking	EXT. Exterior	N/A Not Applicable	T.J. Truss Joint, Truss
BLKD. Blocking	FIN. Foundation	O.C. On Center	TPL. Typical
BM. Beam	F.T. Footing	QTY. Quantity	TRF. Typical
BTM. Bottom	GLN. Galvanized	P.L.T. Physically	UNF. unless noted otherwise
C C Channel (Steel)	GA. Gauge	P.T. Pressure Treated	V.B. Vapor Barrier
CL. Center Line	HDR. Header	REIN. Reinforced	VERT. Vertical
CMU. Concrete Masonry Unit	HORIZ. Horizontal	REQD. Required	WI. With
CONCRETE. Concrete	HORIZ. Horizontal	REIN. Reinforced	W/O. Without
CONT. Continuous	INSUL. Insulation	REIN. Reinforced	W/ V. With Vapour (Block)

ROOFS

Manufactured Trusses: Unless specifically referenced on structural drawings, wood trusses are to be installed by a truss manufacturer. If truss layout is not provided by truss manufacturer, the engineer assumes that trusses all bear on exterior walls and do not bear on interior walls. Trusses and truss connections/truss-to-be in accordance with truss manufacturer's requirements. Do not modify or cut trusses without approval of truss manufacturer.

Glider Trusses: Truss manufacturer to be responsible for placement of glider trusses. Install glider truss LOT tie down or SCWD15500 screws to secure glider trusses as detailed on structural drawings. Number of studs supporting glider truss to match pitch of glider (e.g. 5-8" glider truss to bear on minimum 3 studs).

Lateral Bracing: Contractor to install lateral bracing in roof as specified by truss manufacturer.

Over-hanging: Unless noted otherwise over-hanging to be 2x8 @ 24" O.C. Over-hanging to be bear directly on top of truss layout. See rafter axis chart below for rafter axes. Manufactured truss over-hanging is acceptable.

Access: All access shall be provided per R301.1. The rough framed opening size shall not be less than 22"x33" and shall be located in a hallway or other readily accessible location.

Header: Bearing wall headers to be 4x10 or 6x8 D.F.2 min (double 2x10 double 2x10).

Solar Panels: Roof framing can structurally accommodate the dead load associated with solar panels.

Wind forces and associated connection to roof is outside of scope of work and responsibility.

Do not install solar panels on existing roof unless manufacturer's trusses exist.

FRAMING CONNECTORS

Manufactured: Simpson Strong-Tie construction connectors are specified, however, any nationally recognized brand (e.g. Silver, ICC, etc.) may be used provided that they are equivalent in their ability to carry all applied loads in all orientations.

Installation: All prohibited items shall be installed in strict accordance with the manufacturer's recommendations and requirements (locations, exposure, and end edge distances, fasteners, etc.).

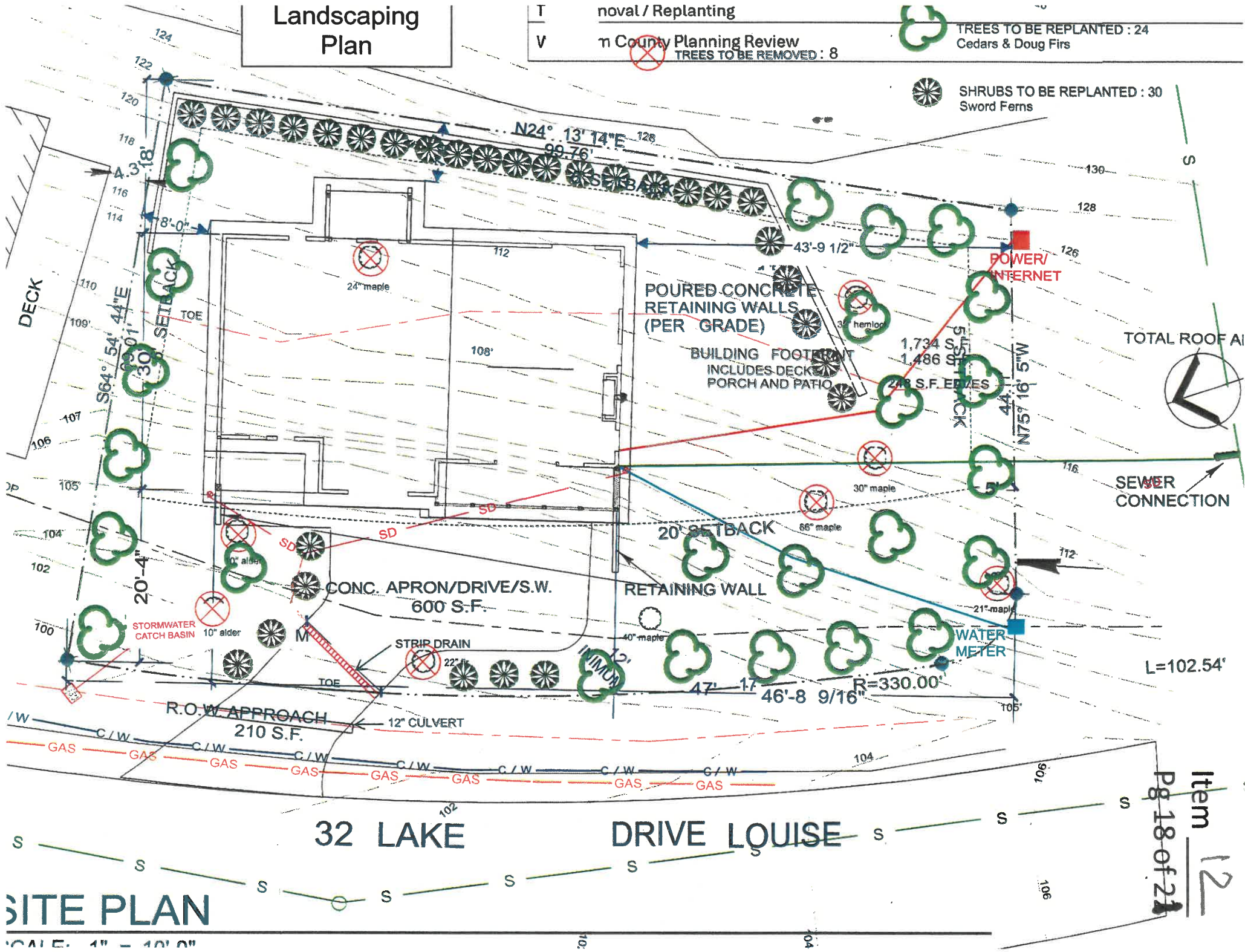
Strap Connections: Unless noted otherwise on the structural drawings and details, the following Simpson Strong-Tie construction connectors shall be used:

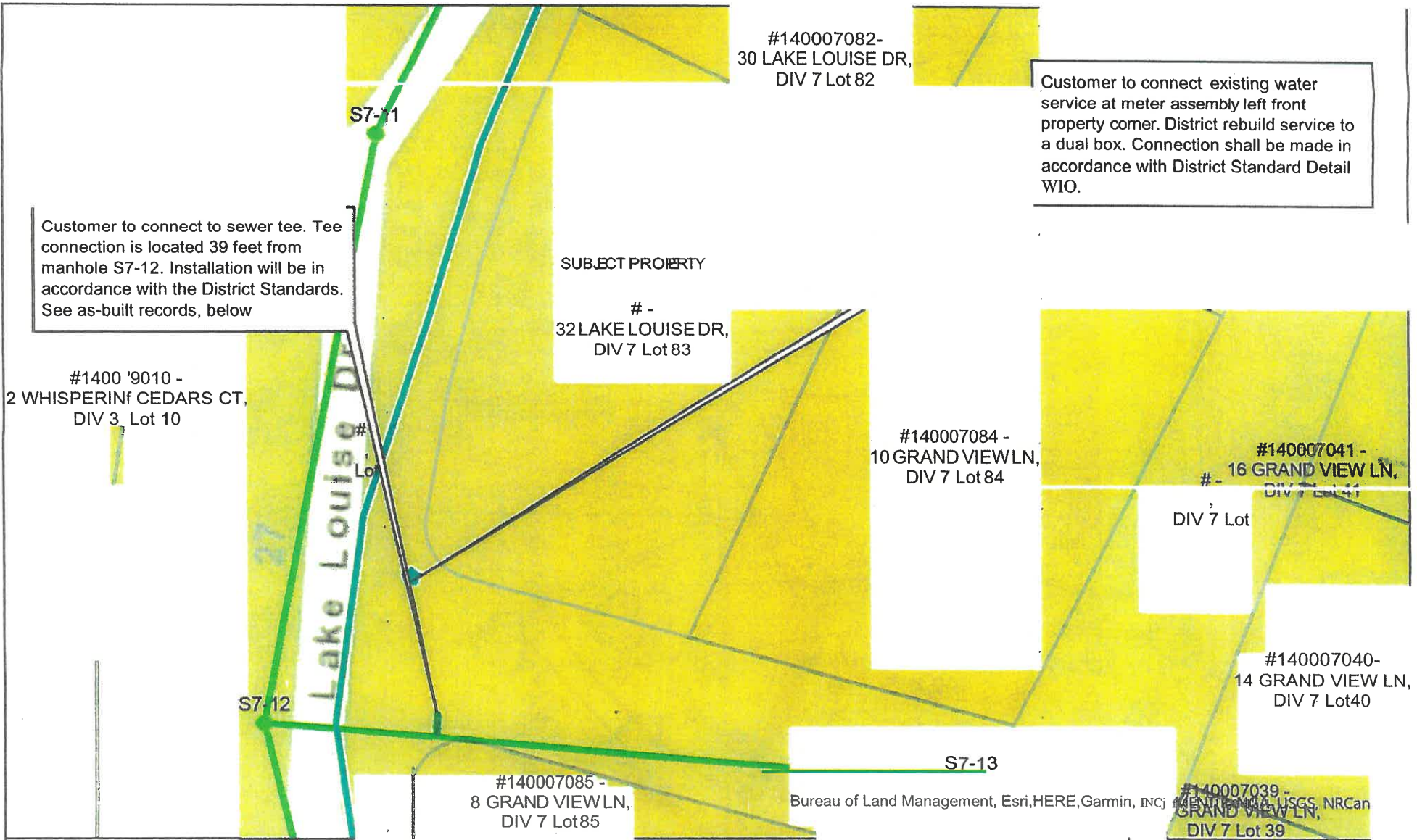
- Post-Column: CPT2, INFERIOR, EDOCOR, CO, COO, ECC, EDOO
- Post-Beam: CPT2, CPT2, INFERIOR, EDOCOR, CO, COO, ECC, EDOO
- Joint Hangers: LUSUM/JUMHANG, JO, HUTT/HUTTF (top-flange)
- Joint Hangers: LUSUM/JUMHANG, JO, HUTT/HUTTF (top-flange)
- Beam Hangers: LUSUM/JUMHANG,

Landscaping Plan

T noval / Replanting
 V n County Planning Review
 TREES TO BE REMOVED : 8

TREES TO BE REPLANTED : 24
 Cedars & Doug Firs
 SHRUBS TO BE REPLANTED : 30
 Sword Ferns





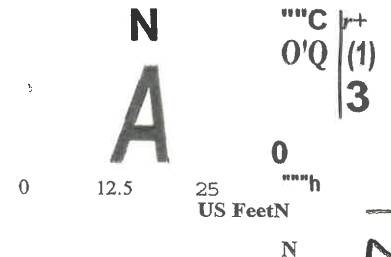
32 Lake Louise Dr.-Sudden Valley Div 7 Lots 83 Parcel # 370408 321327

WATER AND SEWER CONNECTION INFORMATION
Connection information shown is approximate. Other utility locations are not shown.
All work shall be done in accordance with the District's Design & Construction Standards.

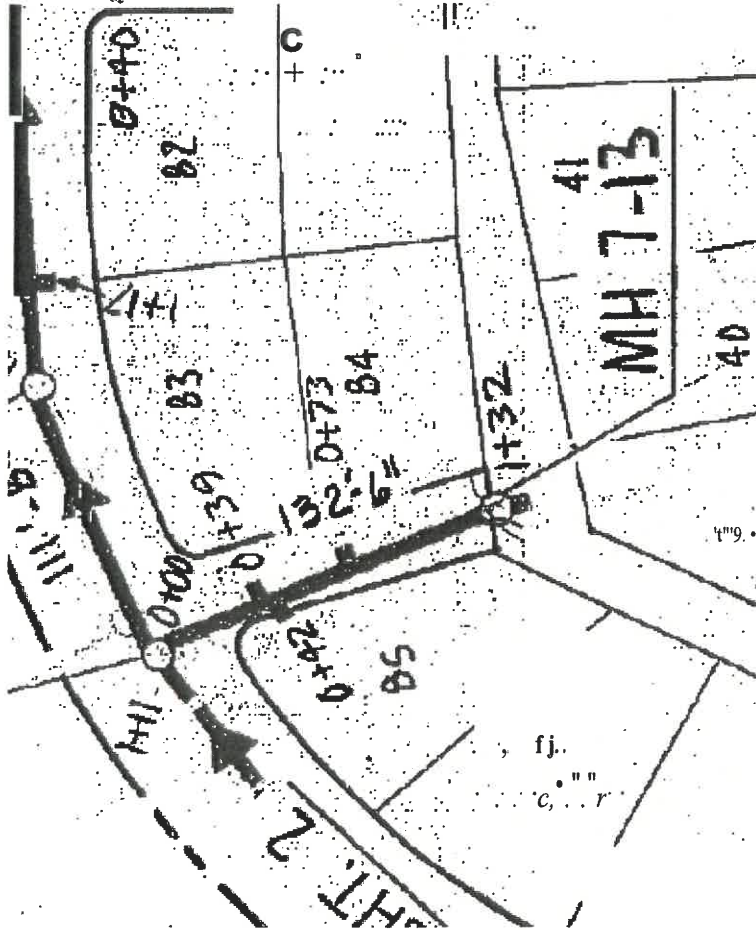
RM
4.21.26

1 of 2

Lake Whatcom Water & Sewer District | 1220 Lakeway Drive | Bellingham, WA 98229 | (360) 734-9224



12



Sudden Valley Community Association Tree/Vegetation Trimming and/or Removal Request

Street Address: 19 Grand View LN Bellingham WA Div 7 Lot 101-105
Owner: Ala Enayati Nina Shafa
Mailing Address: Same
Phone: ~~206 222 2222~~ Email: ~~alae@nina.com~~

All trees must be clearly flagged (no spray paint) before applying.

Requests will *not be considered if flagging is missing* OR if street address isn't clearly displayed on residence.

IMPORTANT NOTE: Within an individual's clearly distinguished property boundaries, routine maintenance can be performed and is encouraged **without** ACC permission. This includes the pruning of **dead branches** and those branches that are **6" or less in diameter**. Removal of those branches may **not exceed 30%** of the foliage density of an individual specimen. Small trees, branches and vegetation **10" or less in diameter and within 10' of a residential structure** may be removed without ACC approval.

**** Per Whatcom County Canopy Retention Regulation effective October 22, 2016 any significant tree being removed in Lake Whatcom Watershed requires county permit. Significant is defined as evergreen trees 12" in diameter or greater and deciduous 8" in diameter or greater. Any limbing 25% and under does not require a county permit. If a county permit is required for you proposed tree removal/ limbing request, please attach your approved county permit to this application. ****

2 Number of trees/shrubs
Removal # Limbing

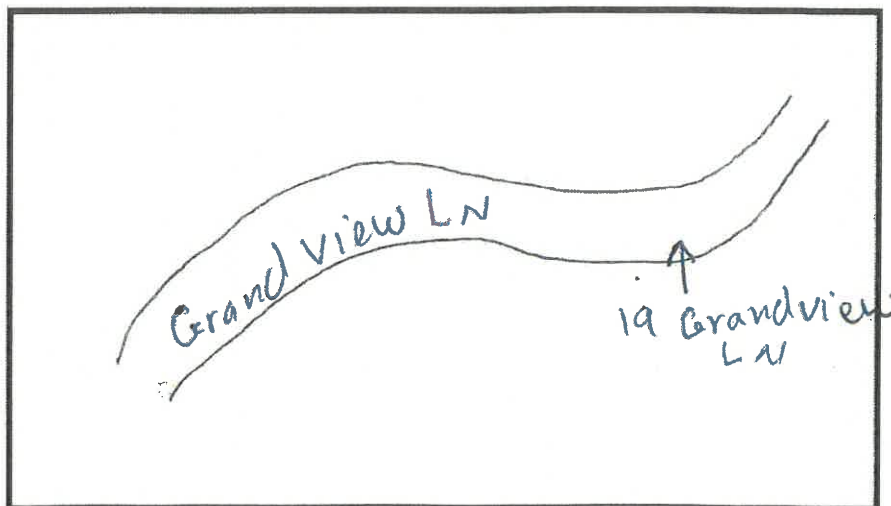
On the diagram below, please indicate the location of the road, property line, house, and each tree (numbered individually).

Type:

☐ Fir ☐ Cedar ☐ Hemlock
☐ Alder ☐ Maple ☒ Other

Check any that apply:

- ☒ Property or personal danger
- ☐ Dead/Diseased
- ☐ Leaning
- ☐ Roots exposed
- ☐ On a slope
- ☐ Creation/maintenance of view
- ☐ Replanting trees/shrubs



☐ Located on SVCA property

☐ Located on neighbor's property - For trees that are not on the applicant's property, written permission from the owner is required **prior** to submittal.

Please refer to ACC Guideline 14.10 for more information. Please email to: office@suddenvalley.com

Give a full description, the reason for the requested action and diameter on each tree, and attach any additional information if needed:

Property and personal danger, it came on top of my roof and damaged my property.

This request form in no way constitutes an approval from the ACC or Whatcom County. You MUST receive written approval and an SVCA permit before commencing any work.

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: Ala Enayati

Date: 06-07-2026

RECEIVED

JUL 13 2026



RECEIVED
JUL 21 2026

Sudden Valley Community Association
Exterior Alteration Request

Item 14
Pg 1 of 1
G2

Street Address: 2 MARIGOLD DR., UNIT 36 Div 55 Lot 036
Owner: APRIL FUNG
Mailing Address: SAME AS ABOVE
Phone: [REDACTED] Email: [REDACTED]

Requests will not be considered unless the street address is clearly displayed on the residence.
Please note that in the week(s) following request submittal, ACC members may visit and review property.

Requested for:

- ☒ Existing home
☐ New construction

The change would affect:

- ☒ Exterior appearance
☐ Drainage/Erosion control
☐ Open space & Lot coverage
☐ Setbacks to property line
☐ Structure height

Please refer to ACC Guidelines
14.2 and 14.11 and for more
information.



Give a full description of the request and attach any additional information if needed:

Installing an EMCO White Storm (Screen) Door, same as
the one that my downstairs neighbor in Unit 35 has installed.

This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: [Signature] Date: 7/17/26

Rec'd 07/30/2026
10:17 AM

Sudden Valley Community Association Exterior Alteration Request

Item 15
Pg 1 of 3
G2

Street Address: 2 Marigold Dr, Unit 40, Bellingham, WA 98229 Div 55 Lot 040
Owner: Steven Z Zavala
Mailing Address: 2 Marigold Dr, Unit 40
Phone: 312-975-4064 Email: Steven.Zavala018@gmail.com

**Requests will not be considered unless the street address is clearly displayed on the residence.
Please note that in the week(s) following request submittal, ACC members may visit and review property.**

Requested for:

- ☒ Existing home
☐ New construction

The change would affect:

- ☒ Exterior appearance
☐ Drainage/Erosion control
☐ Open space & Lot coverage
☐ Setbacks to property line
☐ Structure height

**Please refer to ACC Guidelines
14.2 and 14.11 and for more
information.**



Give a full description of the request and attach any additional information if needed:

I am interested in installing a mini split in my unit. 1-2 holes will be cut into the exterior siding to allow
and drainage. The lines will run parallel to the buildings trim with the unit mounted on the first floor. Pl
images in the email for a mock up for the proposed work.

This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: STEVEN Z ZAVALA

Date: 07/30/2026

TECHNICAL SPECS LINK:

https://senville.com/18000-btu-mini-split-air-conditioner-heat-pump-senl-18cd/?_gl=1*1q6gud*_up*MQ..*_gs*MQ..&gbraid=0AAAAADrjQqocA66rBMDfosk05qu5ia6MK

Technical Specifications

Item 15
pg 2 of 3

Model Number	SENL-18CD
Style	Ductless Mini Split AC With Heat Pump
Power Supply (V-Ph-Hz)	208/230V, 1Ph, 60Hz
Voltage Range	187-253
SEER2	19.2
EER2	10.8
Cooling Capacity (BTU)	18000
Cooling Range (BTU)	4100~19000
Cooling Input Range (W)	365~1720
Cooling Current Range (A)	1.7~7.6
Heating Capacity (BTU)	18800
Heating Range (BTU)	6200~20200
Heating Input Range (W)	380~1850
Heating Current Range (A)	2.1~8.2
HSPF2-4	9.6
HSPF2-5	7.5
COP W/W	3.06
Minimum Circuit Ampacity (A)	15
Max. Fuse (A)	20
Indoor Air Flow (Turbo/H/M/L) CFM	429.7 / 388.5 / 259.0 / 217.8
Indoor Noise Level (Turbo/H/M/L) dB	50.5 / 45 / 36 / 24
Indoor Dimensions (WxDxH)	37.99 x 8.46 x 12.56 in
Indoor Weight	24.47 lbs
Moisture Removal (L/H)	2.5

Outdoor Air Flow (Max) CFM

1235.3

Outdoor Noise Level dB

56

Outdoor Dimensions (WxDxH)

31.69 x 12.99 x 21.81 in

Outdoor Weight

72.31 lbs

Refrigerant Type

R454B

Refrigerant Pre-charge

25 ft

Connection Wiring

14*4 AWG

Thermostat Type

Remote Control

Alexa

Enabled

Warranty

5 Years Compressor / 5 Years Parts

Item 15
Pg 3 of 3

Rec'd 07/18/2026
12:34 PM

Sudden Valley Community Association Exterior Alteration Request

Item 16
Pg 1 of 2
G3

Street Address: _____ Div 02 Lot 135
Owner: Will Raymond and Jessica Coffey
Mailing Address: 8 Hawks Hill Place, Bellingham WA 98229
Phone: 256-898-5513 Email: jessica.coffey.ato@gmail.com

Requests will not be considered unless the street address is clearly displayed on the residence.
Please note that in the week(s) following request submittal, ACC members may visit and review property.

Requested for:

- ☒ Existing home
☐ New construction

The change would affect:

- ☒ Exterior appearance
☐ Drainage/Erosion control
☐ Open space & Lot coverage
☐ Setbacks to property line
☐ Structure height

**Please refer to ACC Guidelines
14.2 and 14.11 and for more
information.**

SW 7069 Iron Ore	Siding	SW 6005 Folkstone
Trim & Front Door		
Colors are not SVCA Approved	Porch	SW 6356 Copper Mountain

Give a full description of the request and attach any additional information if needed:

We are requesting to repaint the siding, trim, door and porch of our home. The colors we are requesting are: SW 7069 Iron Ore (trim and front door), SW 6005 Folkstone (siding), and SW 6356 Copper Mountain (porch) all from Sherwin Williams. We'll attach photos of the paint swatches along with a photo of what our house currently looks like compared to a digital rendering of the color concept we are aiming for. Please let us know if there is any other info that would be helpful. We look forward to hearing from you.

This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: _____

Date: 7.18.26

Existing Paint Color

Item 16
Pg 2 of 2



Proposed Color Rendering



RECEIVED

JUL 15 2026

Item 17
Pg 1 of 2
G3

Sudden Valley Community Association

Tree/Vegetation Trimming and/or Removal Request

Street Address: 40 Rocky Ridge Drive Div 2 Lot 163
 Owner: Kenneth Rutz
 Mailing Address: 5810 Charleston Lane Cumming GA 30041
 Phone: ~~770-330-1011~~ Email: ~~phillipmiller@comcast.net~~

All trees must be clearly flagged (no spray paint) before applying.

Requests will *not be considered if flagging is missing* OR if street address isn't clearly displayed on residence.

IMPORTANT NOTE: Within an individual's clearly distinguished property boundaries, routine maintenance can be performed and is encouraged **without** ACC permission. This includes the pruning of **dead branches** and those branches that are **6" or less in diameter**. Removal of those branches **may not exceed 30%** of the foliage density of an individual specimen. Small trees, branches and vegetation **10" or less in diameter and within 10' of a residential structure** may be removed without ACC approval.

**** Per Whatcom County Canopy Retention Regulation effective October 22, 2016 any significant tree being removed in Lake Whatcom Watershed requires county permit. Significant is defined as evergreen trees 12" in diameter or greater and deciduous 8" in diameter or greater. Any limbing 25% and under does not require a county permit. If a county permit is required for you proposed tree removal/ limbing request, please attach your approved county permit to this application. ****

1 Number of trees/shrubs
1 # Removal # Limbing

On the diagram below, please indicate the location of the road, property line, house, and each tree (numbered individually).

Type:

 Fir Cedar Hemlock
 Alder X Maple Other

Check any that apply:

X Property or personal danger
 Dead/Diseased
 Leaning
 Roots exposed
 On a slope
 Creation/maintenance of view
 Replanting trees/shrubs

 Located on SVCA property

 Located on neighbor's property - For trees that are not on the applicant's property, written permission from the owner is required **prior** to submittal.

2 photos were sent to:
 Accadmin@suddenvalley.com

Please refer to ACC Guideline 14.10 for more information. Please email to: office@suddenvalley.com

Give a full description, the reason for the requested action and diameter on each tree, and attach any additional information if needed:

Removal of a Maple Tree (69 inches circumference at base - 22 inch diameter) bordering the front driveway (34 inches from the existing driveway and appx. 15 ft. from the house). At present there are already 2 massive Maple trees in BOTH the front and backyard. The tree in question, because of its proximity to both the Driveway and house has dropped several large limbs on the cars below, as well as the roof, over the past couple of winters. * Ben Rawls with Rawls Tree Service would be performing the work.

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

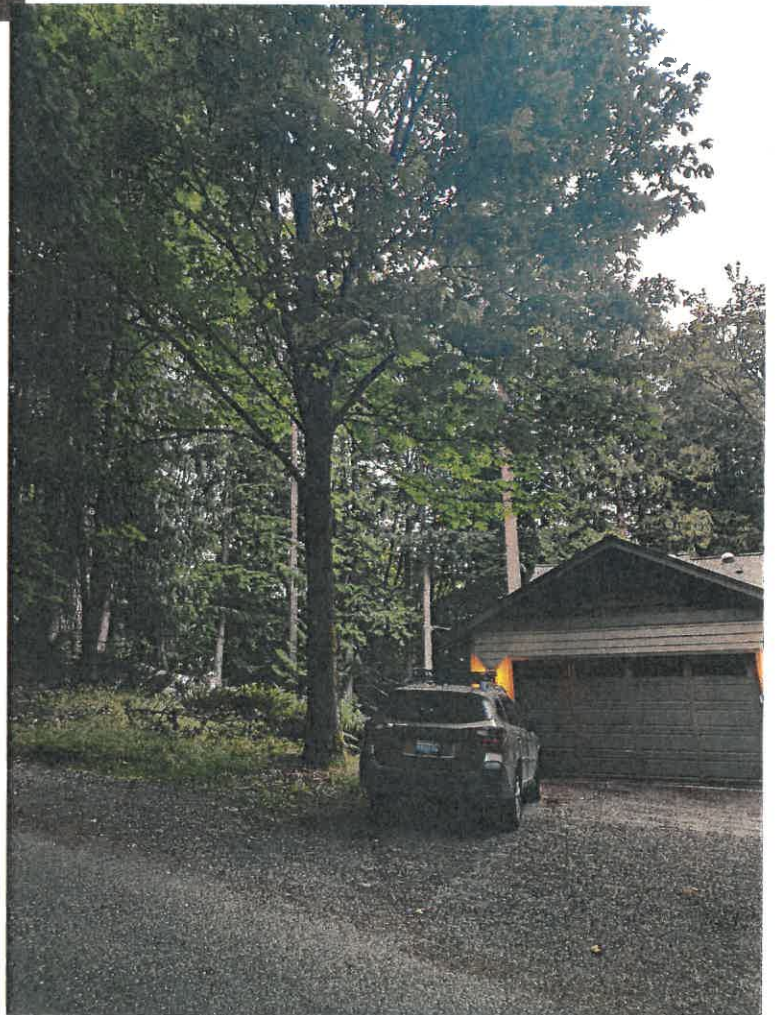
Owner Signature: Kenneth Rutz

Date: 7/15/26

proximity to both the Driveway and house has dropped several large limbs on the cars below, as well as the roof, over the past couple of winters. * Ben Rawls with Rawls Tree Service would be performing the work.



100. 100-100.



Rec'd 07/14/2026
11:09 AM

Sudden Valley Community Association Exterior Alteration Request

Item 18
Pg 1 of 2
G3

Street Address: 9 Doe Ct. Bellingham, WA. 98229 Div 22 Lot 322/323
Owner: Patrick and Kathryn Johnson
Mailing Address: 9 Doe Ct. Bellingham, WA 98229
Phone: 360-208-1991 Email: Patrick.Johnson35@yahoo.com

Requests will not be considered unless the street address is clearly displayed on the residence.
Please note that in the week(s) following request submittal, ACC members may visit and review property.

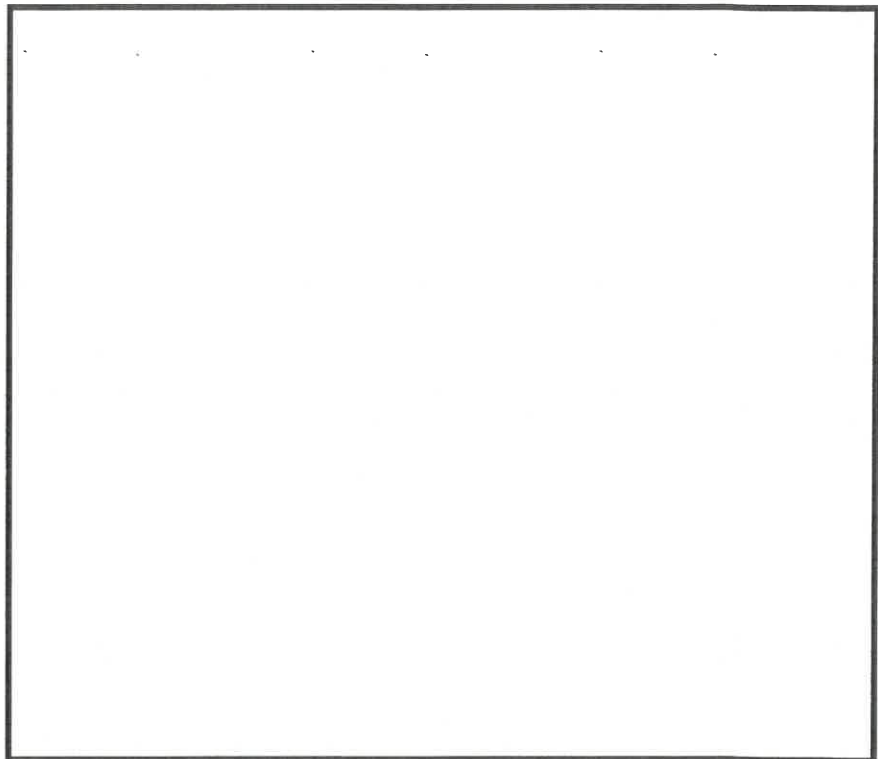
Requested for:

- ☒ Existing home
☐ New construction

The change would affect:

- ☒ Exterior appearance
☐ Drainage/Erosion control
☐ Open space & Lot coverage
☐ Setbacks to property line
☐ Structure height

**Please refer to ACC Guidelines
14.2 and 14.11 and for more
information.**



Give a full description of the request and attach any additional information if needed:

Mt. Baker Roofing to replace existing roof with similar materials. Roof tiles will be Georgetown gray.

See seprate page for picture of home.

This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: _____ **Date:** July 14, 2026

Fwd: picture of the color options

From: Kathy Johnson (kathyjpt@yahoo.com)
To: patrick_johnson55@yahoo.com
Date: Tuesday, July 14, 2026 at 10:04 AM PDT

Begin forwarded message:

From: Kenny Hills <mtbakerroofing@jobnimbusmail.com>
Date: July 10, 2026 at 8:25:20 PM PDT
To: Kathy Johnson <kathyjpt@yahoo.com>
Subject: picture of the color options
Reply-To: Kenny Hills via JobNimbus <mtbakerroofing@jobnimbusmail.com>

hey here is the picture as requested

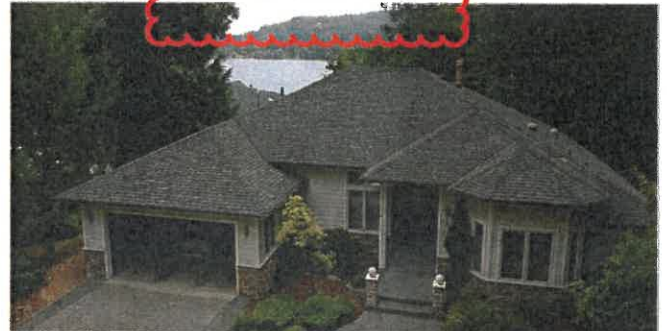
Kenny

[jnid:mrfshprudntbvr95mu9rm]

Heather Blend



Georgetown Grey





New Construction Checklist & Application Packet

APPLICATION FOR NEW CONSTRUCTION

Circle Type:	<u>Home Construction</u>	Remodel	Addition	Other (Describe):
Street Address:	<u>26 Skatland Ct Bellingham WA</u>			Div/Lot
Owner(s) Name(s):	<u>Ivia Hakelman</u>			
Mailing Address:	<u>4235 Cody RD Blaine WA 98230</u>			
Email Address:	<u>Leverage Contracting@gmail.com</u>	Call Phone	<u>360 739 1592</u>	Work Phone

CONTRACTOR: AC Inspector **MUST BE contacted for inspection 24 hours prior to all inspections** by completing an ACC Inspection Request form. Required inspections are:

- Installation of **erosion** control measures
- **Setbacks** prior to pouring of any concrete for either slab or foundation/forms
- Installation of **driveway** and/or apron
- **Completion** of work and occupancy of home

I have read and understand the Sudden Valley Community Association Architectural Control Policies.

Contractor Signature:	<u>[Signature]</u>	Date:	<u>6/17/26</u>
Company Name:	<u>Leverage Contracting LLC</u>	License:	<u>LeveRC805LS</u>
Mailing Address:	<u>4235 Cody RD Blaine WA 98230</u>		
Email Address:	<u>LeverageContracting@gmail.com</u>	Cell Phone:	<u>360 739 1592</u>
		Office Phone:	<u> </u>

Bank or Loan Agency:	<u>None</u>		
Valuation of Structure: \$	<u>450,000</u>	Square Footage:	<u>3,000</u>
Use: (Circle)	<u>Permanent Residence</u>	Vacation/Weekend	Rental
Variance Request (Circle):	Yes	<u>No</u>	If Yes, must attach Variance Request form

The following items must be submitted at time of application:

- SVCA Construction Application and Checklist (**must be signed by property owner**).
- Application fee (per AC Policies 14.8.8).
- Copy of survey by a licensed surveyor including topography, trees, and square footage.
- Two (2) sets of construction plans (including floor plan, elevations, and finished grade).
- Two (2) copies of site plan @ 1"=10' scale (see AC Policies Appendix I for sample)
- Two (2) copies of landscaping plan @ 1"=10' scale
- Driveway cross-section, showing road edge to garage slab
- One (1) copy of specification sheet including paint chips, roof color, and lighting sample
- **Proof of Insurance** (see Item 10 above)
- One (1) copy of water/sewer availability
- Property and building corners must be staked and strung
- ALL trees requested for removal must be clearly ribboned and indicated on site plan.
- Written application for variance, if any
- Refundable Completion Deposit (due during permit meeting per AC Policies section 14.8.8)



New Construction Checklist & Application Packet

I agree to construct and maintain the above described single family dwelling in accordance with the plans and specifications submitted as the same may be approved by the ACC and further agree not to allow said single family dwelling to be used as a multiple family dwelling or duplex or to be used in any way which violates the Restrictive Covenants, Rules, and Regulations or Architectural Control Committee Policies.

I hereby acknowledge that the ACC, according to the Restrictive Covenants, is in no way responsible for any defects, of whatever nature, in the plans and specifications submitted. I agree to undertake full responsibility to accurately ascertain the lot lines delineating the boundaries of my property. I understand that the ACC in approving my plans and specifications, including site plan, is in no way warranting or representing the actual location of the lot lines delineating the boundaries of my property. I also understand that an infringement onto adjoining properties due to lot clearing or excavation shall be rectified prior to the framing of the structure.

Application

Submitted by (Print): Ilia Gekelman

Circle One:

☒ Owner

☐ Contractor

☐ Other Representative

Signature of Owner(s):

[Handwritten Signature]

Printed Name
of Owner:

Ilia Gekelman

Date 6, 17, 26

ACC Inspector Report 26 Shetland Ct

Lot size: 6,962 SF

Property coverage: 35%

Open Space: 62.5%

Front setback: 37'

Rear setback: 38' 4"

Side setback: 5' 6"

Side setback: 14' 6"

Driveway grade: 0%

Height:

25' Definition 2

14' 7" Definition 1

ACC Inspector Notes

Minutes from the ACC Meeting on 07/02/2026.

Item – 20	26 Shetland Ct, G5, New Construction		Video 00:53:13 – 01:06:48
Comments:	Not enough information. Outline of house needs to be delineated with stake and string and trees slated		
Discussion:	for removal need to be ribboned appropriately.		
Action:	Denied	Motion: Terry	Unanimous

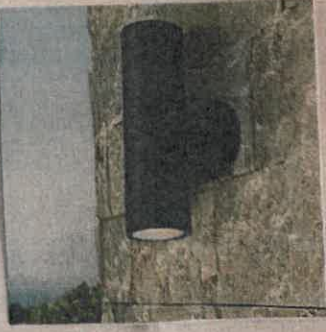


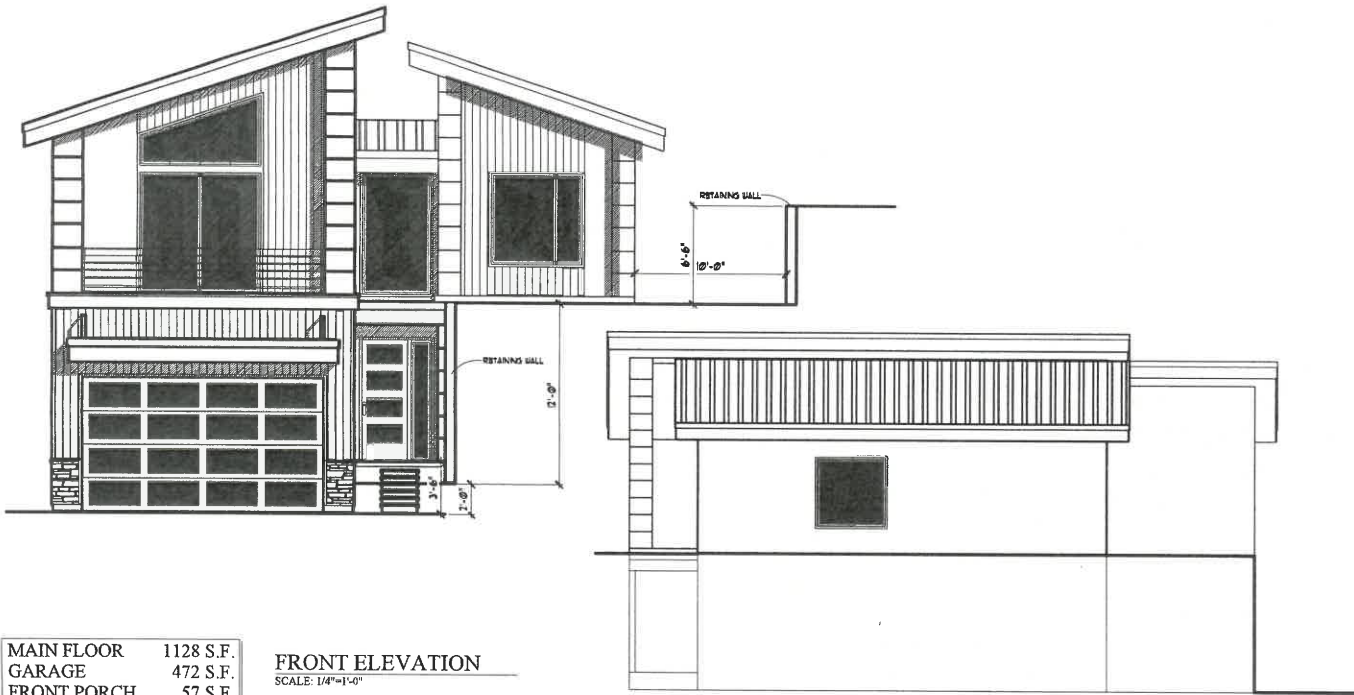
New Construction Checklist & Application Packet

SPECIFICATION SHEET

Street Address: <u>26 Sretland Ct</u>	Div/Lot
Owner(s)/Contractor Name(s): <u>Ilia Gekelman Levelage Contracting LLC</u>	
Siding Type: <u>Fiber Cement Hardi</u>	
Trim Type: <u>Wood</u>	
Gable Type: <u>Hardi</u>	
Roof Type: <u>Composite.</u>	
Lighting Type: <u>Standard</u>	
Retaining Wall Materials: <u>Concrete</u>	
Other Finish Materials: <u>None</u>	

Samples

SIDING/BODY COLOR	TRIM COLOR	ACCENT COLOR
		Garage Door: <u>Black Standard</u> Front Door: <u>Black standard</u> Other (Specify Locations): <u>None</u>
ROOF COLOR	RETAINING WALL SAMPLE	LIGHTING SAMPLE
		



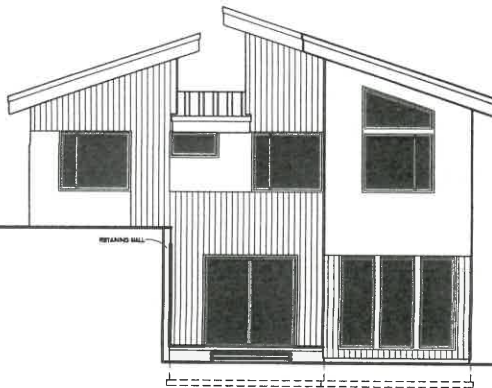
MAIN FLOOR	1128 S.F.
GARAGE	472 S.F.
FRONT PORCH	57 S.F.
SECOND FLOOR	1433 S.F.
BALCONY	180 S.F.
TOTAL	3,270 S.F.

FRONT ELEVATION
SCALE: 1/4"=1'-0"

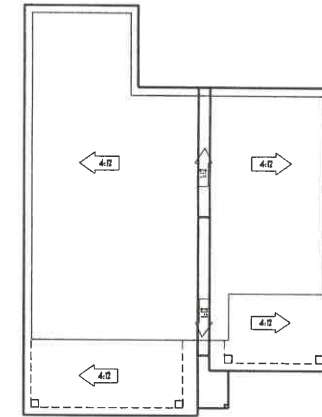
RIGHT ELEVATION
SCALE: 3/16"=1'-0"

ENERGY CREDITS:

- * HEAT OPTION 4
- * 1.1 - (EFFICIENT BUILDING ENVELOPE)
PRESCRIPTIVE COMPLIANCE IS BASED ON TABLE R402.1.3
VERTICAL FENESTRATION U = 0.22
- * 2.1 - (AIR LEAKAGE CONTROL AND EFFICIENT VENTILATION)
COMPLIANCE BASED ON SECTION R402.4.1.2 REDUCE THE TESTED AIR LEAKAGE TO 2.0 AIR CHANGES PER HOUR MAXIMUM AT 50 PASCALS FOR R-2 OCCUPANCIES
- * 3.6a - (HIGH EFFICIENCY HVAC)
AIR SOURCE, CENTRALLY DUCTED HEAT PUMP WITH MINIMUM HSPF 2 OF 9.4 (HSPF OF 11). A CENTRALLY DUCTED AIR SOURCE COLD CLIMATE VARIABLE CAPACITY HEAT PUMP (cc VCHP) FOUND ON NEEP cc VCHP QUALIFIED PRODUCT LIST WITH A MINIMUM OF 9 HSPF 2 (10 HSPF) MAY BE USED TO SATISFY THIS REQUIREMENT. MUST HAVE A COLD CLIMATE VARIABLE CAPACITY HEAT PUMP AS LISTED ON THE NEEP QUALIFIED PRODUCT LIST.
- * 5.6 - (EFFICIENT WATER HEATING)
WATER HEATING SYSTEM SHALL INCLUDE ONE OF THE FOLLOWING: ELECTRIC HEAT PUMP WATER HEATER MEETING STANDARDS FOR TIER III OF NEEA'S ADVANCED WATER HEATING SPECIFICATION.
- * 7.1 - (APPLIANCE PACKAGE)
ALL THE FOLLOWING APPLIANCES SHALL BE NEW AND INSTALLED IN THE DWELLING UNIT AND SHALL MEET THE FOLLOWING STANDARDS:
 1. DISHWASHER, STANDARD - ENERGY STAR RATED, MOST EFFICIENT 2021 OR DISHWASHER, COMPACT-ENERGY STAR RATED (VERSION 6.0)
 2. REFRIGERATOR (IF PROVIDED) - ENERGY STAR RATED (VERSION 5.1)
 3. WASHING MACHINE (RESIDENTIAL) - ENERGY STAR RATED (VERSION 8.1)
 4. DRYER - ENERGY STAR RATED, MOST EFFICIENT 2022

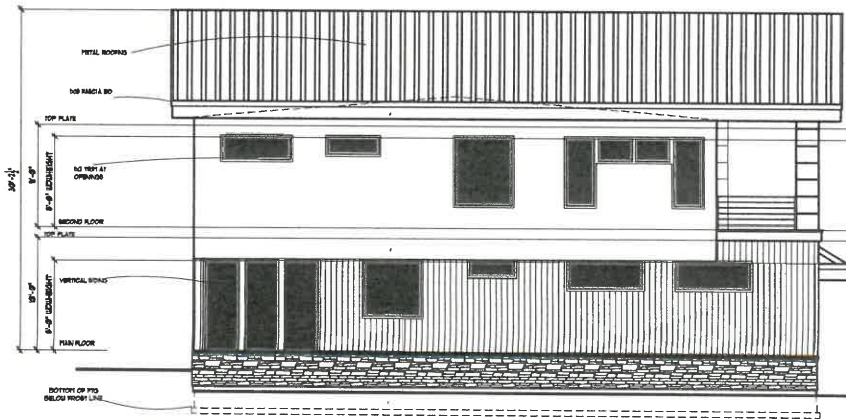


REAR ELEVATION
SCALE: 3/16"=1'-0"



NOTES:
ROOF SLOPE - 1 TO 12, TYP. 4 TO 12, TYP.
ROOF OVERHANG - 16" AT EYES 0" AT GABLES TYP.
ROOF VENTILATION - AREA / 300 SQ FT

ROOF PLAN
SCALE: 1/8"=1'-0"



LEFT ELEVATION
SCALE: 3/16"=1'-0"

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Pg 5 of 16

EVERY EFFORT HAS BEEN MADE TO INSURE THE ACCURACY OF THESE DRAWINGS BY STYLE HOME DESIGN LLC. HOWEVER, THE CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.

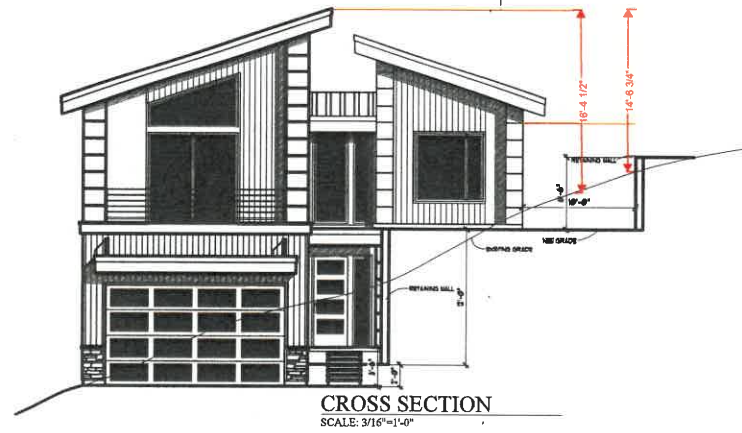
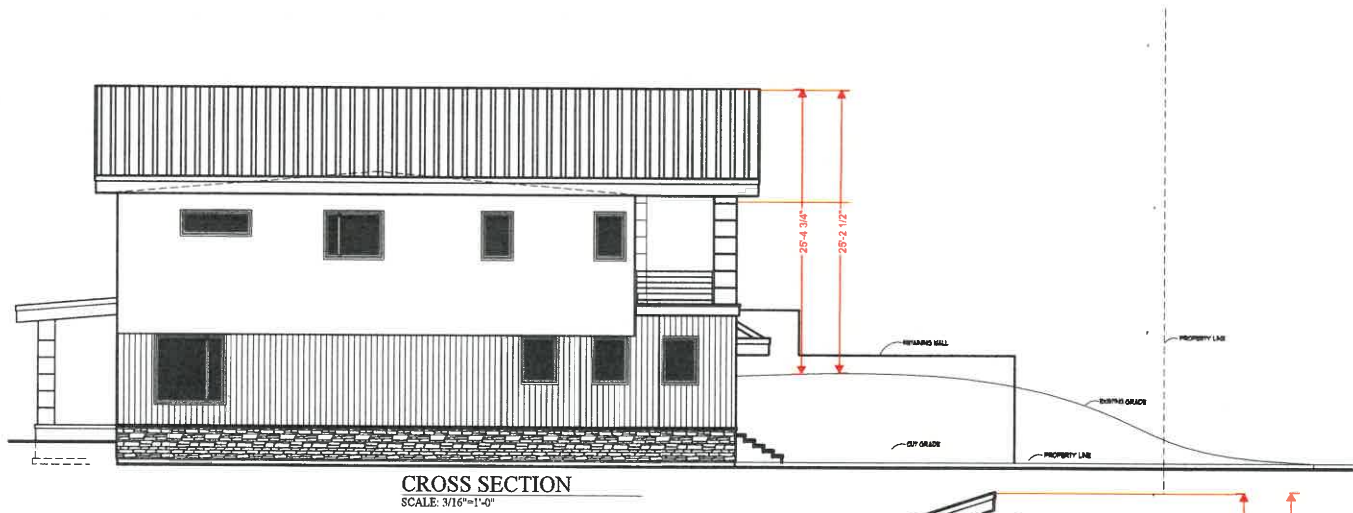
ALL DESIGN, DIMENSIONS, MATERIALS, FINISHES, ETC. SHOWN ON THIS SHEET ARE THE ORIGINAL WORK PRODUCT OF, OWNED BY, AND ARE THE PROPERTY OF STYLE HOME DESIGN LLC.

STYLE HOME DESIGN LLC
SPOKANE, WA 99217



CONTENTS
EXTERIOR ELEVATIONS, ROOF PLAN
2,561 SQ.FT. TWO-STORY

OWNER: NI / DK
DATE: 10/01/2024
SCALE: 1/4"=1'-0"
SHEET NO: 2561-T
1
OF 4 SHEETS



WALL BRACING NOTES

Continuous Sheathing Method - 2021 IRC Section 602.10.4.2

Length requirements for Continuously Sheathed Wood Structural Panel (CS-WSP)

Adjacent clear opening height to braced panel	Min. Length of Braced Wall Panel
64"	24' 27' 30' 33' 36"
68"	26' 27' 30' 33' 36"
72"	27' 27' 30' 33' 36"
76"	30' 29' 30' 33' 36"
80"	32' 30' 30' 33' 36"
84"	35' 32' 32' 33' 36"
88"	38' 35' 33' 33' 36"
92"	43' 37' 35' 35' 36"
96"	48' 41' 38' 36' 36"

For openings greater than 96" refer to Table R602.10.5

1. Exterior braced wall panel shall begin within 10 feet from each end of a braced wall line. The distance between adjacent edges of braced wall panels along a braced wall line shall be no greater than 20 feet.

Braced wall lines shall be continuously sheathed with 7/16" APA RATED SHEATHING 24/16, exposure 1, as a continuously sheathed wall.

Panel edge nailing is 8d Common (2.5" x 0.131") @ 6" o.c. Panel interior or field nailing is 8d Common (2.5" x 0.131") @ 12" o.c. Edge blocking is required @ braced wall panels only.

R602.10.2.2 A braced wall panel shall begin within 10 feet from each end of a braced wall line as determined in section R602.10.1.1. The distance between adjacent edges of braced wall panels along a braced wall line shall be no greater than 20 feet as shown in figure R602.10.2.2.

2. Stagger top plate splices by 2'-0" min. and nail splice with 16d @ 3'.

3. Anchor bolts should be installed within 12" of the end of a wall or the end of a plate at a splice. Anchor bolt min. embedment is 7".

4. Install floor and roof sheathing with face grain perpendicular to supports with long edges continuous over 2 or more supports and short edges staggered.

Roof sheathing shall be 7/16" APA RATED SHEATHING 24/16, exposure 1. Nail with 8d @ 6" at panel edges and 8d @ 12" at field.

Floor sheathing shall be 3/4" T&G APA STURD-I-FLOOR 16 O.C. or equal. Glue and nail with 8d ring or screw shank @ 6" at panel edges and 8d @ 12" at field.

5. Interior braced walls to be gypsum board with minimum 1/2" thickness placed on studs spaced a maximum of 24" o.c. and fastened at 7" o.c. with gypsum board nails, 0.086" in diameter, 1-5/8" long, 9/32" head.

HEADERS

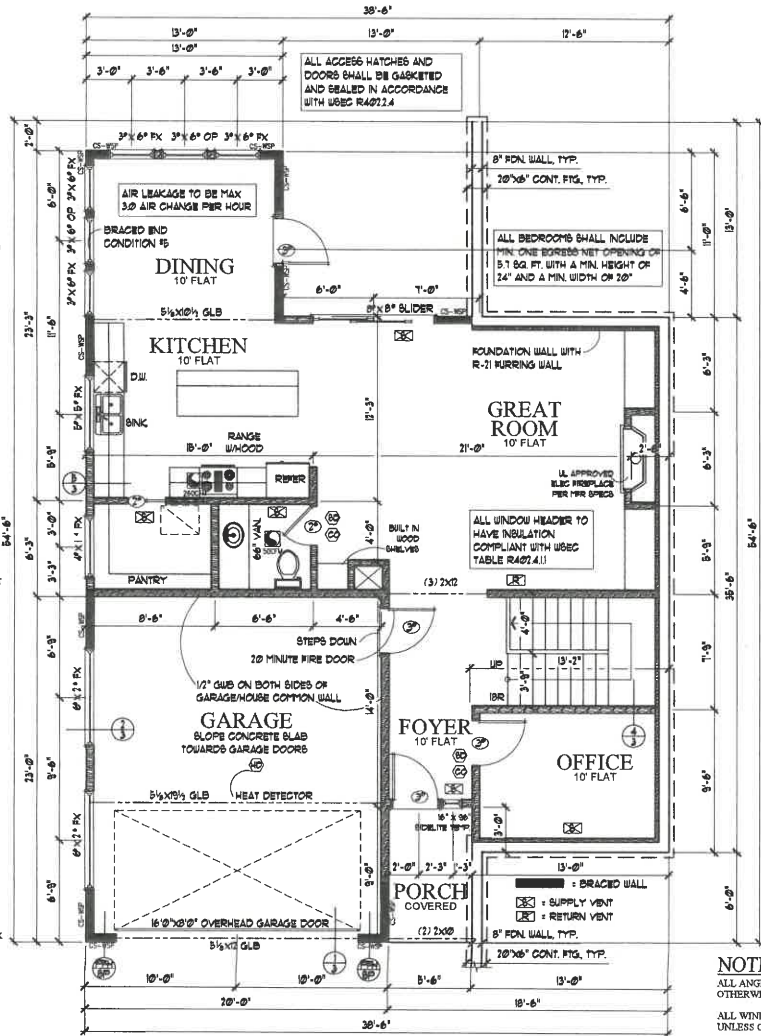
*Due to varied geographic locations and selected manufacturer specifications all beam types and sizes must be verified prior to fabrication.

1. All headers supporting roof and ceiling to be (2)-2x10 minimum for max. span of 6'-1" with 2 jack studs, for max bldg span of 32'-0", (refer to table R602.7(1) for span greater than 32'-0").

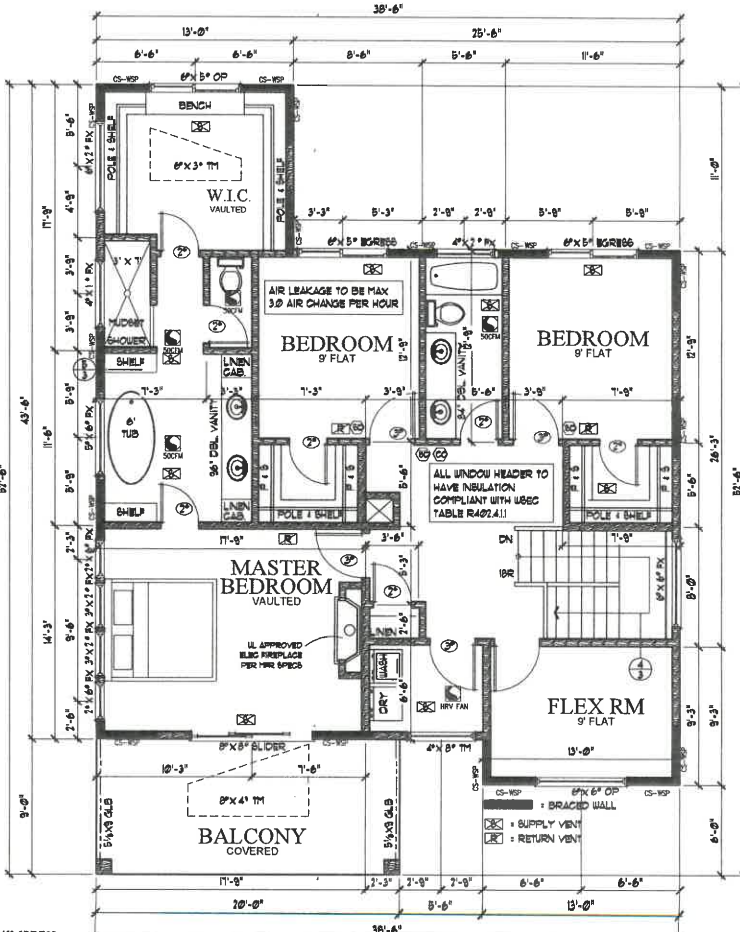
2. Headers supporting roof, ceiling & exterior bearing floor to be (3)-2x10 minimum for max. span of 5'-1" with 2 jack studs, for max bldg span of 32'-0" (refer to table R602.7(1) for span greater than 32'-0").

3. To reduce/increase sizes for particular openings, refer to plan or to 2021 IRC table R602.7(1).

4. For all interior header sizes & locations, refer to plan.



MAIN FLOOR PLAN
SCALE: 1/4"=1'-0"



NOTE:
ALL ANGLES ARE 45° UNLESS OTHERWISE NOTED
ALL WINDOWS @ 8'-0" A.F.F. UNLESS OTHERWISE NOTED
FANS - FOR EXHAUST FAN SIZE AND LOCATION REFER TO NOTES & SPECIFICATIONS, VENTILATION (IMC)

SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

EVERY EFFORT HAS BEEN MADE TO OBTAIN THE ACCURACY OF THESE DRAWINGS BY STYLE HOME DESIGN LLC. HOWEVER, THE CONTRACTOR SHALL CHECK A VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.

ALL IDEAS, DESIGN, AND DIMENSIONS DRAWINGS & PLANS SET FORTH ON THIS SHEET ARE THE ORIGINAL WORK PRODUCT OF, OWNED BY, AND ARE THE PROPERTY OF STYLE HOME DESIGN LLC.

STYLE HOME DESIGN LLC
SPOKANE, WA 99217

STYLE HOME DESIGN LLC

CONTENTS

MAIN FLOOR PLAN
SECOND FLOOR PLAN
2,561 SQ. FT. TWO-STORY

DRAWN BY:
NL/DK

10/01/2024

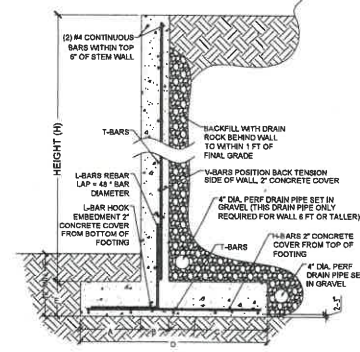
SCALE:
1/4"=1'-0"

JOB NO.
2561-T

2

OF 4 SHEETS

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RETAINING WALL SCHEDULE									
H	A	B	C	D	E	V-BARS	L BARS	H BARS	T BARS
2'-4"	0-8"	0-8"	0-8"	2'-6"	0-8"	#4 @ 12" O.C.	#4 @ 12" O.C.	#4 @ 24" O.C.	#4 @ 12" O.C.
4'-6"	1'-0"	1'-0"	1'-0"	2'-6"	0-8"	#4 @ 10" O.C.	#4 @ 10" O.C.	#4 @ 18" O.C.	#4 @ 12" O.C.
6'-8"	1'-0"	0-10"	0-10"	2'-2"	4'-0"	#4 @ 8" O.C.	#4 @ 8" O.C.	#4 @ 12" O.C.	#4 @ 10" O.C.
8'-10"	1'-2"	1'-0"	1'-0"	2'-0"	5'-0"	#5 @ 8" O.C.	#5 @ 8" O.C.	#4 @ 10" O.C.	#4 @ 10" O.C.
10'-12"	1'-4"	1'-2"	3'-6"	6'-0"	1'-4"	#5 @ 8" O.C.	#5 @ 8" O.C.	#4 @ 9" O.C.	#4 @ 8" O.C.

F RETAINING WALL DETAIL
SCALE: 3/4" = 1' - 0"

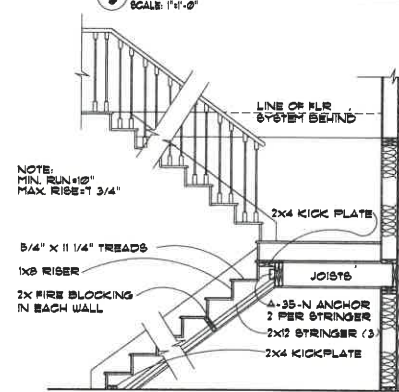
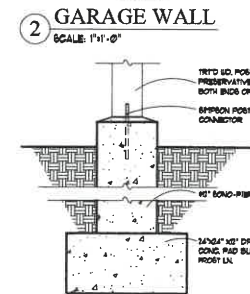
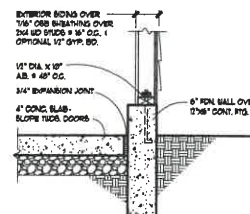
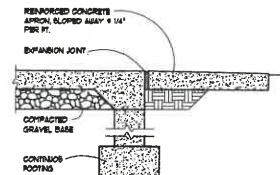
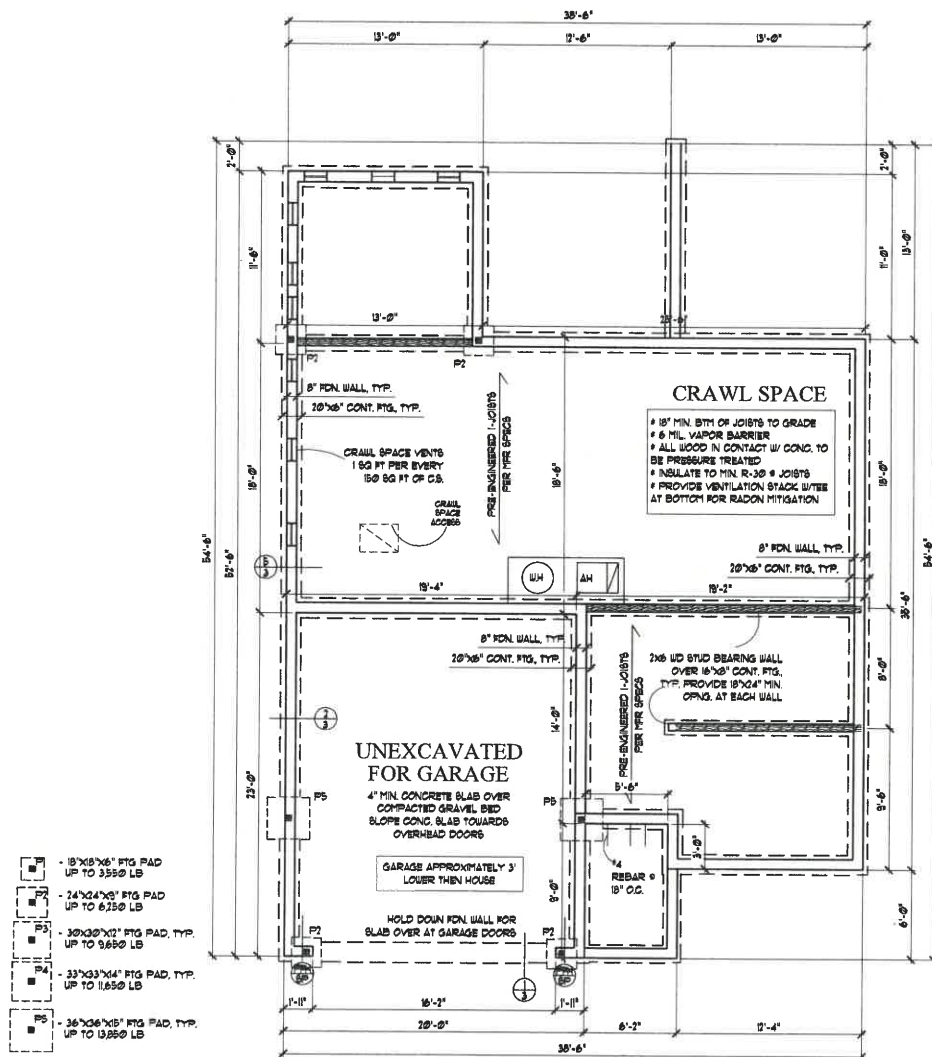


**PROPOSED SFR FOR ILYA
GEKELMAN**

SUDDEN VALLEY WA 98229

RETAINING WALL PLAN

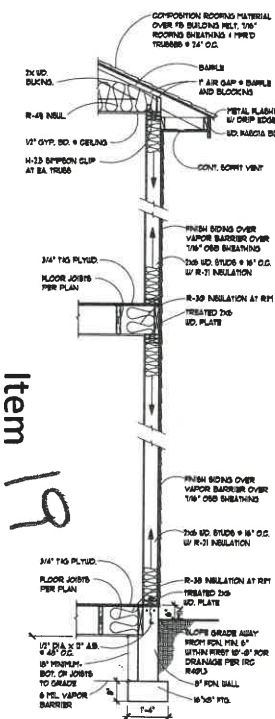
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HEADER/BREAM NOTES:

*Due to varied geographic locations and selected manufacturer specifications all beam types and sizes must be verified prior to fabrication.

1. All headers supporting roof and ceiling to be (2)-2x10 minimum for max. span of 6'-1" with 2 jack studs, for max bldg span of 32'-0", (refer to table R602.7(1) for span greater then 32'-0").
2. Headers supporting roof, ceiling & exterior bearing floor to be (3)-2x10 minimum for max. span of 5'-1" with 2 jack studs, for max bldg span of 32'-0" (refer to table R602.7(1) for span greater then 32'-0").
3. To reduce/increase sizes for particular openings, refer to plan or to 2021 IRC table R602.7(1).
4. For all interior header sizes & locations, refer to plan.



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ALL IDEAL DESIGN ARRANGEMENTS, INCLUDING A PLAN SET FORTH ON THIS SHEET ARE THE ORIGINAL WORK PRODUCT IS OWNED BY, AND ARE THE PROPERTY OF STYLE HOME DESIGN, LLC.

STYLE HOME DESIGN LLC
SPOKANE, WA 99217

CONTENTS

FOUNDATION PLAN, TYPICAL DETAILS

2,561 SQ. FT. TWO-STORY

DRAWN BY: NI/DK
DATE: 10/01/2024
SCALE: AS NOTED
JOB NO: 2561-T
SHEET: 3
OF 4 SHEETS

Item 19
Pg 10 of 16

OP - 7 SHEETS

26 SHETLAND COURT RESIDENCE

PROJECT ADDRESS: 26 SHETLAND COURT, BELLINGHAM, WA 98229

ROAD

1. EASTING

A THE
R THE

- PERFORM THE FOLLOWING WORK IN THE ORDER SHOWN. FENCES AND OTHER OBSTRUCTIONS THAT WILL INTERFERE OR PARTIALLY WITHIN THE PROJECT LIMITS.
- C. THE CONTRACTOR SHALL REMOVE AND REPLACE ALL EXISTING UNCOMPACTED OR POORLY COMPACTED FILL. THE CONTRACTOR SHALL REPAIR THE ROAD SURFACE TO THE SATISFACTION OF THE ENGINEER.
- D. THE CONTRACTOR SHALL EXCAVATE AND GRADE TO THE ALIGNMENT. GRADE AND CROSS-SECTION SHOWN ON PLANS OR ESTIMATED BY THE ENGINEER.
- E. MAXIMUM WEIGHT AND OPTIMUM HUMIDITY FOR GRANULAR MATERIALS WILL BE DETERMINED USING ASTM A-1301 TEST METHOD.
- F. UNDERSTANDING THAT, NOT FOR USE AS A SUB-COURSE SHALL BE EXCAVATED TO THE BOUNDARIES SET BY THE ENGINEER AND REPAVED WITH A SATISFACTORY MATERIAL METHOD.
- G. THE ENGINEER IS REQUIRED TO CERTIFY SURVEILLANCE, IN WRITING, PRIOR TO PAVING.
- 2. BAIL COULDES**
- | GRADE, BASES SHALL MEET THE FOLLOWING GRANULAR MATERIAL REQUIREMENTS | |
|--|-----------------|
| MINUS SIZE | PERCENT PASSING |
| 4" SQUARE | 100 |
| 1-1/2" SQUARE | 70-100 |
| 1/2" SQUARE | 35-60 |
| U.S. NO. 40 | 15-60 |
| U.S. NO. 10 | 12-40 |
| U.S. NO. 20 | 5-27 |
| U.S. NO. 40 | 20 MAX |
| U.S. NO. 200 | 5 MAX |
- SAPD EQUIVALENT SHALL BE 425-400 W.
- GRAVEL, GRAVEL BASE, GRAVEL SURFACE SHALL BE INSTALLED IN LOOSE LAYS NOT EXCEEDING 12-INCHES AND SHALL BE COMPACTED TO AT LEAST 95% OF MAXIMUM DRY DENSITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTION OF ALL CORROSION RESISTANCE TO BE MADE FOR BY OWNER.
- 3. FENCIBLES**
- A. SOLE REDUCED HORSESHOE SHALL BE PLACED WITHIN 24 HOURS OF FINISH.
- B. A TACK COAT OF ASPHALT SHALL BE APPLIED BEFORE LAYING OF ASPHALT.
- C. ALL FENCIBLES PRIOR SHALL BE SAW-CUT BEFORE REMOVAL. ASP-ROOM SHALL BE APPLIED TO ALL FENCIBLES PRIOR TO REMOVAL.
- D. CONTRACTOR SHALL CONTRACTED PRIORS MEETING FINISHING, THE APPLICANT SHALL PROVIDE A SMOOTH TRANSITION FROM EXISTING TO NEW PAVED SURFACE. CONTRACTOR SHALL JOINT AND FINISHED SURFACES SPECIFIED.
- E. ALL PAVEMENT MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE MIXED.

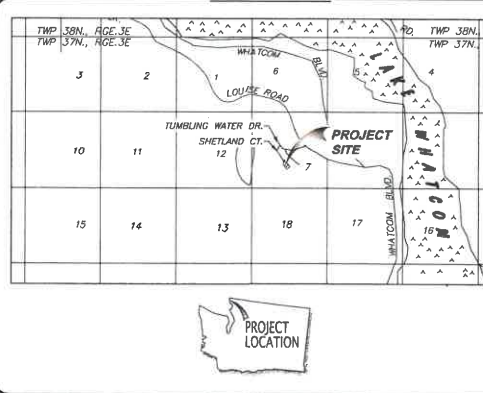
STORM DRAINAGE

- [illegible]

EARTHWORK

1. THE CONTRACTOR SHALL CLEAR, GRUB AND CLEAN UP THOSE AREAS SHOWN ON THE PLANS.
2. THE CONTRACTOR SHALL RAZE, REMOVE AND DISPOSE OF ALL BUILDING AND FOUNDATIONS, STRUCTURES, FENCES AND OTHER OBSTRUCTIONS THAT LIE WHOLLY OR PARTIALLY WITHIN THE PROJECT LIMITS.
3. THE CONTRACTOR SHALL EXCAVATE AND GRADE TO THE ALIGNMENT, GRADE AND CROSS-SECTIONS SHOWN IN THE PLANS OR ESTABLISHED BY THE ENGINEER.
4. MAXIMUM DENSITY AND OPTIMUM MOISTURE FOR GRANULAR MATERIALS WILL BE DETERMINED USING ASTM D-1557 TEST METHOD.
5. UNSUITABLE MATERIAL NOT FIT FOR A SUB-GRADE SHALL BE EXCAVATED TO THE BOUNDARIES SET BY THE ENGINEER AND REPLACED WITH A SUITABLE BACKFILL MATERIAL.

VICINITY MAP



SHEET INDEX

- 01 COVER SHEET
02 EXISTING CONDITIONS
03 STORMWATER SITE PLAN
04 TEMPORARY EROSION AND SEDIMENT CONTROL PLAN

Item 19
Pg 12 of 16

TEMPORARY EROSION/SEDIMENTATION CONTROL

- [illegible]

NPDES NOTES

1. THE CONTRACTOR SHALL KEEP A RECORD OF THE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR, WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE, AND WHEN STABILIZATION MEASURES ARE IMPLEMENTED.
2. ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED, MAINTAINED AND REPAIRED BY THE CONTRACTOR AS NEEDED TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION. ALL ON SITE DROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AT LEAST EVERY SEVEN DAYS AND WITHIN 24 HOURS AFTER ANY STORM EVENT OF GREATER THAN 0.5 INCHES PER 24 HOURS. AN INSPECTION REPORT FILE SHALL BE MAINTAINED BY THE CONTRACTOR FOR EACH INSPECTION.

SEEDING NOTES

1. SEEDBED PREPARATION MAY INCLUDE THE FOLLOWING:
 - A. IF REPTILE OR COURSE TEXTURED SURFLO, WILL BE EXPOSED DURING GRADING, STOMPEE TOPSOIL AND RE-BROADCAST ON THE FINISHED SLOPE AND ROLL IT TO PROVIDE A FIRM SURFACE.
 - B. IF CONSTRUCTION FALLS HAVE LEFT SOIL EXPOSED WITH A LOOSE, ROUGH OR IRREGULAR SURFACE, TRACK WALK UP AND RE-BROADCAST AND ROLL.
 - C. IF CUTS OR CONSTRUCTION EQUIPMENT HAVE LEFT A TIGHTLY COMPACTED SURFACE, BREAK WITH CHISEL, PLOW OR OTHER SUITABLE EQUIPMENT.
2. PERFORM ALL CULTURAL OPERATIONS ACROSS OR AT RIGHT ANGLES TO THE SLOPES (CONTINUED). THE SEEDBED SHOULD BE FIRM WITH A FIRM FINE SURFACE AFTER MOULCHING.
3. FERTILIZER - AS PER SUPPLIER'S RECOMMENDATIONS. DEVELOPMENTS ADJACENT TO WATER BODIES MUST USE NON-POSSIBLE FERTILIZERS.
4. HYDROSEEDING APPLICATIONS WITH APPROVED SEED-MULCH-FERTILIZER MIXTURES MAY ALSO BE

SEED MIX	VEGETATION TYPE (COMMON NAME)	PROPORTIONS BY WEIGHT	PERCENT PURITY	PERCENT GERMINATION
TEMPORARY EROSION CONTROL*	CHICKWEED OR RED FESCUE	40%	98	90
	PERENNIAL RYE	50%	98	90
	REDTOP OR COLONIAL BENTGRASS	5%	92	85
	WHITE BUTCH CLOVER	5%	98	90
LOW GROW*	DWARF TALL FESCUE VAR.	45%	98	90
	DWARF PERENNIAL RYE (BARCLAY)	30%	98	90
	RED FESCUE	20%	98	90
	COLONIAL BENTGRASS	5%	98	90

* (ADOPTED FROM WSDOE 2014 STORMWATER MANAGEMENT MANUAL, WESTERN WASHINGTON, VOLUME II, BMP C120)

CALL BEFORE YOU DIE 1-800-474-5555

[illegible]

ILIA GEKELMAN
4235 CODY ROAD
BLANE WA 98230
360.739.1592

26 SHETLAND COURT
BELLINGHAM, WA 98229
STORMWATER SITE PLAN

COVER SHEET



**PACIFIC SURVEYING
& ENGINEERING, INC.**
909 Spaulding Way, Suite 111 / Bellingham, WA 98225
T: 360.671.7387 / F: 360.671.4885
WWW.PSESURVEY.COM / INFO@PSESURVEY.COM



DATA		ISSUED BY	REVISION BY	FIELD BOOKS
BASE	XXX	XXX	DESIGN	XXX
DESIGN	JNL	JYY	STAKING	XXX
SURF.	XXX		ASSURF.	XXX
JOB#:		2024291		
HORIZ. SCALE:		1"=10'		
VERT. SCALE:		XXX		
DWC: P-19a Project 2024291 (JNL, JYY)		SHEET 01 OF 04		

TOPO NOTES:

- 1) THIS TOPOGRAPHIC SURVEY WAS PERFORMED AND PREPARED IN ACCORDANCE WITH WAC 352-150-145.
- 2) DATA FOR THIS SURVEY WAS GATHERED BY FIELD TRAVERSE UTILIZING ELECTRONIC DATA COLLECTION IN JULY 2024.
- 3) EQUIPMENT USED: THEMAT 9001.5" EDM: +/- 2 PPM, +/- 3 MM
- 4) HORIZONTAL DATUM: ASSUMED
- 5) VERTICAL DATUM: ASSUMED
- 6) SITE BENCH MARK: PSE CONTROL, ON-SITE, AS SHOWN
- 7) CONTOURS DEPICTED HEREON MEET OR EXCEED NATIONAL MAPPING STANDARDS FOR 1-FOOT ACCURACY TOPOGRAPHIC SURVEYS AND HAVE BEEN COMPARED, CORRECTED FROM GROUND FIELD TOPOGRAPHY GATHERED FOR THIS SURVEY UTILIZING ELECTRONIC DATA COLLECTION.
- 8) CONDUCTIBLE UNDERGROUND UTILITY LOCATES SERVICES WERE NOT PERFORMED AT TIME OF SURVEY. UTILITIES ARE KNOWN TO EXIST WITHIN THE LIMITS OF THIS SURVEY THAT WERE UNDETECTABLE. ADDITIONAL UTILITY VERIFICATION MAY BE WARRANTED IN AREAS CONSIDERED FOR CONSTRUCTION.
- 9) UTILITY LOCATION AREAS AND LEVEL OF LOCATE ACCURACY WERE DETERMINED BY SURVEYOR AND CLIENT PRIOR TO COMMENCEMENT OF FIELD SURVEY WORK.
- 10) THIS MAP IS NOT INTENDED TO REPRESENT A FORMAL BOUNDARY SURVEY, NOR DOES IT REFLECT ELEMENTS THAT A BOUNDARY SURVEY MAY DISCLOSE. BOUNDARY RELATED ELEMENTS DEPICTED HEREON ARE SHOWN PER AVAILABLE RECORDED INFORMATION.
- 11) A CURRENT TITLE REPORT WAS NOT PROVIDED FOR THIS SURVEY. EXISTING AND/OR TITLE ENCUMBRANCES MAY EXIST THAT ARE NOT SHOWN HEREON.

LEGAL DESCRIPTION:

(PER S.W.D. #1 NO. 2024-010106)
 LOT 84, SUDDEN VALLEY, DIVISION NO. 24, WASHINGTON COUNTY, WASHINGTON, AS PER THE MAP THEREOF, RECORDED IN VOLUME 12 OF PLATS, PAGES 4 THRU 7, IN THE AUDITOR'S OFFICE OF S.W.D. COUNTY AND STATE.
 SITUATE IN COUNTY OF WASHINGTON, STATE OF WASHINGTON.

SURVEY NOTES:

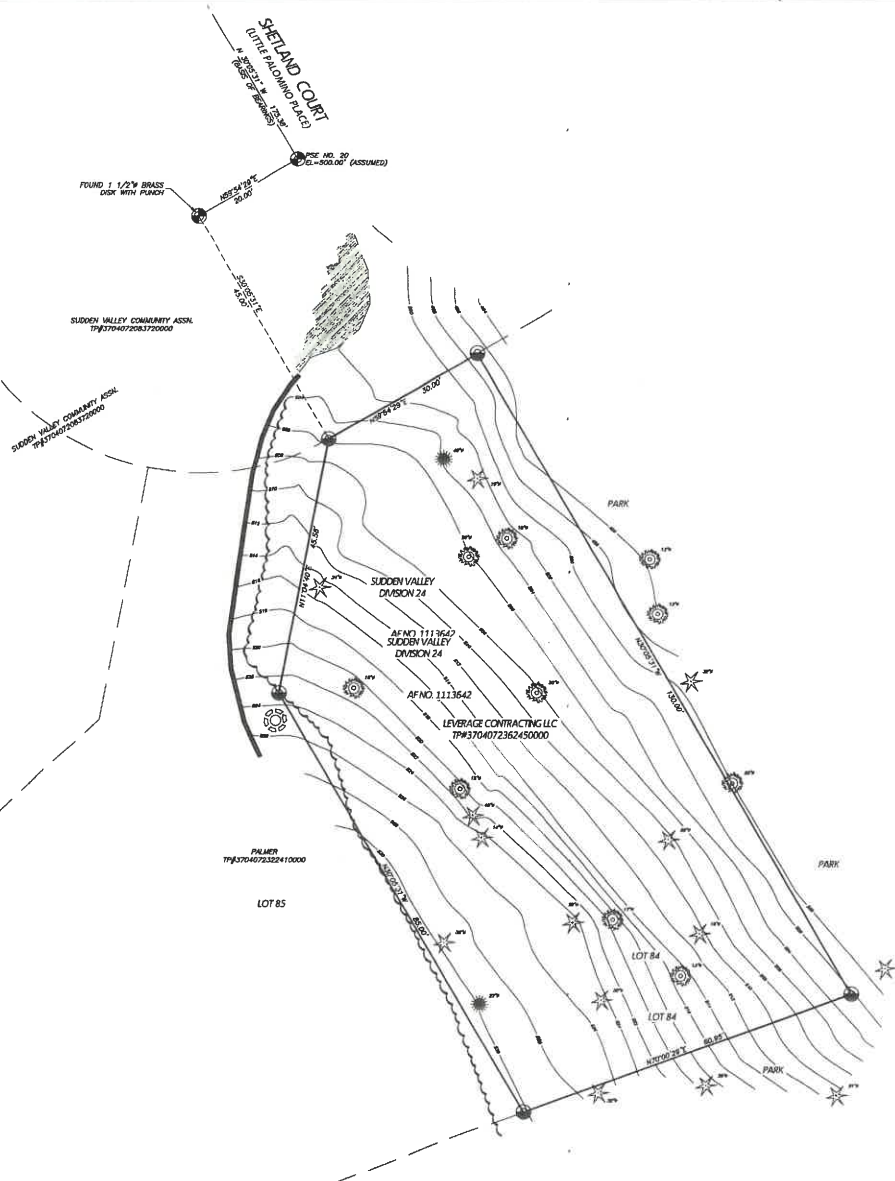
- 1) DATA FOR THIS SURVEY HAS BEEN GATHERED BY FIELD OBSERVATIONS UTILIZING ELECTRONIC DATA COLLECTION IN JULY 2024.
- 2) EQUIPMENT USED: THEMAT 9001.5" EDM: +/- 2 PPM, +/- 3 MM
- 3) HORIZONTAL DATUM: ASSUMED (LOCAL)
 BASE OF BEARINGS: THE MONUMENTED CENTERLINE OF SHETLAND COURT; PER THE MAP OF SUDDEN VALLEY DIV 24, AS RECORDED UNDER AUDITOR'S FILE NO. 1113842, BEARING: N20°00'31"W
- 4) OCCUPATIONAL INDICATOR NOTES:
 IN ACCORDANCE WITH THE REVISOR CODE OF WASHINGTON: 58.08 AND WASHINGTON ADMINISTRATIVE CODE CHAPTER 332-13, THIS RECORD OF SURVEY MAY BECOME OCCUPATIONAL INDICATORS & ENCUMBRANCES. THESE INDICATORS REPRESENT A POTENTIAL FOR CLAIMS OF UNWRITTEN TITLE. THIS SURVEY DOES NOT RESOLVE ANY OF THE LEGAL OWNERSHIP ISSUES THAT MAY ARISE FROM THESE UNWRITTEN TITLE CLAIMS.
- 5) THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT AND MAY NOT SHOW ENCUMBRANCES, EASEMENTS, AND RESTRICTIONS THAT WOULD HAVE BEEN DISCLOSED IN A TITLE REPORT.

EXISTING FEATURE SYMBOL LEGEND

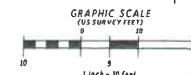
- 1/2" BRASS CAP WITH PUNCH
- 84 RESIN AND YELLOW PLASTIC CAP PLS#18857
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANSOUT
- FIBER-OPTIC/COAX. HANDHOLD
- TELEPHONE HANDHOLD
- FR. TREE
- CEGAR TREE
- HEADQUARTER TREE
- DIAMETER OF EXISTING TREE
- SPOT ELEVATION ON EXISTING GROUND

EXISTING LINE LEGEND

- EXISTING EDGE OF ASPHALT
- EXISTING SANITARY SEWER CONCRETE LINE
- EXISTING TOP OF SLOPE LINE
- EXISTING GRADE INDEX CONTOUR
- EXISTING GRADE INTERNAL CONTOUR
- EXISTING EDGE OF BRUSH
- EXISTING TREE CHIP LINE



Item 19
 Pg 13 of 16



CALL BEFORE YOU DIG 1-800-424-5555

REVISION	DATE	DESCRIPTION	ISSUE	DATE	DESCRIPTION
			1	12.02.2024	STORMWATER SITE PLAN
			2	03.10.2025	STORMWATER SITE PLAN

ILIA GEKELMAN
 4235 CODY ROAD
 BLAINE, WA 98220
 360.739.1592

26 SHETLAND COURT
 BELLEVUE, WA 98229
 STORMWATER SITE PLAN
 EXISTING CONDITIONS

PACIFIC SURVEYING & ENGINEERING, INC.
 809 Southern Hwy, Suite 111 | BELLEVUE, WA 98005
 T: 360.694.3387 | F: 360.697.4483
 WWW.PSE-SURVEY.COM | INFO@PSE-SURVEY.COM

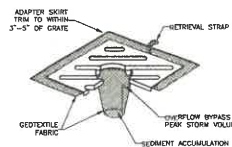
DATA	REVISION	REVISION	FIELD BOOKS
BASE	XXX	XXX	DESIGN
DESIGN	XXX	XXX	STAGING
ASBUILT	XXX	XXX	CONSTRUCTION
DATE	2024291		
SCALE	1"=10'	HORZ.	XXX
SCALE	1"=10'	VERT.	XXX
PROJECT	C:\Users\pse\OneDrive\Projects\2024\20240310\20240310_SHEET\20240310_SHEET_1-4-2024.dwg		
SHEET	02	OF	04





FILTER FENCE NOTES

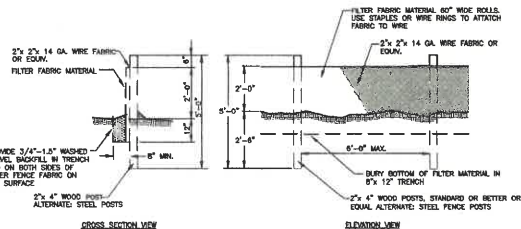
1. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRELS TO AVOID USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPACED TOGETHER ONLY AT A SUPPORT POST WITH A MINIMUM 4-INCH OVERLAP AND BOTH ENDS SECURELY FASTENED TO THE POST.
2. THE FILTER FABRIC SHALL BE INSTALLED TO FOLLOW THE CONTOURS (WHERE FEASIBLE). THE FENCE POSTS SHALL BE SPACED AT A MAXIMUM OF 8 FEET APART AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 30 INCHES).
3. A TRENCH SHALL BE EXCAVATED, ROUGHLY 8 INCHES WIDE AND 12 INCHES DEEP, UPSLOPE AND ADJACENT TO THE WOOD POST TO ALLOW THE FILTER FABRIC TO BE BURIED.
4. WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY-DUTY WIRE STAPLES AT LEAST 1 INCH LONG. THE WIRES OR NO. 10 RINGS, THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 4 INCHES AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
5. THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE AND 20 INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.
6. WHEN EXTRA STRENGTH FILTER FABRIC AND CLOSER POST SPACING ARE USED, THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED. IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POSTS WITH ALL OTHER PROVISIONS OF STANDARD NOTE 5 APPLYING.
7. THE TRENCH SHALL BE BACKFILLED WITH 3/4-INCH MAXIMUM DIAMETER WASHED GRAVEL.
8. FILTER FABRIC FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.
9. FILTER FABRIC FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.



- NOTES**
1. INSERT SHALL BE INSTALLED PRIOR TO CLEARING AND GRADING ACTIVITY, OR UPON PLACEMENT OF A NEW CATCH BASIN.
 2. SEDIMENT SHALL BE REMOVED FROM THE UNIT WHEN IT BECOMES HALF FULL.
 3. SEDIMENT REMOVAL SHALL BE ACCOMPLISHED BY REMOVING THE INSERT, EMPTYING, AND RE-INSERTING IT INTO THE CATCH BASIN.

CATCH BASIN INSERT

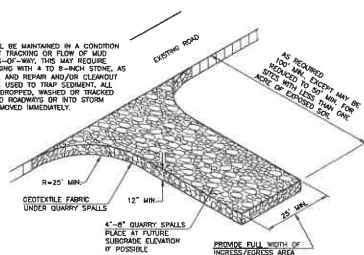
NOT TO SCALE



SILT FENCE DETAILS

NOT TO SCALE

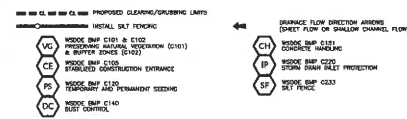
MAINTENANCE:
THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT FLOODING OR FLOW OF MUD INTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE FLOODING TOP DRESSING WITH 4-8 INCH STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES DURING ROADWORKS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.



ROCK STABILIZATION CONSTRUCTION ROAD ENTRANCE

NOT TO SCALE

EROSION CONTROL LEGEND



SEE STORM WATER MANAGEMENT REPORT FOR DETAILS

GENERAL NOTES

ESTABLISH A MINIMUM SOIL QUALITY AND DEPTH IS NOT THE SAME AS PRESERVATION OF NATURALLY OCCURRING SOIL AND VEGETATION. HOWEVER, ESTABLISHING A MINIMUM SOIL QUALITY AND DEPTH WILL PROVIDE IMPROVED ON-SITE MANAGEMENT OF STORMWATER FLOW AND WATER QUALITY. SOIL ORGANIC MATTER CAN BE MAINTAINED THROUGH NUMEROUS MATERIALS SUCH AS COMPOST, COMPOSTED WOODY MATERIAL, FERTILIZER AND OTHERS. THESE MATERIALS SHOULD BE USED TO MEET THE SOIL QUALITY AND DEPTH RMP BE APPROPRIATE AND BENEFICIAL TO THE PLANT CROPS TO BE ESTABLISHED. HOWEVER, IT IS IMPORTANT THAT REPORTED TOPSOILS IMPROVE SOIL CONDITIONS AND DO NOT HAVE AN EXCESSIVE PERCENT OF CLAY FINES. THIS RMP CAN BE COMPLETED REPLENISHABLE ON FILL SOIL SLOPES GREATER THAN 33 PERCENT.

DESIGN GUIDELINES

SOIL REPAIRING BETTER IN AN UNDISTURBED STATE, THE DEPT LAYER AND NATIVE TOPSOIL TO THE MAXIMUM EXTENT PRACTICABLE. IN ANY AREAS REQUIRING GRADING REMOVE AND STOCKPILE THE DEPT LAYER AND TOPSOIL ON SITE OR IN A DESIGNATED, CONTROLLED AREA, NOT ADJACENT TO PUBLIC RESOURCES AND CRITICAL AREAS, TO BE REAPPLIED TO OTHER PORTIONS OF THE SITE WHERE FEASIBLE.

SOIL QUALITY: ALL AREAS SUBJECT TO CLEARING AND GRADING THAT HAVE NOT BEEN COVERED BY IMPERVIOUS SURFACE, INCORPORATED INTO A DRAINAGE FACILITY OR ENGINEERED AS STRUCTURAL FILL OR SLOPE SHALL, AT PROJECT COMPLETION, DEMONSTRATE THE FOLLOWING:

1. A TOPSOIL LAYER WITH A MINIMUM ORGANIC MATTER CONTENT OF 10% DRY WEIGHT IN PLANTING BEDS, AND SIX ORGANIC MATTER CONTENT IN TURF AREAS, AND 4 IN FROM 4.0 TO 6.0 IN MATCHING THE 1% OF THE UNDISTURBED SOIL.
2. THE TOPSOIL LAYER SHALL HAVE A MINIMUM DEPTH OF 6 INCHES EXCEPT WHERE THE TOPSOIL LAYER IS DEPTER OR INCORPORATION OF ANCHORED MATERIALS TO MEET STRATIFIED LAYERS, WHERE FEASIBLE.
3. SCATTERED AT LEAST 4 INCHES WITH SOME INCORPORATION OF THE UPPER MATERIALS TO MEET STRATIFIED LAYERS, WHERE FEASIBLE.
4. MULCH PLANTING BEDS WITH 2 INCHES OF ORGANIC MATERIAL.

3. USE COMPOST AND OTHER MATERIALS THAT MEET THESE ORGANIC CONTENT REQUIREMENTS:

- 3.1. THE ORGANIC CONTENT FOR "PRE-APPROVED" AMENDMENT RATES CAN BE MET ONLY USING COMPOST MEETING THE COMPOST SPECIFICATION FOR BIODEGRADATION (BMP 17.30). WITH THE EXCEPTION THAT THE COMPOST MAY HAVE UP TO 3% BIODEGRADATION OR MORE, THE COMPOST MUST ALSO HAVE AN ORGANIC MATTER CONTENT OF 40% TO 60% AND A CARBON TO NITROGEN RATIO OF 10:1 TO 20:1. THE CARBON TO NITROGEN RATIO MAY BE AS HIGH AS 20:1 FOR PLANTING COMPOSTED ENTIRELY OF PLANTS NATIVE TO THE PLANT SOURCE.
- 3.2. CALCULATED AMENDMENT RATES MAY BE MET THROUGH USE OF COMPOSTED MATERIALS (AS LISTED ABOVE) OR OTHER ORGANIC MATERIALS ADHERED TO MEET THE CARBON TO NITROGEN RATIO REQUIREMENTS, AND MEETING THE CONTAMINANT STANDARDS OF ORIGIN A COMPOST.

IMPLEMENTATION OPTIONS: THE SOIL QUALITY DESIGN GUIDELINES LISTED ABOVE CAN BE MET BY USING ONE OF THE METHODS LISTED:

1. LEAVE UNDISTURBED NATIVE VEGETATION AND SOIL, AND PROTECT FROM COMPACTION DURING CONSTRUCTION.
2. ADJUST EXISTING SITE TOPSOIL OR SUBSOIL, EITHER AT "DEFAULT" "PRE-APPROVED" RATES BASED ON TESTS OF THE SOIL AMENDMENT.
3. STOCKPILE EXISTING TOPSOIL DURING GRADING, AND REPLACED IF PRIOR TO PLANTING. STOCKPILED TOPSOIL MUST ALSO BE AMENDED IF NEEDED TO MEET THE ORGANIC MATTER OR DEPTH REQUIREMENTS, EITHER AT A "DEFAULT" "PRE-APPROVED" RATE OR AT A CUSTOM CALCULATED RATE.

MORE THAN ONE METHOD MAY BE USED ON DIFFERENT PORTIONS OF THE SAME SITE. SOIL THAT ALREADY MEETS THE DEPTH AND ORGANIC MATTER QUALITY STANDARDS, AND IS NOT COMPACTED, DOES NOT NEED TO BE AMENDED.

GRAPHIC SCALE

(1:25000) (1:1000)

1 inch = 25 feet

Item 19
Pg 15 of 16

CALL BEFORE YOU DIG 1-800-424-5555

REVISION	DATE	DESCRIPTION	ISSUE	DATE	DESCRIPTION
			1	12.02.2024	STORMWATER SITE PLAN
			2	03.10.2028	STORMWATER SITE PLAN

ILIA GEKELMAN
4235 CODY ROAD
BELLINGHAM WA 98220
360.739.1592

26 SHETLAND COURT
BELLINGHAM WA 98229
STORMWATER SITE PLAN

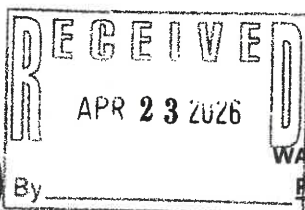
TEMPORARY EROSION & SEDIMENT CONTROL PLAN

PACIFIC SURVEYING & ENGINEERING, INC.
905 Southview Way, Suite 111 | Bellingham WA 98225
P: 360.739.7341 | F: 360.739.4483
WWW.PACIFICSE.COM | INFO@PACIFICSE.COM

DATA	PROJ. NO.	PROJ. BY	FIELD BOOKS
BASIS	XXX	XXX	DESIGN: XXX
DESIGN	JUL	JUL	STANDARD: XXX
ASBUILT	XXX	XXX	ASBUILT: XXX
DATE	2024/09/11		
SCALE	1"=10'		
VERT. SCALE	XXX		
VERT. SCALE	XXX		



SHEET 04 OF 04



WATER AVAILABILITY FORM PUBLIC WATER SYSTEM

WHATCOM COUNTY
HEALTH DEPARTMENT
509 Girard Street
Bellingham, WA 98225
Telephone: 360-778-6000
Fax: 360-778-6001

Item 19
Pg 16 of 16

Complete and submit form with original signatures to WCHD

Applicant Information:

Applicant/Owner(s): ILIA GEKELMAN Phone: 3607391592
Address: 4236 CODY RD City: BLAINE State: WA Zip: 98230
Contact Person: BEN GEKELMAN Phone: 3607393262
Email and/or Alternate Contact: WOLFCOON.LLC@GMAIL.COM

I certify that I am the owner or authorized representative of the below noted property. I have examined this form and know the same to be true and correct. I understand that this approval expires one year after the PWS Authorized Representative signature date and that application for final plat approval and/or building permit must be made before the expiration date. I understand that information submitted is subject to the Public Records Act.

Sign: BEN GEKELMAN Print: BEN GEKELMAN Date: 4/1/26

Property Information: Project Type: ☒ Single ☐ Multi-Family ☐ ADU ☐ Commercial ☐ Plat

Tax Parcel Number (twelve digit number): 3 7 0 4 0 7 2 3 6 2 4 5

Address of Project: 26 SHETLAND CT BELLINGHAM WA 98229

Building Permit Number: NONE YET Plat Name: _____ Lot: _____

Briefly describe project (attach site plan and additional pages as needed) _____

NEW SFR

Certification of Public Water Availability: to be Completed by the PWS Authorized Representative

Group B water systems must have current water tests - bacteriological less than one year old and nitrate less than three years old.

Public Water System Name: South Shore Water System DOH ID#: 959101

The above Public Water System (PWS) is approved by the WA State Department of Health or the WCHD for _____ service connections and currently serves 3,970 service connections. The PWS has the necessary water system infrastructure in place to adequately provide service to the above property per WAC 246-290 or WAC 246-291. The PWS is capable of and willing to supply water to the above property, residence, project or plat for 1 ☒ New service(s) and/or ☐ Existing service(s).

Direct Connection? ☒ Yes ☐ No (meter ready, no extension required)

Conditions of Service N/A

I certify that I am an authorized representative of the above PWS. I understand this certification expires one year after the PWS signature date. I understand that information submitted is subject to the Public Records Act 42.56.

Sign: [Signature] Print: Greg Nicoll Date: 4/14/2026

Title: District Engineer Address: 1220 Lakeway Dr. Phone: 360-734-9224

For Health Department Use Only:

☒ Approved Date: 4/23/26

Approval Expires: 4/14/27

☐ Denied

By: [Signature]

Well Constructed After January 2018: ☐ Yes ☐ No

Comments or Conditions: _____

Notify Via: ☒ Email ☐ Phone ☐ Mail

The subdivision/building permit is located in an area that is governed by chapter 173-501 WAC and in which instream flows are not met and/or are subject to closure. In compliance with ch 58.17 RCW/RCW 19.27.097 the County has determined adequate potable water is available for this subdivision/building permit on the basis of evidence supplied by the Applicant. Other authorities, including courts of competent jurisdiction and the Department of Ecology, exercise jurisdiction over water resources in the state of Washington. Those authorities may determine that the proposed source of water for this project identified by the Applicant is not a valid water right appropriation or is subject to curtailment or seasonal restrictions on availability that could impact its reliability for the intended use. The County's issuance of this subdivision/building permit should not be relied upon by the Applicant or any successor in interest as an assurance, warranty or guarantee of the future availability of water to serve the subdivision/building permit.

Intake [Signature]
Entry [Signature]
Notify [Signature]

186998

Rec'd 07/16/2026
12:20 PM

Resubmission from the ACC Mtg. on 6/4/26

Item 20
Pg 1 of 2
G5

Sudden Valley Community Association Exterior Alteration Request

Street Address: 4 Arabian Way Div 24 Lot 135, 136, 137
Owner: Jeff & Daniela Yoder
Mailing Address: 4 Arabian Way
Phone: (800) 220-5900 Email: yoder19@comcast.net

**Requests will not be considered unless the street address is clearly displayed on the residence.
Please note that in the week(s) following request submittal, ACC members may visit and review property.**

Requested for:

- ☒ Existing home
☐ New construction

The change would affect:

- ☒ Exterior appearance
☒ Drainage/Erosion control
☐ Open space & Lot coverage
☐ Setbacks to property line
☐ Structure height

**Please refer to ACC Guidelines
14.2 and 14.11 and for more
information.**



Give a full description of the request and attach any additional information if needed:

Replacing existing rotten wooden retaining structures with textured ecology blocks.

Blocks will provide soil stabilization with proper drainage and a flattened area to plant Japanese Maple trees.

Each terrace / retaining wall will remain at the 4' height.

Photo is an approximate representation of the finished project. The block texture may be slightly different then image.

*See attached photo of property.

This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature 4

Digitally signed by
YODERJEFFERY.BRYAN.10447
16264
Date: 2026.07.14 13:50:17
-07'00'

Date: 14 July 2026

Staff Comments: _____

Staff Signature: _____

Date: _____



Minutes from the meeting on 6/4

Item – 16	4 Arabian Way, G5, Ext Alt (Retaining Wall)		Video 00:08:01– 00:12:20
Comments:	Provide more detailed drawings		
Discussion:			
Action:	Denied	Motion: Patric	Unanimous

Rec'd 07/14/2026
11:43 AM

Item 21
Pg 1 of 2
G5

Sudden Valley Community Association

Tree/Vegetation Trimming and/or Removal Request

Street Address: 15 Bramble Way Div 25 Lot 74/75
Owner: David Narsico
Mailing Address: Same
Phone: 260-710-1230 Email: dnarsico@comcast.net

All trees must be clearly flagged (no spray paint) before applying.

Requests will **not be considered if flagging is missing** OR if street address isn't clearly displayed on residence.

IMPORTANT NOTE: Within an individual's clearly distinguished property boundaries, routine maintenance can be performed and is encouraged **without** ACC permission. This includes the pruning of **dead branches** and those branches that are **6" or less in diameter**. Removal of those branches **may not exceed 30%** of the foliage density of an individual specimen. Small trees, branches and vegetation **10" or less in diameter and within 10' of a residential structure** may be removed without ACC approval.

**** Per Whatcom County Canopy Retention Regulation effective October 22, 2016 any significant tree being removed in Lake Whatcom Watershed requires county permit. Significant is defined as evergreen trees 12" in diameter or greater and deciduous 8" in diameter or greater. Any limbing 25% and under does not require a county permit. If a county permit is required for you proposed tree removal/ limbing request, please attach your approved county permit to this application. ****

1 Number of trees/shrubs
1 # Removal # Limbing

Type:

1 Fir Cedar Hemlock
 Alder Maple Other

Check any that apply:

1 Property or personal danger
1 Dead/Diseased
 Leaning
 Roots exposed
1 On a slope
 Creation/maintenance of view
 Replanting trees/shrubs

 Located on SVCA property

 Located on neighbor's property - *For trees that are not on the applicant's property, written permission from the owner is required **prior** to submittal.*



Please refer to ACC Guideline 14.10 for more information.

Give a full description, the reason for the requested action and diameter on each tree, and attach any additional information if needed:

Completely dead Douglas fir probably in the right of way

This request form in no way constitutes an approval from the ACC or Whatcom County. You MUST receive written approval and an SVCA permit before commencing any work.

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: David Narsico

Date: 7/13/2026

Staff Comments: _____

Item 21
Pg 2 of 2

Staff Signature: _____

Date: _____

NOTE: This was filled out by Christopher Hunsaker, Lead Arborist at Earthworks Tree Service.
Phone: 360-393-5463
Email: christopher@earthworkstreeservice.com
Address: 7 Huckleberry Ct.



Rec'd 07/23/2026
7:16 AM

Sudden Valley Community Association Construction Change Request

Item 22
Pg 1 of 1
G5

Street Address: 2 Sweetclover Circle Div 25 Lot 117
Owner: J Hansen Investments LLC
Mailing Address: 1001 E Maple St Bellingham WA 98225
Phone: [REDACTED] Email: [REDACTED]

**Requests will not be considered unless the street address is clearly displayed on the residence.
Please note that in the week(s) following request submittal, ACC members may visit and review property.**

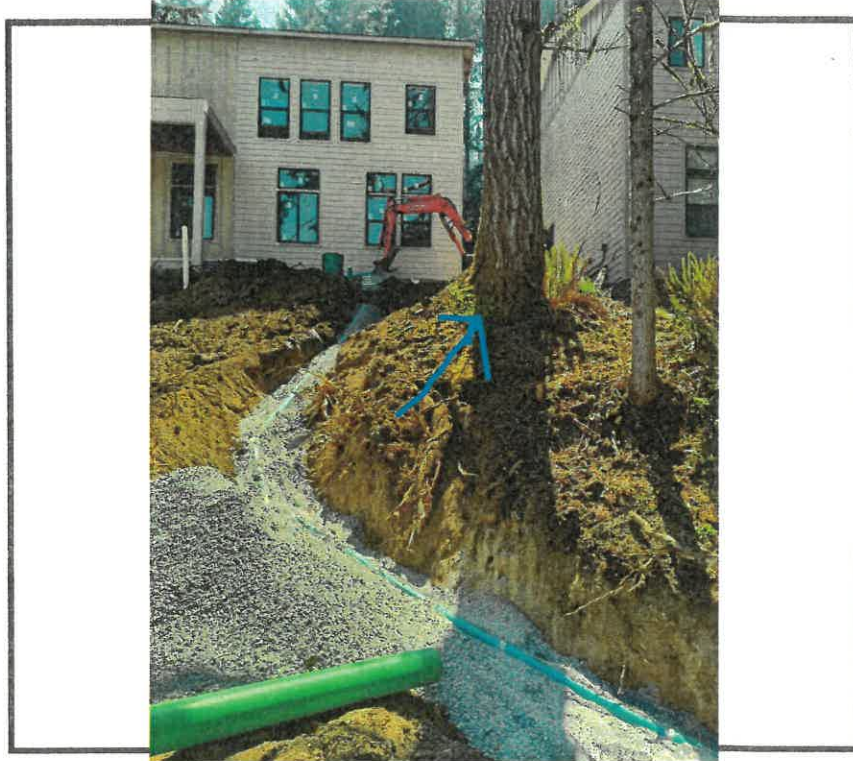
Requested for:

- ☐ Existing home
☒ New construction

The change would affect:

- ☒ Exterior appearance
☐ Drainage/Erosion control
☒ Open space & Lot coverage
☐ Setbacks to property line
☐ Structure height

**Please refer to ACC Guidelines
14.2 and 14.11 and for more
information.**



Give a full description of the request and attach any additional information if needed:

We are asking permission to remove a 6th tree. It was previously not going to be removed, but extensive trenching has damaged the roots and for safety we would like to remove the additional tree.

This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: [Signature]

Date: 7-23-2026

RECEIVED

JUL 29 2026

**Sudden Valley Community Association
Extension and Re-Approval Request**

Item 23
Pg 1 of 1
G9

Street Address: 5 COLD SPRING LN Div 13 Lot 024
Owner: Megan Chernak & Dwayne Russell
Mailing Address: 336 36th St #795
Phone: [REDACTED] Email: [REDACTED]

**Requests will not be considered unless the street address is clearly displayed on the residence.
Please note that in the week(s) following request submittal, ACC members may visit and review property.**

Requested for:

- ☒ Extension
☐ Re-approval

The change would affect:

- ☐ Start date
☒ Completion date

**Please refer to ACC Guideline
14.8 for more information.**

Give a full description of the request, a detailed timeline, and attach any additional information if

needed: Would like to purchase one-month extension for construction
project at 5 Cold Spring Ln. We are almost complete but need
~ one additional week to complete. This would change completion
date from 8/4 to 9/4.

This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.

Owner Signature:

Date: 7-29-2026

AC Staff Comments:

Rec'd 07/27/2026
2:18 PM

Item 24
Pg 1 of 1
G13

Sudden Valley Community Association Tree/Vegetation Trimming and/or Removal Request

Street Address: 5 Stable Lane, Bellingham WA, 98229

Div 05

Lot 059

Owner: Nate Merklingshaus

Mailing Address: 5 Stable Lane, Bellingham WA, 98229

Phone: ~~206-398-1994~~

Email: ~~nate.merklingshaus@gmail.com~~

All trees must be clearly flagged (no spray paint) before applying.

Requests will *not be considered if flagging is missing* OR if street address isn't clearly displayed on residence.

IMPORTANT NOTE: Within an individual's clearly distinguished property boundaries, routine maintenance can be performed and is encouraged **without** ACC permission. This includes the pruning of **dead branches** and those branches that are **6" or less in diameter**. Removal of those branches **may not exceed 30%** of the foliage density of an individual specimen. Small trees, branches and vegetation **10" or less in diameter and within 10' of a residential structure** may be removed without ACC approval.

**** Per Whatcom County Canopy Retention Regulation effective October 22, 2016 any significant tree being removed in Lake Whatcom Watershed requires county permit. Significant is defined as evergreen trees 12" in diameter or greater and deciduous 8" in diameter or greater. Any limbing 25% and under does not require a county permit. If a county permit is required for you proposed tree removal/ limbing request, please attach your approved county permit to this application. ****

¹ Number of trees/shrubs

¹ # Removal # Limbing

On the diagram below, please indicate the location of the road, property line, house, and each tree (numbered individually).

Type:

☐ Fir ☐ Cedar ¹ ☐ Hemlock
☐ Alder ☐ Maple ☐ Other

Check any that apply:

- ☒ Property or personal danger
☒ Dead/Diseased
☐ Leaning
☒ Roots exposed
☒ On a slope
☐ Creation/maintenance of view
☐ Replanting trees/shrubs

☐ Located on SVCA property

☐ Located on neighbor's property - *For trees that are not on the applicant's property, written permission from the owner is required prior to submittal.*

From Ben Rawls (Rawl Tree Service):

"5 Stable Lane

Hemlock tree inspection on the backside of home slightly up slope of residence.

The tree is showing heavy indication of butt rot, and decay, significant die off of branches throughout entire canopy.

Also a widespread codominant leader (2 tops)

The tree is showing high risk of failure during a wind event.

Multiple homes in target area.

My recommendation is to remove.

-Ben Rawls

-Rawls Tree Service"

Please refer to ACC Guideline 14.10 for more information. Please email to: office@suddenvalley.com

Give a full description, the reason for the requested action and diameter on each tree, and attach any additional information if needed:

From Ben Rawls (Rawl tree Service): "Melock tree inspection on the backside of home slightly up slope of residence. The Tree is showing heavy indication of butt rot, and decay, significant die off of branches throughout entire canopy. Also a widespread of codominant leader (2 tops)

The tree is showing high risk of failure during a wind event. My recommendation is to remove. - Ben Rawls - Rawls Tree Service"

This request form in no way constitutes an approval from the ACC or Whatcom County. You MUST receive written approval and an SVCA permit before commencing any work.

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: Nate Merklingshaus

Date: 7/27/2026

Rec'd 07/13/2026
8:31 PM

Sudden Valley Community Association Exterior Alteration Request

Item 25
Pg 1 of 1
G13

Street Address: 12 Summer Bell Lane Bellingham, WA 98229

Div 09

Lot 008

Owner: Ryan Romero

Mailing Address: 4609 Azurite rd Aubrey, TX 76227

Phone: ~~628337088~~

Email: ~~RomeroRyan23@yahoo.com~~

Requests will not be considered unless the street address is clearly displayed on the residence.
Please note that in the week(s) following request submittal, ACC members may visit and review property.

Requested for:

- ☒ Existing home
☐ New construction

The change would affect:

- ☒ Exterior appearance
☐ Drainage/Erosion control
☐ Open space & Lot coverage
☐ Setbacks to property line
☐ Structure height

Please refer to ACC Guidelines
14.2 and 14.11 and for more
information.



Give a full description of the request and attach any additional information if needed:

Hot tub was already installed when purchased home 11 years ago in 2015. Please check records from 2008-2015 for authorization

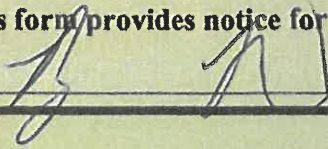
from previous owner. Hard to believe it wasn't approved. Hot tub is also not really visible from the road as it is under top deck and on right side

of stairs. Please approve as this is my forever home, and only renting until I can return. As you know once you sell, good luck coming back. I love this

hot tub.

This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: 

Date: 07/13/2026

Rec'd 07/13/2026
8:31 PM

Sudden Valley Community Association Exterior Alteration Request

Item 26
Pg 1 of 1
G13

Street Address: 12 Summer Bell Lane Bellingham, WA 98229

Div 09

Lot 008

Owner: Ryan Romero

Mailing Address: 4609 Azurite rd Aubrey, TX 76227

Phone: 8825337068

Email: ~~romeroryan23@gmail.com~~

**Requests will not be considered unless the street address is clearly displayed on the residence.
Please note that in the week(s) following request submittal, ACC members may visit and review property.**

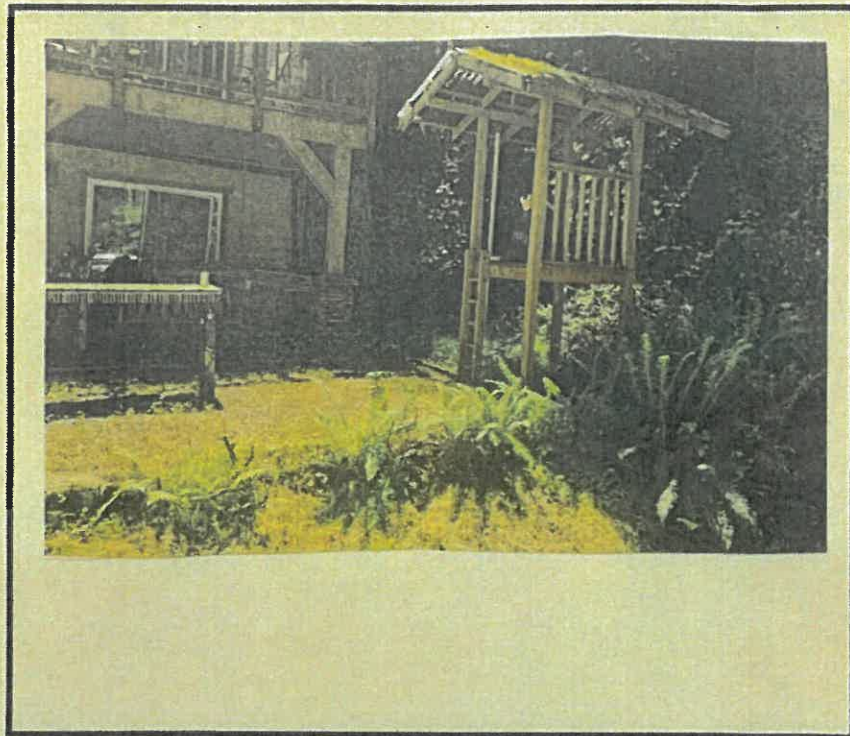
Requested for:

- ☒ Existing home
☐ New construction

The change would affect:

- ☒ Exterior appearance
☐ Drainage/Erosion control
☐ Open space & Lot coverage
☐ Setbacks to property line
☐ Structure height

**Please refer to ACC Guidelines
14.2 and 14.11 and for more
information.**



Give a full description of the request and attach any additional information if needed:

Fixture is for Kayaks, not a tree house. It was already installed when purchased home 11 years ago in 2015. Please check records from 2008-2015

from previous owner. Hard to believe it wasn't approved. We are a Lake town and fixture is not an eye sore or in bad condition.

Please approve, thank you.

This request form in no way constitutes an approval from ACC. You MUST receive written approval before commencing any alterations.

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature:

Date: 07/13/2026

Rec'd 07/24/2026
1:12 PM

Resubmission from the 7/16/26 ACC Meeting

Sudden Valley Community Association Exterior Alteration Request

Item 27
Pg 1 of 2
G13

Street Address: 168 Harborview Dr

Div 22

Lot 208

Owner: Valeintin Plkalov

Mailing Address: PO Box 245 Blaine WA 98231

Phone: 206-314-0500

Email: prostovalek@gmail.com

Requests will not be considered unless the street address is clearly displayed on the residence.
Please note that in the week(s) following request submittal, ACC members may visit and review property.

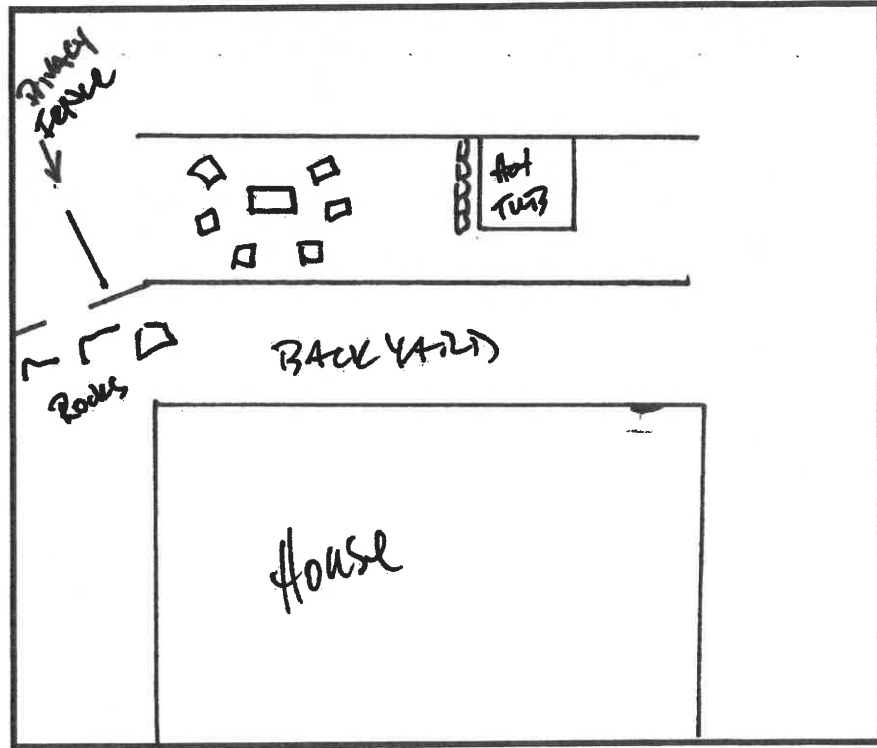
Requested for:

- ☒ Existing home
- ☐ New construction

The change would affect:

- ☒ Exterior appearance
- ☐ Drainage/Erosion control
- ☐ Open space & Lot coverage
- ☐ Setbacks to property line
- ☐ Structure height

Please refer to ACC Guidelines
14.2 and 14.11 and for more
information.



Give a full description of the request and attach any additional information if needed:

Per requirement of ACC I am applying to get approval to install privacy fence at the property listed above. ACC board found nesessary for one to

installed on East side of my house's backyard (fire pit side). please see attached diagram and proposed style of fence to be intalled.

reason for this choice is that it will match current house style and will look good when finished while serving the inteded purpose.

Since color will be brown to match House Trim Already installed.
Fence would be 6 feet high by 8 ft long. Post will be sit in
required concrete posts. Please see Attached Picture

This request form in no way constitutes an approval from ACC. You MUST receive written approval before
commencing any alterations.

Submission of this form provides notice for the ACC to visit the property during reasonable hours.

Owner Signature: Valeintin Plkalov

Date: 07/24/2026

Example of privacy screen to be installed.



Minutes from the meeting on 7/16/26

Item – 26	168 Harbor View Dr, G13, Ext Alt (Hot Tub)	Video 01:34:50 – 01:35:53
Comments:	Please resubmit your request showing a privacy screen on the fire pit side of the hot tub.	
Discussion:		
Action:	Denied	Motion: Daniel Unanimous